

WESTSIDE VILLAGE

844 AND 850 ALMAR AVE, SANTA CRUZ, CA 95060



PLANNING RESUBMITTAL

07/03/2024



STUDIO
T SQUARE

: Architecture
: Planning
: Urban Design

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: Oakland, California 94612
: (510) 451 - 2850

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WESTSIDE VILLAGE

844 AND 850 ALMAR AVE, SANTA CRUZ, CA 95060

CRP AFFORDABLE HOUSING AND
COMMUNITY DEVELOPMENT

4455 MORENA BLVD, SUITE 108, SAN DIEGO, CA 92117

Sheet Title:
COVER SHEET

Job No. 24002
Date: 2024/07/03
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VICINITY MAP

PROJECT DESCRIPTION

LOCATED BETWEEN ALMAR AVENUE, RANKIN STREET, AND THE MONTEREY BAY SANCTUARY SCENIC TRAIL, THE PROPOSED PROJECT OCCUPIES A 0.91-ACRE SITE, OFFERING 38 UNITS OF AFFORDABLE FAMILY HOUSING. THESE UNITS ARE TO BE 100% PUBLICLY FUNDED AFFORDABLE RENTAL APARTMENTS, COMPRISING A MIX OF 2-BEDROOM AND 3-BEDROOM APARTMENTS. THE PROJECT WILL UTILIZE THE STATE'S DENSITY BONUS LAWS FOR AFFORDABLE HOUSING, INCLUDING THE USE OF DEVELOPMENT INCENTIVES.

THE APARTMENTS WILL BE HOUSED WITHIN A SINGLE 3-STORY NON-ELEVATORED BUILDING. ALL GROUND-FLOOR UNITS ARE DESIGNED TO BE ACCESSIBLE OR ADAPTABLE FOR PERSONS WITH DISABILITIES. EMPHASIZING THE IMPORTANCE OF COMMUNAL LIVING, THE PROJECT DEDICATES RESIDENTIAL AMENITY SPACE, FEATURING A COMMUNITY ROOM, MANAGEMENT OFFICE, SERVICE OFFICE, AND CENTRAL LAUNDRY ROOM, ON THE GROUND LEVEL. A LANDSCAPED EXTERIOR PLAZA WITH A DEDICATED CHILDREN'S PLAY AREA IS ADJACENT TO THE COMMUNITY ROOM AND LAUNDRY ROOM, FOSTERING AN INTEGRATED INDOOR-OUTDOOR ENVIRONMENT FOR RESIDENTS.

PARKING FOR THIS PROJECT WILL BE PROVIDED ON SITE, WITH ACCESS FROM ALMAR AVENUE. THE PARKING AREA SERVES A DUAL PURPOSE, ACTING AS A BUFFER BETWEEN THE PROPOSED BUILDING AND EXISTING RETAIL AND WAREHOUSES ON THE WEST, AS WELL AS THE EXISTING RAILROAD TRACK ON THE SOUTH. MOREOVER, IT ENSURES A SAFE DISTANCE FROM THE PROPOSED BUILDING TO THE EXISTING OVERHEAD POWER LINES THAT ARE TO REMAIN.

AT THE NEXUS OF INDUSTRIAL, RETAIL, AND RESIDENTIAL ZONES, THE PROPOSED DESIGN DRAWS INSPIRATION FROM A WAREHOUSE AESTHETIC. HOWEVER, KEY FOCAL POINTS SUCH AS THE TWO-STORY MAIN LOBBY ELEMENT AT THE CORNER OF ALMAR AVENUE AND RANKIN STREET AND THE SECONDARY LOBBY AND COMMUNITY ROOM ENTRIES WITH ACCENT MATERIALS AND COLORS LEND A DISTINCT RESIDENTIAL ACCENT TO THE OVERALL DESIGN. THE FACADE DESIGN, CHARACTERIZED BY VERTICAL BREAKS AND PLANE CHANGES, INTRODUCE SMALLER ELEMENTS THAT CAPTIVATE THE EYE AND ADD VISUAL INTRIGUE TO THE BUILDING'S EXTERIOR.

PROJECT DATA

PLANNING AND BUILDING CODE DATA	
ADDRESS	844 AND 850 ALMAR AVE, SANTA CRUZ, CA
APN	003-052-08, 003-052-09, 003-052-10
EXISTING LAND USE DESIGNATIONS	
GENERAL PLAN DESIGNATION	LM (LOW MEDIUM DENSITY RESIDENTIAL)
ZONING DESIGNATION	R-L (LOW DENSITY MULTIPLE RESIDENCE)
EXISTING USE	VACANT
PROPOSED LAND USE DESIGNATIONS	
GENERAL PLAN DESIGNATION	LM (LOW MEDIUM DENSITY RESIDENTIAL)
ZONING DESIGNATION	R-L (LOW DENSITY MULTIPLE RESIDENCE)
PROPOSED USE	38 AFFORDABLE RENTAL APARTMENT UNITS
BUILDING CODE	CONSTRUCTION SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE.
CONSTRUCTION TYPE	Type VA
OCCUPANCY GROUP	R2
SPRINKLERED	YES; NFPA 13R
LOT AREA	0.91 AC/ 39,656 SF
GROSS BUILDING AREA	38,990 SF
PROPOSED DENSITY	41.8 DU/AC
BUILDING HEIGHT	36 FT, 3-STORY

SUMMARY OF DENSITY BONUS AND INCENTIVES REQUESTED

SUMMARY OF DENSITY BONUS

100% DENSITY BONUS, 19 BONUS UNITS

SUMMARY OF WAIVERS REQUESTED

1. USABLE OPEN SPACE

REQUESTING AN REDUCTION FROM 400 SF PER UNIT TO 75 SF PER UNIT.

2. SIDE YARD SETBACK (RANKIN ST)

REQUESTING A REDUCTION FROM 12'-0" TO 10'-0".

3. FRONT YARD SETBACK (INTERSECTION OF ALMAR AVE AND RANKIN ST)

REQUESTING A REDUCTION FROM 15'-0" TO 10'-3".

SUMMARY OF CONCESSIONS REQUESTED

NONE

DENSITY & UNIT MIX

PROPOSED DENSITY				
38 UNITS PROPOSED				
UNIT TYPE	2A (2BR)	2B (2BR)	3A (3BR)	TOTAL
UNIT SF	712	764	944	
LEVEL 1	6	0	5	11
LEVEL 2	8	1	5	14
LEVEL 3	8	0	5	13
TOTAL UNITS	22	1	15	38
UNIT MIX	58%	3%	39%	100%

OPEN SPACE SUMMARY

REQUIRED USABLE OPEN SPACE

400 SF X 38 UNITS = 15,200 SF (SCMC 24.22.586)

PROPOSED USABLE OPEN SPACE

521 SF (MAIN LOBBY PLAZA AT THE INTERSECTION OF AMAR AVE AND RANKIN ST) + 1,220 SF (RESIDENTIAL LOBBY ENTRY PLAZA ON ALMAR AVE) + 1,109 SF (PLAY AREA OUTSIDE COMMUNITY RM)
= 2,850 SF/ 38 UNITS
= 75 SF PER UNIT

PROJECT TEAM

APPLICANT:

CRP AFFORDABLE HOUSING AND COMMUNITY DEVELOPMENT
4455 MORENA BLVD., SUITE 109
SAN DIEGO, CA 92117
CONTACT: JOSHUA RALLS
PHONE: 714.329.6947

ARCHITECT:

STUDIO T-SQ
1970 BROADWAY, SUITE 408
OAKLAND, CA 94612
CONTACT: CHEK-FONG TANG
PHONE: 510.451.2850

CIVIL:

BKF ENGINEERS
1730 N FIRST STREET, SUITE 600
SAN JOSE, CA 95112
CONTACT: JEREMY MARELLO
PHONE: 408.467.9137

LANDSCAPE ARCHITECT:

SSA LANDSCAPE ARCHITECTS
303 POTRERO STREET, SUITE 40-C
SANTA CRUZ, CA 95060
CONTACT: CHRISTIAN HARRIS
PHONE: 831.459.0455

DRY UTILITIES:

RADIUS DESIGN, LLC
1460 MARIA LANE, #420
WALNUT CREEK, CA 94596
CONTACT: JENNA RASMUSSEN
PHONE: 925.269.4575

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CIVIL

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ZONING COMPLIANCE SUMMARY

SITE ZONING COMPLIANCE SUMMARY - REFER TO ZONING CODE & GENERAL PLAN STANDARDS			
CATEGORY	STANDARD	REQUIRED	PROPOSED
DENSITY	DU/AC	10.1-20 DU/AC	41.8 DU/AC
	FAR	N/A	0.98 FAR
HEIGHT	MAX HEIGHT	66 FT (SITE IS LOCATED WITHIN 1/2 MILE OF A MAJOR TRANSIT STOP)	36 FT
	NUMBER OF STORIES	N/A	3
SETBACKS	FRONT YARD	15 FT TYP. UP TO 50% OF THE FRONTAGE ALLOWED TO BE 10 FT	10'-3" (INTERSECTION OF ALMAR AVE AND RANKIN ST)
	SIDE YARD	1 FT FOR EACH 3 FT OF HEIGHT (12 FT)	12 FT (ALMAR AVE); 10 FT (RANKIN ST)
	REAR YARD	10 FT	10 FT (TRACKS)
LOT AREA	MINIMUM LOT AREA	5,500 SF	39,656 SF
	MINIMUM LOT AREA PER DWELLING UNIT	2,200 SF	1,044 SF
PARKING	VEHICLES	N/A (SITE IS LOCATED WITHIN 1/2 MILE OF A MAJOR TRANSIT STOP)	38 SPACES
	BICYCLES	CLASS 1: 1 SPACE PER UNIT (38 SPACES) CLASS 2: 1 SPACE PER 4 UNITS (10 SPACES)	CLASS 1: 38 SPACES CLASS 2: 10 SPACES
	ELECTRIC CHARGING	12% OF TOTAL PARKING (5 SPACES)	5 EVCS
OPEN SPACE	USABLE OPEN SPACE	400 SF PER UNIT	75 SF MAX PER UNIT

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PROJECT SUMMARY

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SITE CONTEXT

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BUS STOP



MAIN TRAFFIC

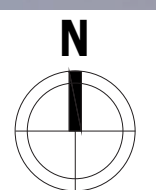


BIKEWAY

SITE CONTEXT

SCALE: 1" = 200' - 0" @ 30" x 42"

1





8



7



6



5



1



4



3



2



1



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Sheet Title:
EXISTING SITE
CONDITIONS

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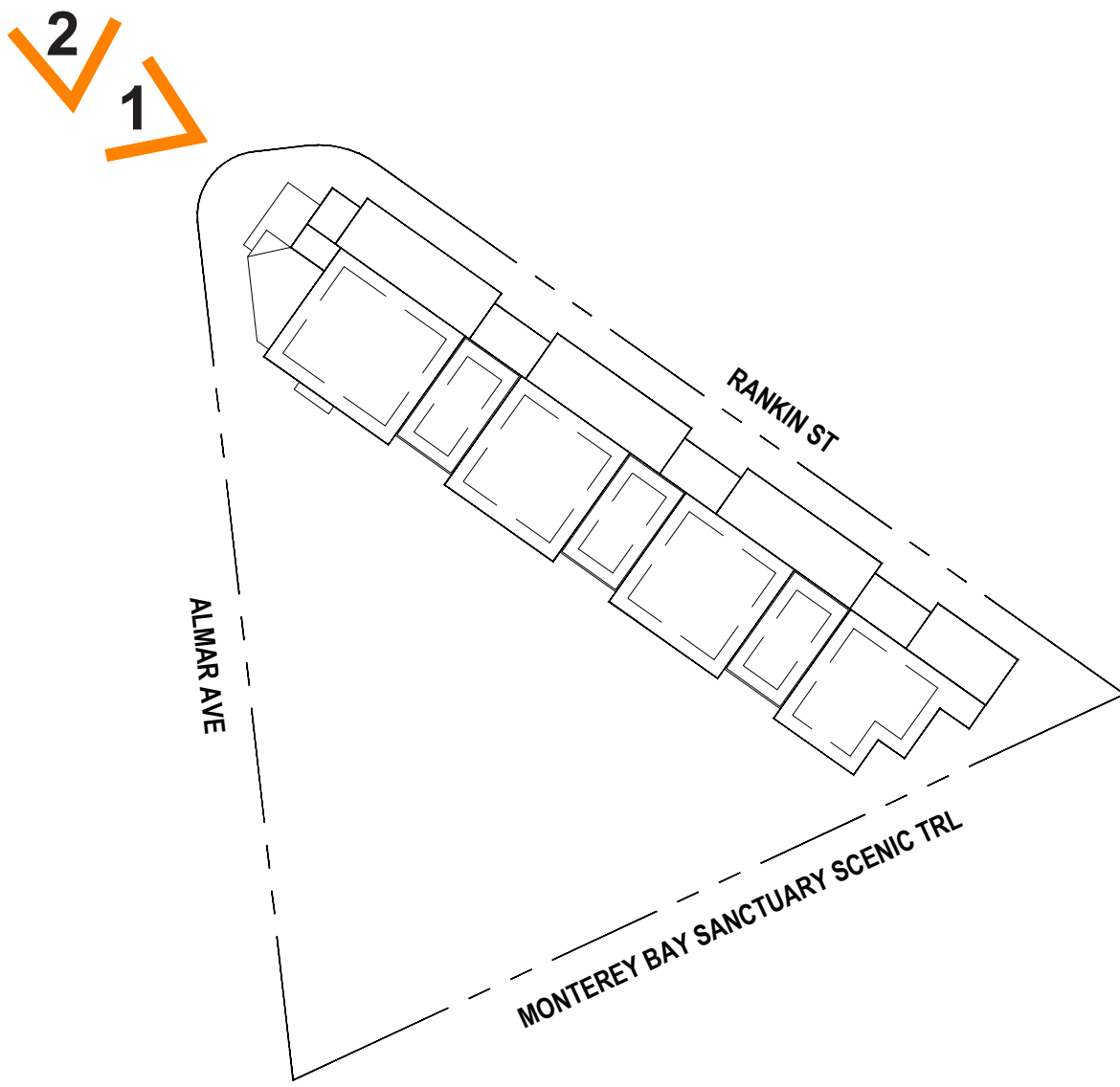
VIEW FROM THE NORTH OF ALMAR AVE

2



VIEW FROM THE INTERSECTION OF RANKIN ST AND ALMAR AVE

1



KEY MAP



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PHOTO
SIMULATIONS

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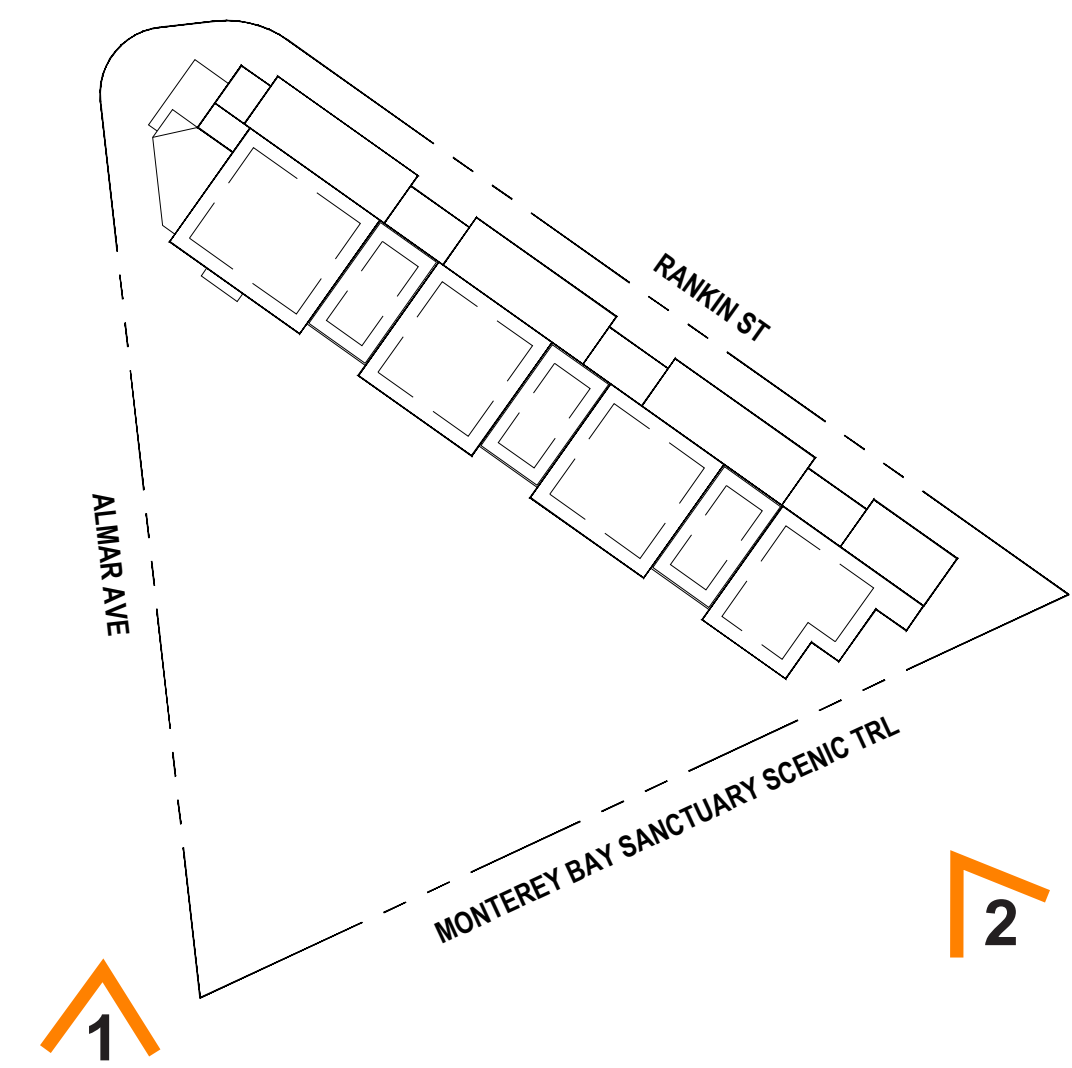
VIEW FROM SEASIDE ST

2



VIEW FROM THE SOUTH OF ALMAR AVE

1



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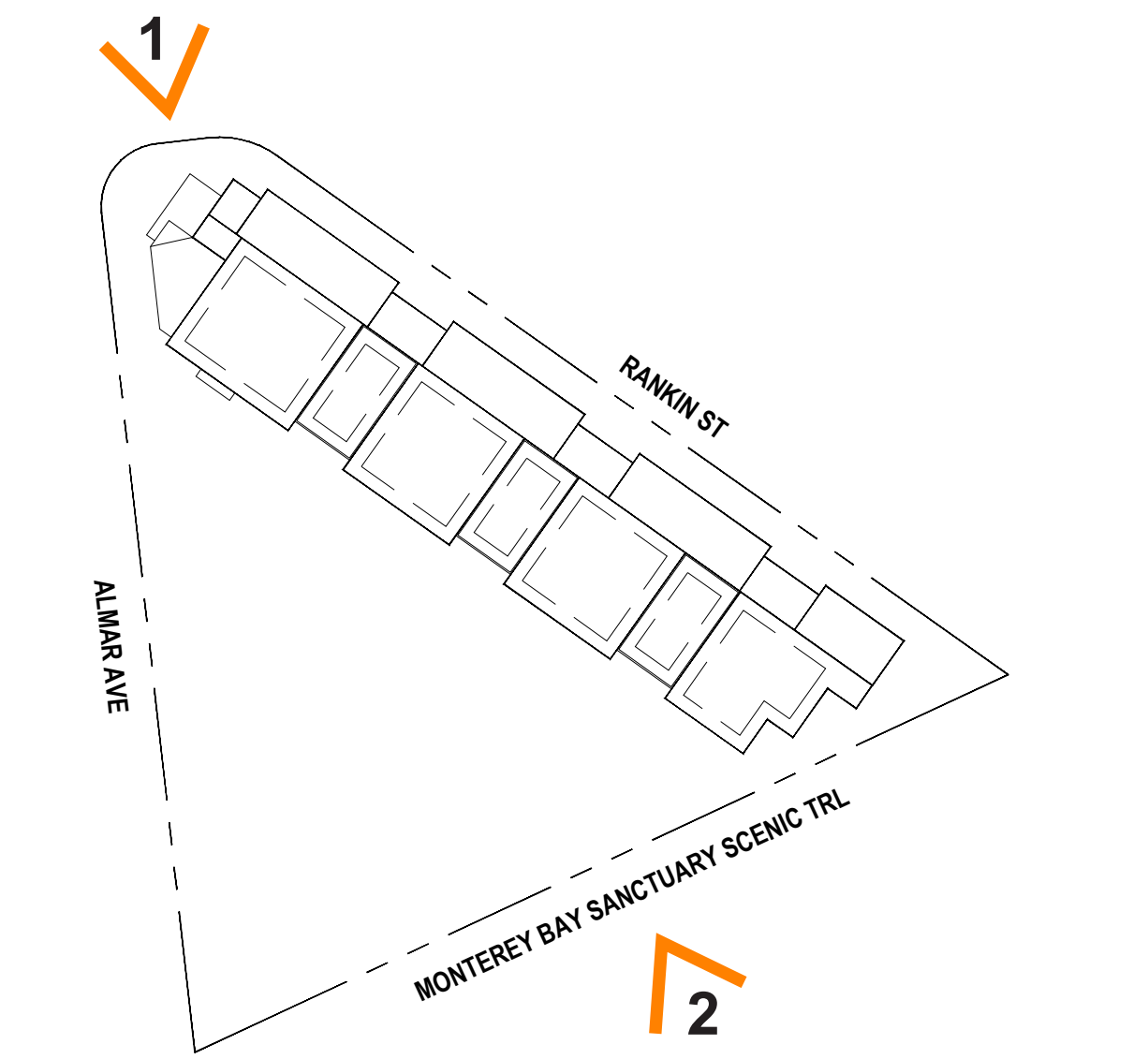


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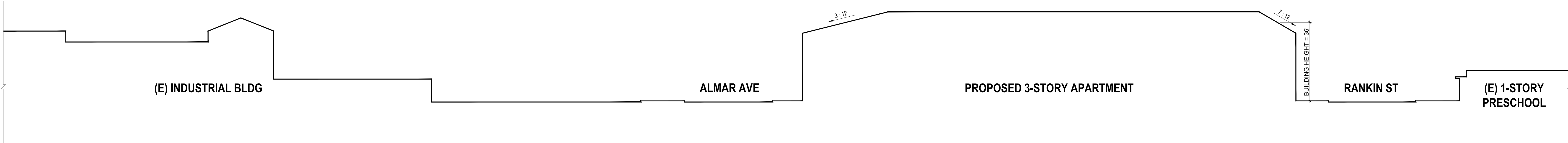
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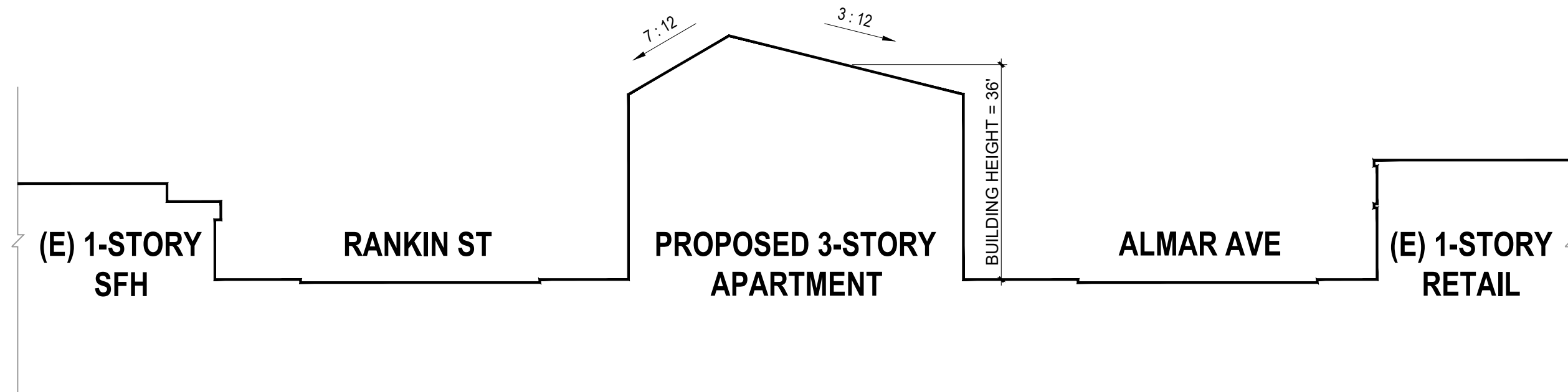
KEY MAP



STREETSCAPE ELEVATION

SCALE: 1"=20'-0" @ 30" x 42"

2



STREETSCAPE ELEVATION

SCALE: 1"= 20' - 0" @ 30" x 42"

1

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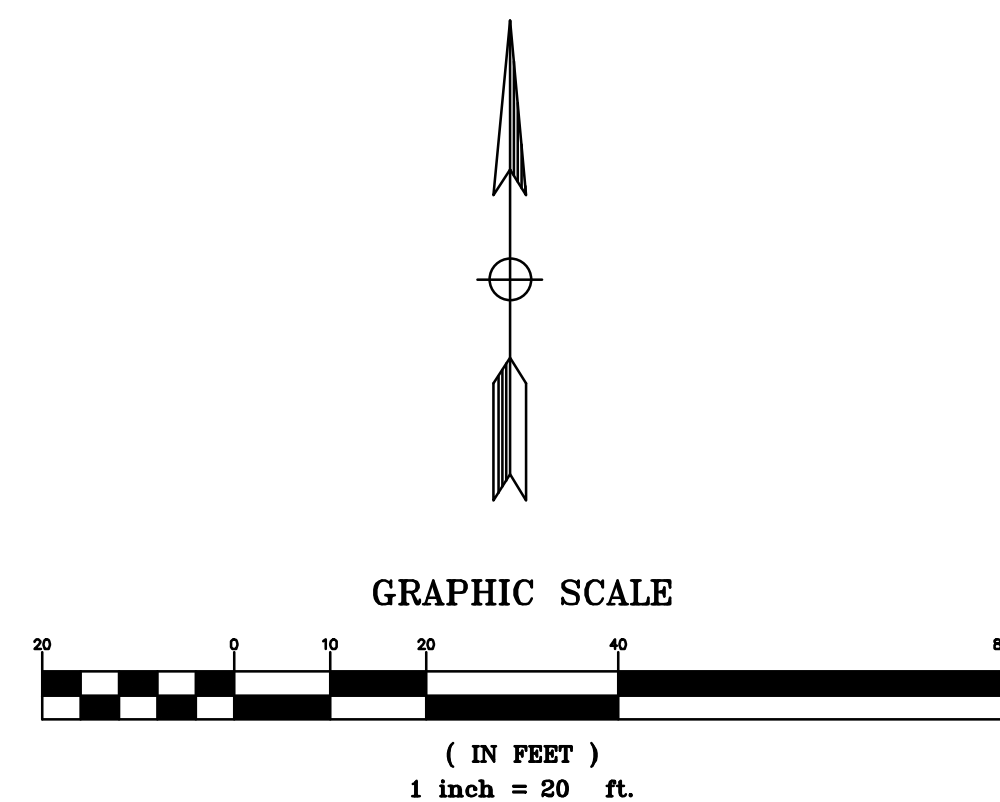
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Sheet Title:
STREETSCAPE
ELEVATIONS

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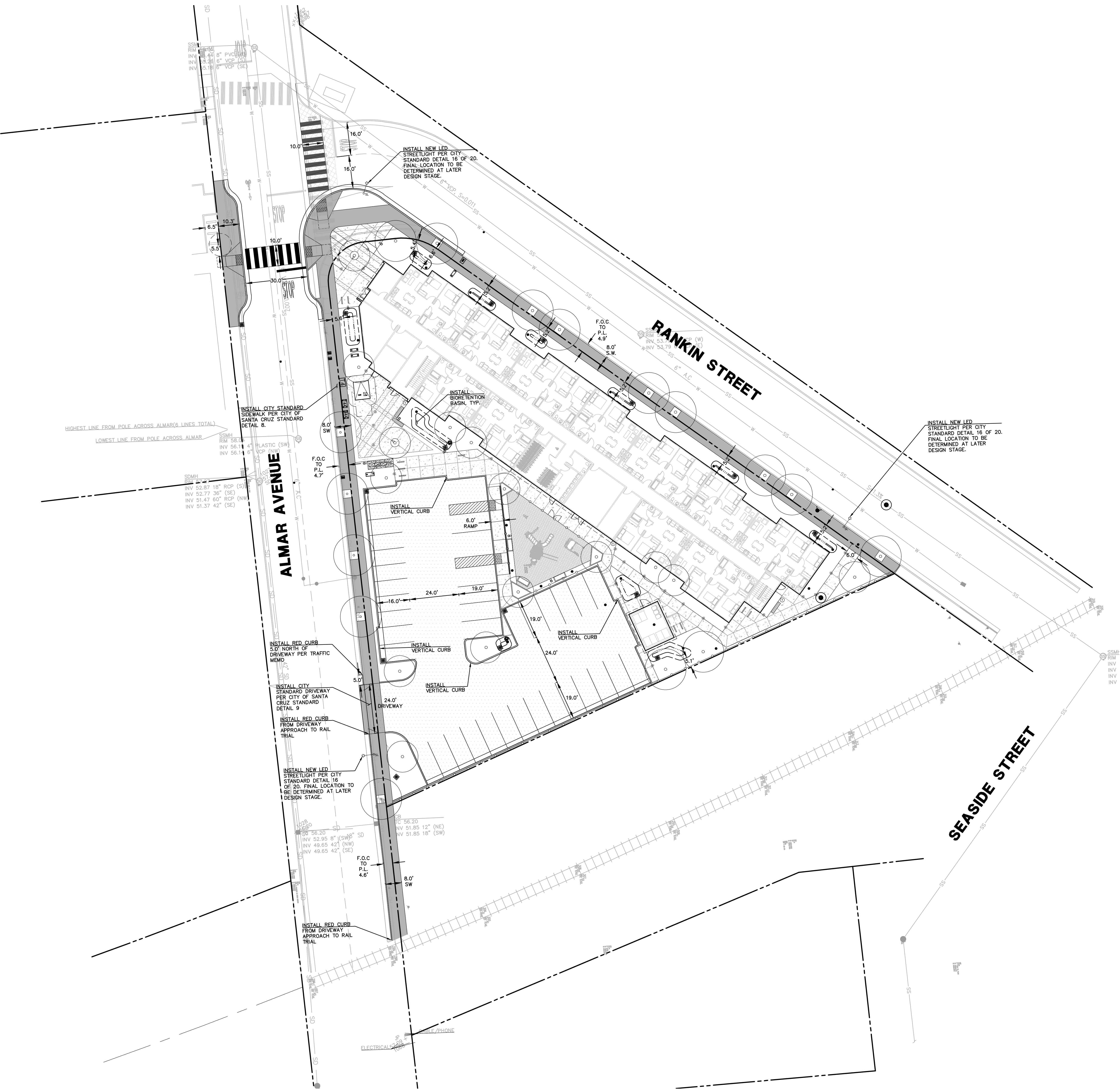
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EXISTING CONDITIONS

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LEGEND

PROPERTY LINE

SAW-CUT LINE

BIORETENTION BASIN

VERTICAL CURB

VERTICAL CURB & GUTTER

POROUS CITY STANDARD SIDEWALK*

POROUS ASPHALTIC CONCRETE*

POROUS SIDEWALK*

DECORATIVE POROUS CONCRETE*

GRIND AND OVERLAY EXISTING AC TO ULTIMATE FINISHED GRADE. DO NOT EXPOSE BASECOURSE IN ORDER TO AVOID TRIGGERING STORMWATER REGULATIONS.

INSTALL RED CURB PER CITY OF SANTA CRUZ STANDARDS

*POROUS PAVEMENT SECTIONS TO BE BUILT PER GEOTECHNICAL REPORT.



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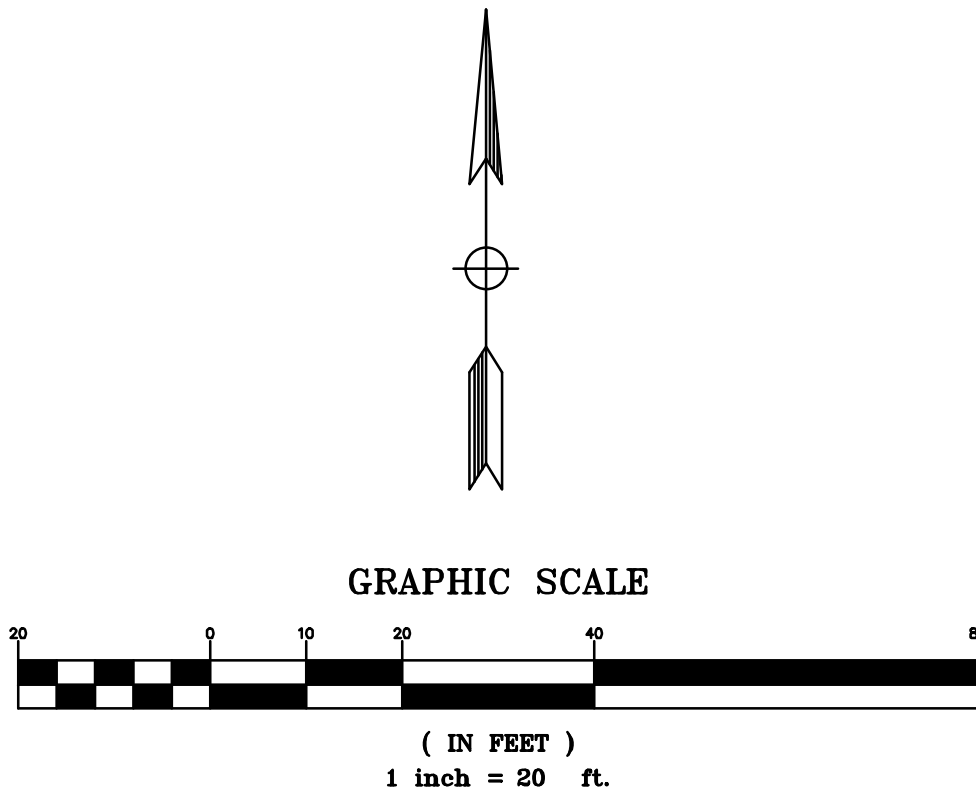
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PRELIMINARY SITE PLAN

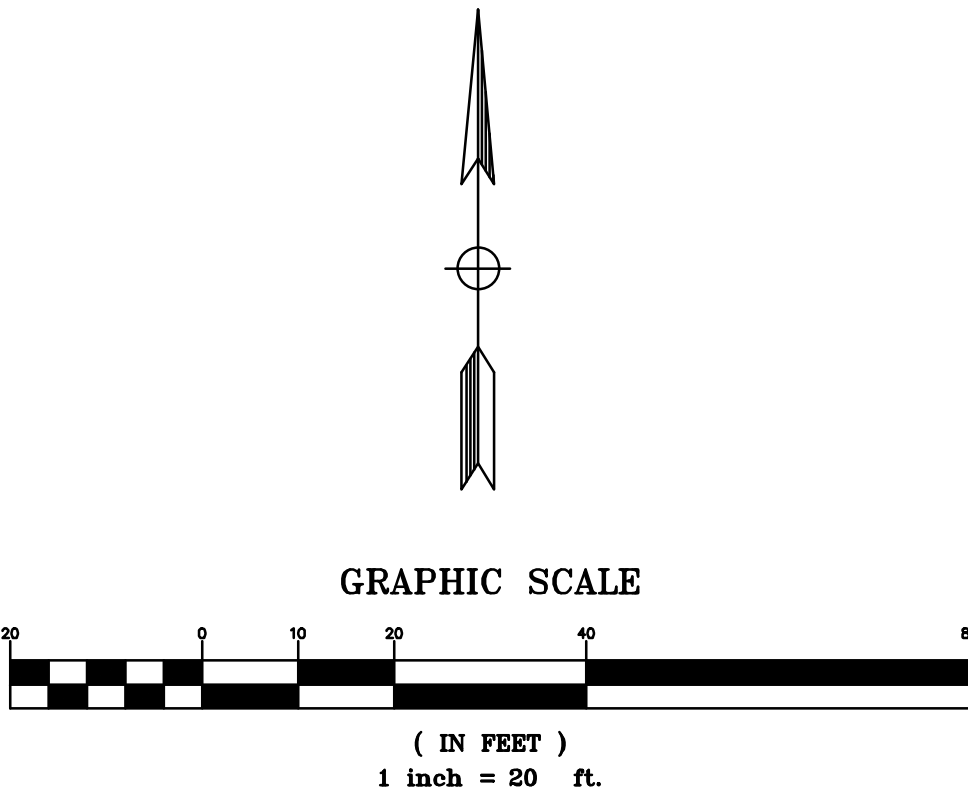
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LEGEND	
PROPERTY LINE	---
SAW-CUT LINE	- - - - -
GRADE BREAK LINE	- . - . -
BIORETENTION BASIN	[Symbol]
VERTICAL CURB	[Symbol]
VERTICAL CURB & GUTTER	[Symbol]
FINISHED GRADE ELEVATION	36.05
TOP OF STEP ELEVATION	TS 36.05
BOTTOM OF STEP ELEVATION	BS 36.05
TOP OF CURB ELEVATION	TC 36.05
FLOW LINE ELEVATION	FL 36.05
HIGH POINT	HP
LOW POINT	LP
PAVEMENT ELEVATION	PV 36.05
TOP OF BASIN ELEVATION	TOB 36.05
BOTTOM OF BASIN ELEVATION	BOB 36.05
GRADE TO DRAIN	[Symbol]
SLOPE/DIRECTION OF FLOW	[Symbol]
OVERLAND RELEASE	[Symbol]



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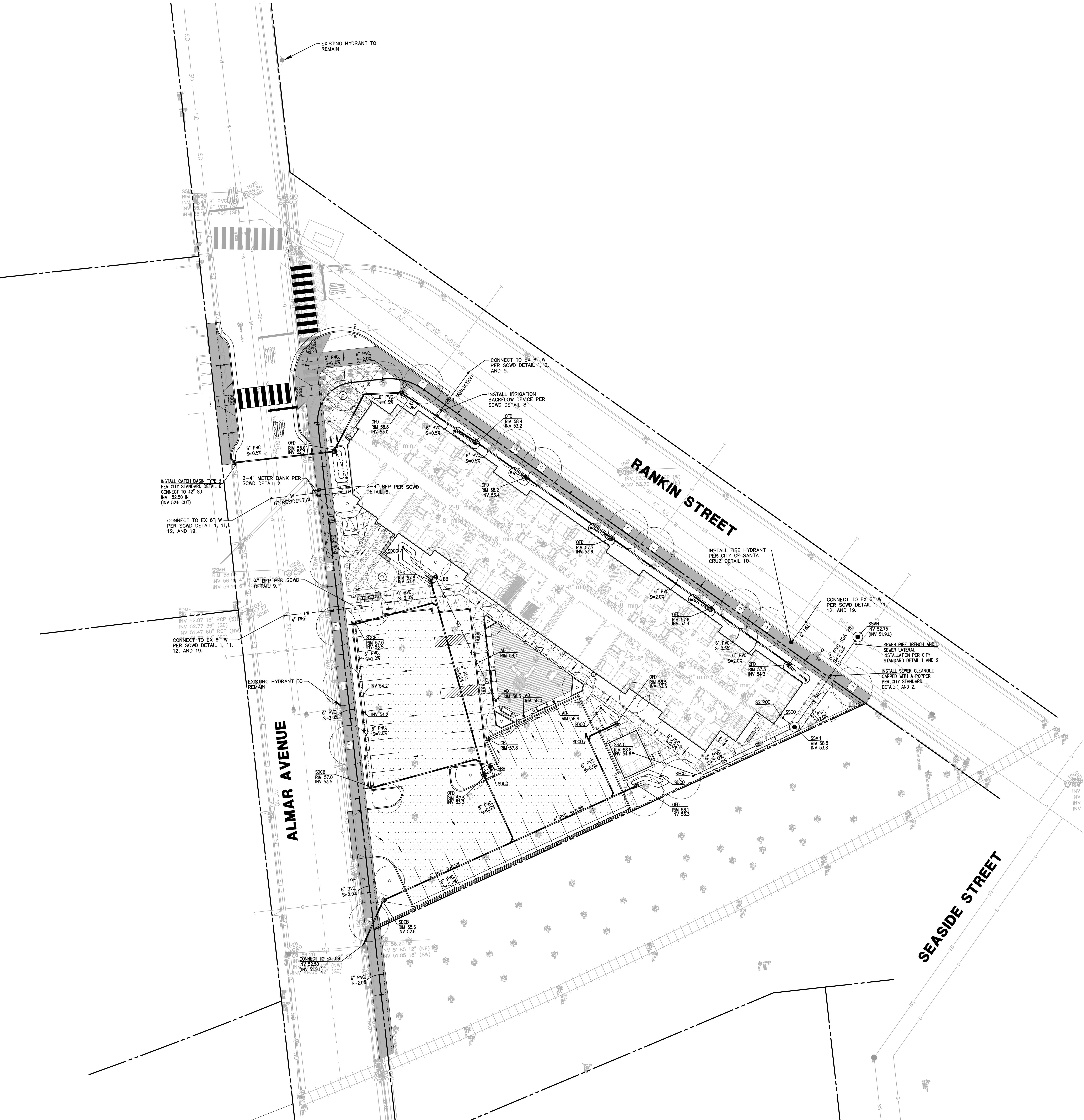
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Sheet Title:
**PRELIMINARY GRADING
AND DRAINAGE PLAN**

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LEGEND

PROPERTY LINE	---
PERFORATED PIPE*	---
BIORETENTION BASIN	---
PROPOSED STORM DRAIN (UNTREATED)	SD
PROPOSED STORM DRAIN (TREATED)	SS
PROPOSED SANITARY SEWER	SS
PROPOSED DOMESTIC WATER	W
PROPOSED IRRIGATION	IRR
PROPOSED FIRE WATER	FW
EXISTING OVER HEAD LINE	OH
STORM DRAIN MANHOLE	SDMH
SANITARY SEWER MANHOLE	SSMH
TRENCH DRAIN	TD
OVERFLOW DRAIN/DROP INLET	OFD
STORM DRAIN JUNCTION BOX	SDJB
CATCH BASIN	CB
AREA DRAIN	AD
BUBBLER BOX	BB
STORM DRAIN/SANITARY SEWER CLEANOUT	SDCO/SSCO
INVERT ELEVATION	INV
RIM ELEVATION	RM
WATER VALVE	WV
FIRE HYDRANT	FH
WATER METER	WM
BACKFLOW PREVENTION	BFP
POROUS PAVEMENT SUBGRADE SLOPE (TOWARDS PERFORATED PIPE)	---

*PERFORATED PIPE FOR POROUS PAVEMENT TO BE LOCATED ABOVE GROUNDWATER TABLE.



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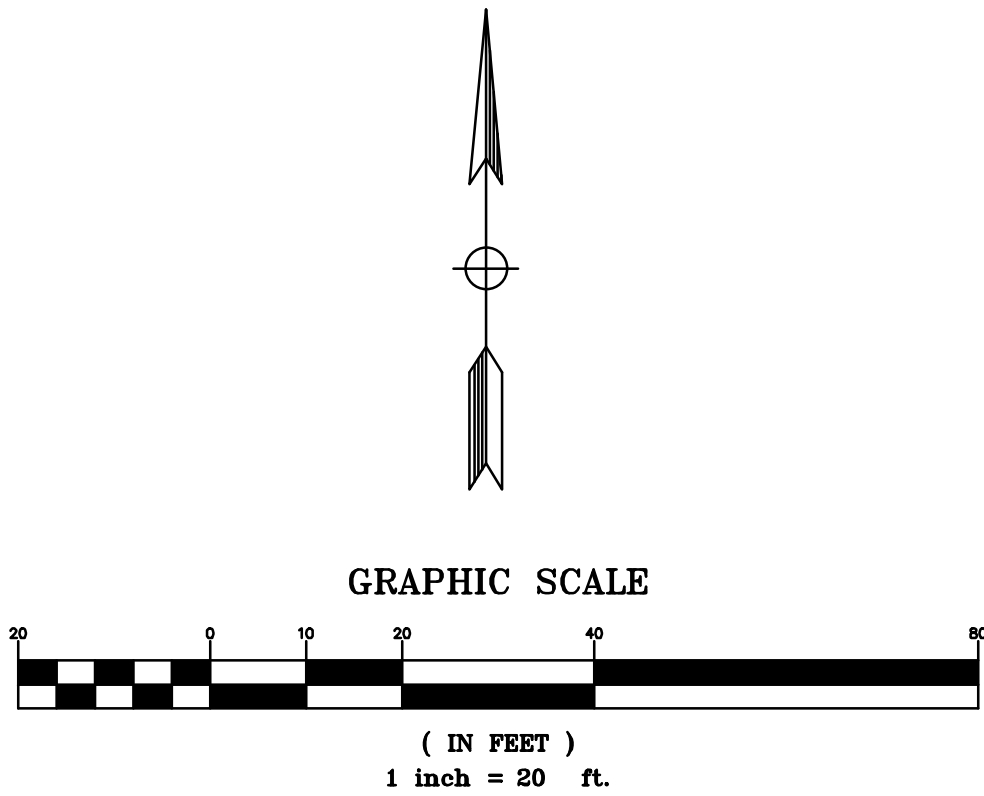
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**PRELIMINARY UTILITY
PLAN**

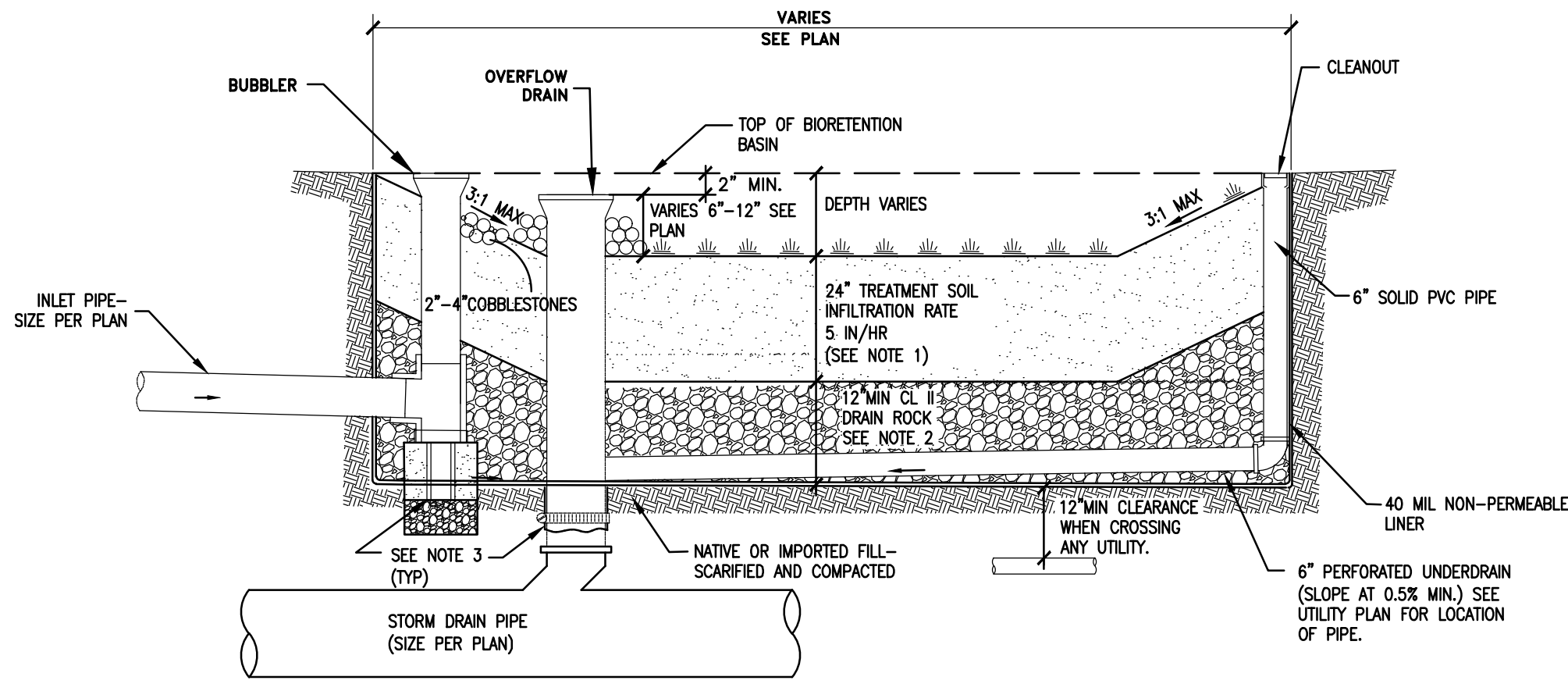
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REQUIREMENT CRITERIA

- TIER 1. RUNOFF REDUCTION
- SITE IMPERVIOUS SURFACE IS OPTIMIZED.
- TIER 2. WATER QUALITY TREATMENT
- BIORETENTION AREA IS PROVIDED (MINIMUM 4% OF NEW IMPERVIOUS SURFACE). SEE CALCULATION TO THE RIGHT.
- TIER 3. RETENTION REQUIREMENT
- EXEMPT. THE PROJECT PROPOSES 14,843 SF IMPERVIOUS SURFACE, WHICH IS LESS THAN THE 15,000 SF TRIGGER FOR TIER 3 REQUIREMENT.
- TIER 4. PEAK FLOW MANAGEMENT
- EXEMPT. THE SITE DRAINAGE SYSTEM IS CONNECTED VIA UNDERGROUND PIPE TO THE CITY'S MAIN STORM DRAIN SYSTEM, WHICH DISCHARGES TO THE OCEAN.



NOTES

1. TREATMENT SOIL MIX SHALL MEET REQUIREMENTS AS SPECIFIED IN CHAPTER 6B OF THE BEST MANAGEMENT PRACTICES MANUAL FOR THE CITY OF SANTA CRUZ. THE SOIL IN BIO-RETENTION, BIO-SWALE AND RAIN GARDEN AREAS SHALL BE A HOMOGENEOUS MIX OF 60-70% FINE SAND (MEETING ASTM D422 OR CALTRANS TEST METHOD C202) AND 30-40% WEED-FREE, MANURE-FREE, STABLE COMPOST
2. PERFORATED PIPE SHALL BE SOLVENT WELD PVC SDR 35 (OR APPROVED EQUAL) WITH PERFORATIONS FACED DOWN. LOCATION OF THE PIPE VARIES, SEE PLAN.
3. FOR ANY LINER PENETRATIONS, RADIAL-CUT THE LINER FOR PIPE. MASTIC AND SEAL WITH PIPE CLAMP TO INSURE WATER-TIGHT SEAL.
4. MAINTAIN SPECIFIED DEPTH BENEATH PERFORATED PIPE.

LEGEND

- PROPERTY LINE
VERTICAL CURB & GUTTER
BIORETENTION BASIN
TREATED STORM DRAIN
UNTREATED STORM DRAIN
DRAINAGE MANAGEMENT AREA BOUNDARY
DRAINAGE MANAGEMENT AREA LABEL
STORMWATER CONTROL MEASURE LABEL
HARDSCAPE - ROOF
HARDSCAPE - POURED IN PLACE RUBBER SURFACING
PERVIOUS SURFACE (POROUS CONCRETE, LANDSCAPE, ETC.)
GRIND AND OVERLAY EXISTING AC TO ULTIMATE FINISHED GRADE. DO NOT EXPOSE BASEROCK IN ORDER TO AVOID TRIGGERING STORMWATER REGULATIONS*

*PER CITY OF SANTA CRUZ HANDBOOK, "REPLACED IMPERVIOUS SURFACE" IS DEFINED AS "THE REMOVAL OF EXISTING IMPERVIOUS SURFACES DOWN TO BARE SOIL OR BASE COURSE, AND REPLACEMENT WITH NEW IMPERVIOUS SURFACE. REPLACEMENT OF IMPERVIOUS SURFACES THAT ARE PART OF ROUTINE ROAD MAINTENANCE ACTIVITIES ARE NOT CONSIDERED REPLACED IMPERVIOUS SURFACES"

TIER 2 WATER QUALITY TREATMENT SUMMARY

Drainage Management Area (DMA)	TOTAL AREA (SF)	IMPERVIOUS SURFACE (SF)	PERVIOUS SURFACE (SF)	TREATMENT AREA REQUIRED (SF) (4% IMPERVIOUS SURFACE)	TREATMENT AREA PROVIDED (SF)	TREATMENT MEASURE
A-1	1845	1,845	-	74	112	B.B.1
A-2	317	317	-	13	53	B.B.2
A-3	693	693	-	28	64	B.B.3
A-4	3795	3,795	-	152	161	B.B.4
A-5	657	657	-	26	52	B.B.5
A-6	731	731	-	29	64	B.B.6
A-7	1970	1,970	-	79	94	B.B.7
A-8	1051	1,051	-	42	64	B.B.8
A-9	2441	2,441	-	98	124	B.B.9
A-10	868	868	-	35	64	B.B.10
A-11	475	475	-	19	38	B.B.11
A-12	28095	-	28,095	-	-	
PROJECT TOTAL	42938	14843	28095	594	890	



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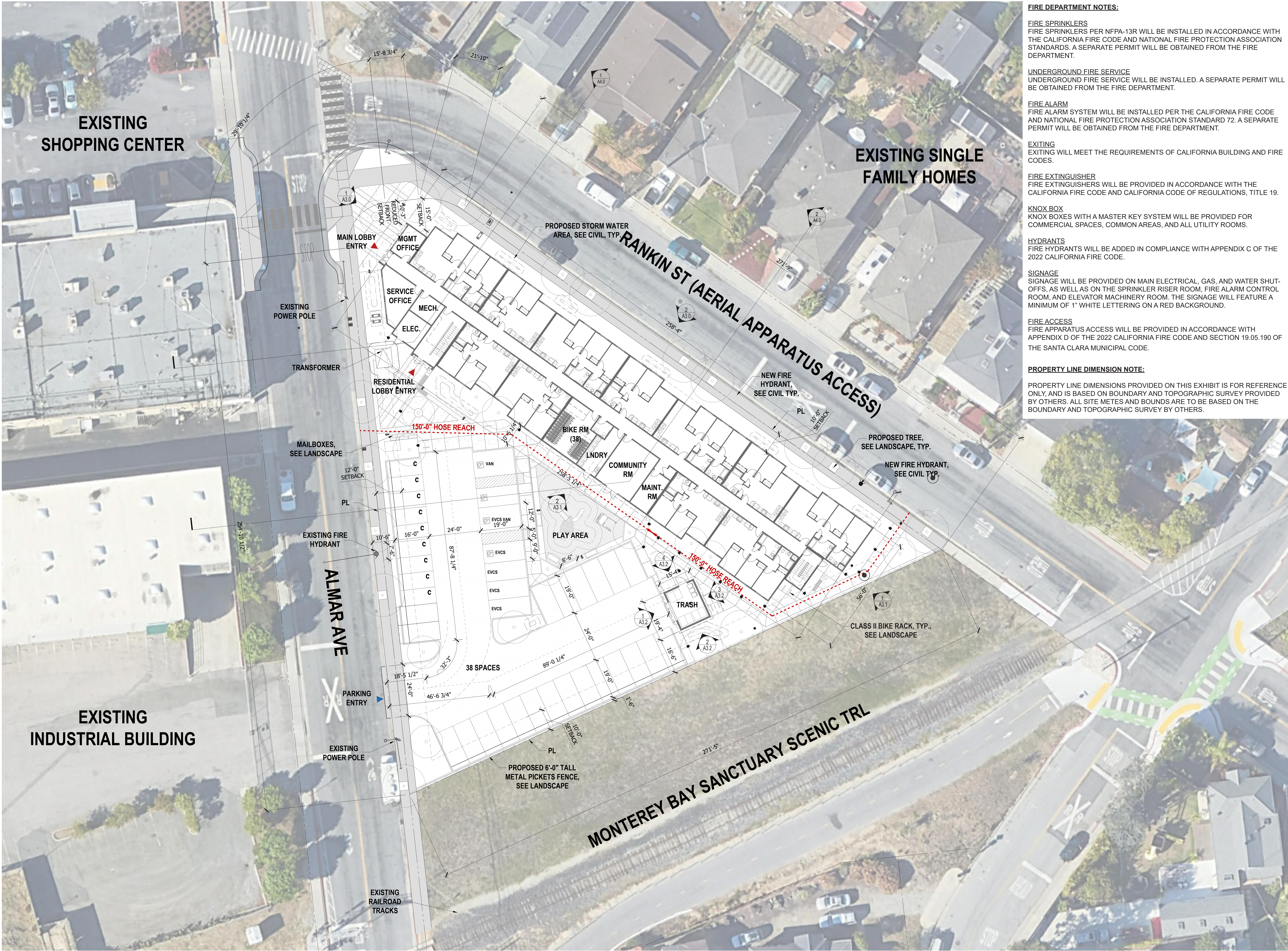
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SANTA CRUZ, CA 95060
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Sheet Title:
**PRELIMINARY
STORMWATER
MANAGEMENT PLAN**

Job No. 24002
Date: 07/03/2024
Scale: 1"=20'
Drawn By: BE

Sheet No:



FIRE DEPARTMENT NOTES:

FIRE SPRINKLERS
FIRE SPRINKLERS PER NFPA-13R WILL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE AND NATIONAL FIRE PROTECTION ASSOCIATION STANDARDS. A SEPARATE PERMIT WILL BE OBTAINED FROM THE FIRE DEPARTMENT.

UNDERGROUND FIRE SERVICE
UNDERGROUND FIRE SERVICE WILL BE INSTALLED. A SEPARATE PERMIT WILL BE OBTAINED FROM THE FIRE DEPARTMENT.

FIRE ALARM
FIRE ALARM SYSTEM WILL BE INSTALLED PER THE CALIFORNIA FIRE CODE AND NATIONAL FIRE PROTECTION ASSOCIATION STANDARD 72. A SEPARATE PERMIT WILL BE OBTAINED FROM THE FIRE DEPARTMENT.

EXITING
EXITING WILL MEET THE REQUIREMENTS OF CALIFORNIA BUILDING AND FIRE CODES.

FIRE EXTINGUISHER
FIRE EXTINGUISHERS WILL BE PROVIDED IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE AND CALIFORNIA CODE OF REGULATIONS, TITLE 19.

KNOX BOX
KNOX BOXES WITH A MASTER KEY SYSTEM WILL BE PROVIDED FOR COMMERCIAL SPACES, COMMON AREAS, AND ALL UTILITY ROOMS.

HYDRANTS
FIRE HYDRANTS WILL BE ADDED IN COMPLIANCE WITH APPENDIX C OF THE 2022 CALIFORNIA FIRE CODE.

SIGNAGE
SIGNAGE WILL BE PROVIDED ON MAIN ELECTRICAL, GAS, AND WATER SHUT-OFFS, AS WELL AS ON THE SPRINKLER RISER ROOM, FIRE ALARM CONTROL ROOM, AND ELEVATOR MACHINERY ROOM. THE SIGNAGE WILL FEATURE A MINIMUM OF 1" WHITE LETTERING ON A RED BACKGROUND.

FIRE ACCESS
FIRE APPARATUS ACCESS WILL BE PROVIDED IN ACCORDANCE WITH APPENDIX D OF THE 2022 CALIFORNIA FIRE CODE AND SECTION 19.05.190 OF THE SANTA CLARA MUNICIPAL CODE.

PROPERTY LINE DIMENSION NOTE:
PROPERTY LINE DIMENSIONS PROVIDED ON THIS EXHIBIT IS FOR REFERENCE ONLY, AND IS BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY OTHERS. ALL SITE METES AND BOUNDS ARE TO BE BASED ON THE BOUNDARY AND TOPOGRAPHIC SURVEY BY OTHERS.



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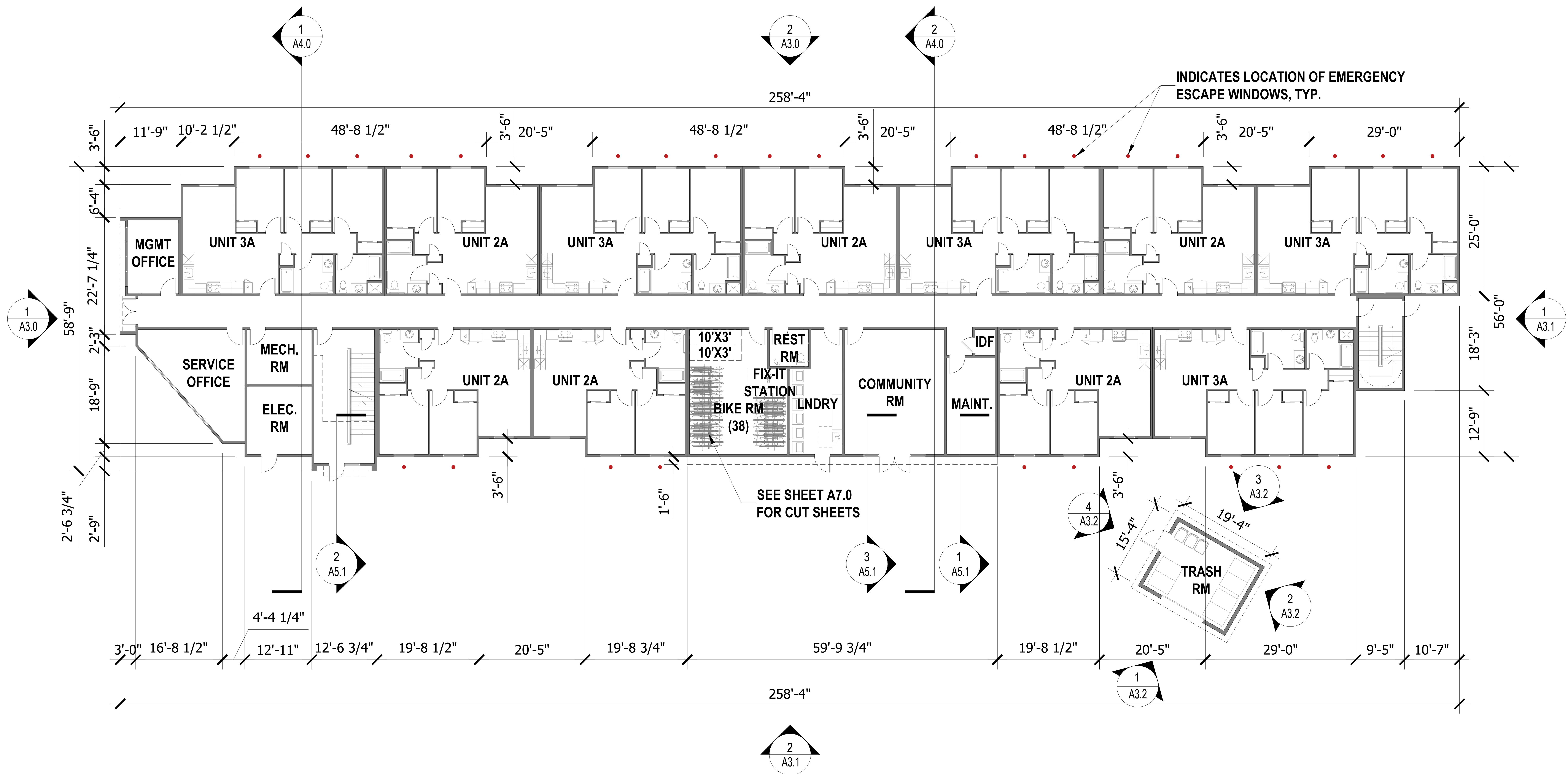
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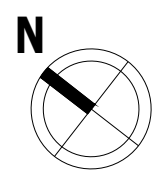
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A2.0



BUILDING PLANS - LEVEL 1
SCALE: 1/8" = 1' - 0" @ 30" x 42"





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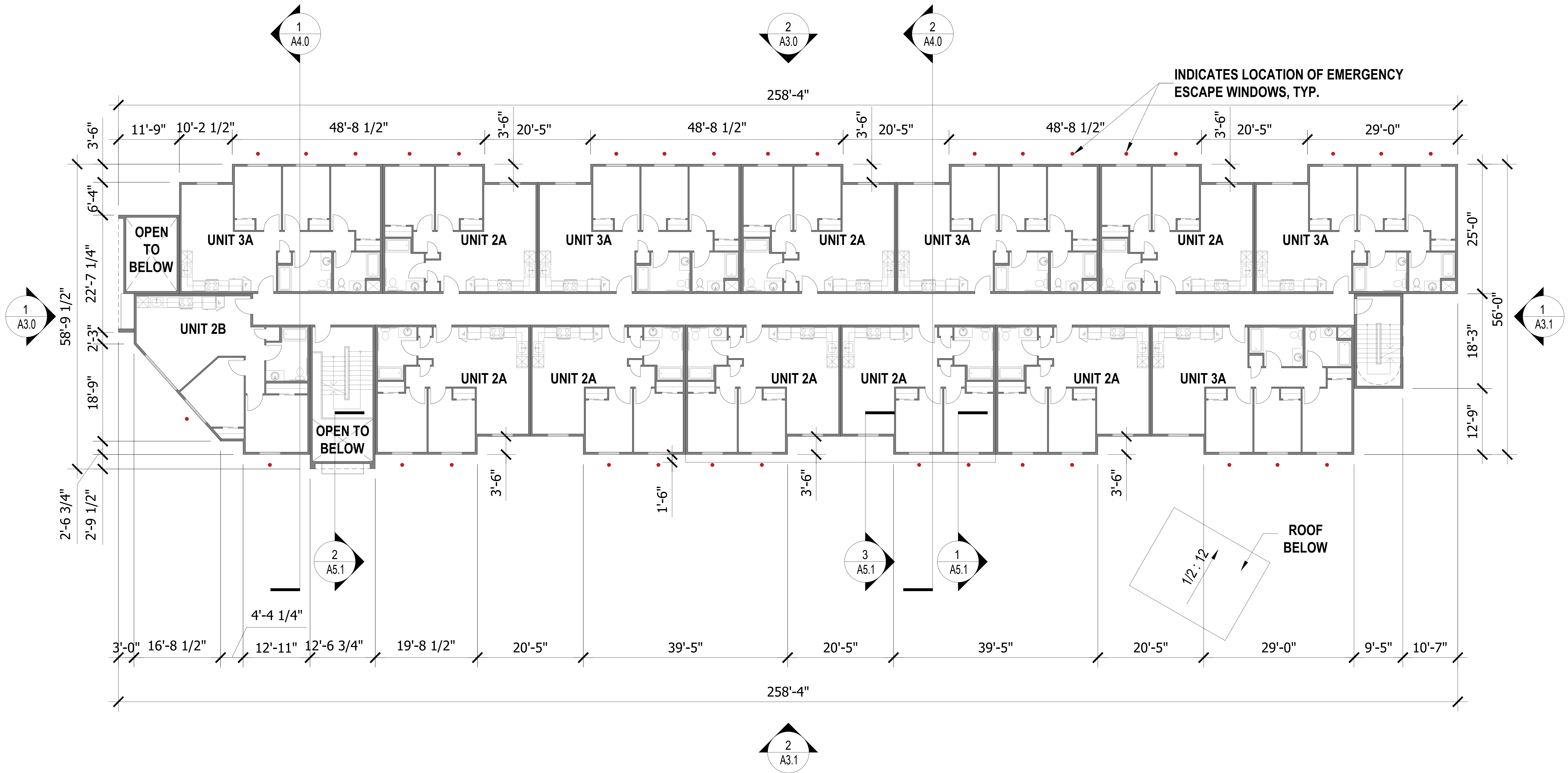
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Sheet Title:
BUILDING PLANS -
LEVEL 2

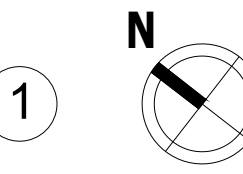
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Sheet No:

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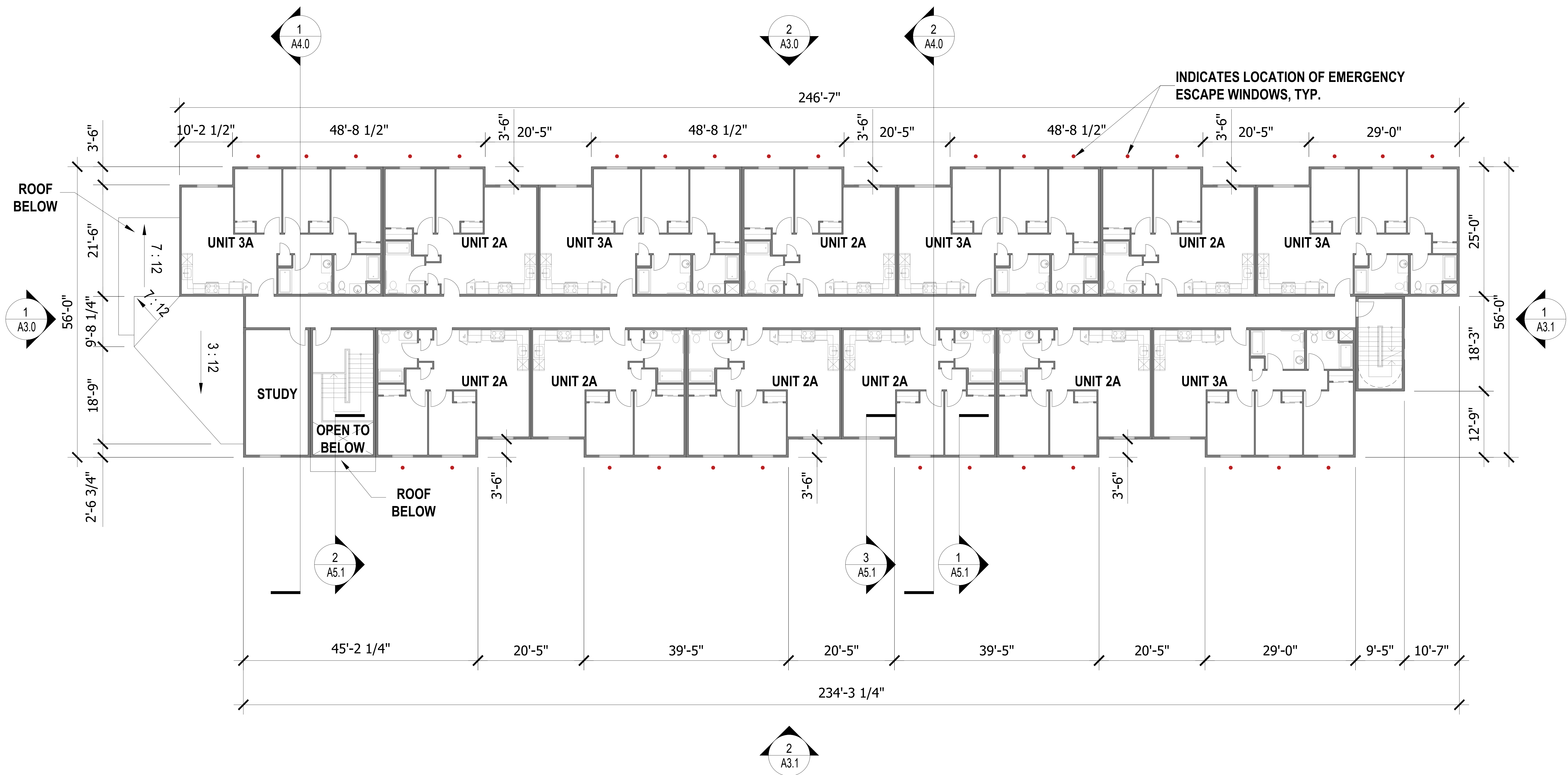
BUILDING PLANS - LEVEL 2
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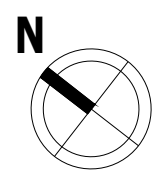
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BUILDING PLANS
LEVEL 3

Job No. 24002
Date: 2024/07/03
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Sheet No:

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BUILDING PLANS - LEVEL 3
SCALE: 1/8" = 1' - 0" @ 30" x 42"





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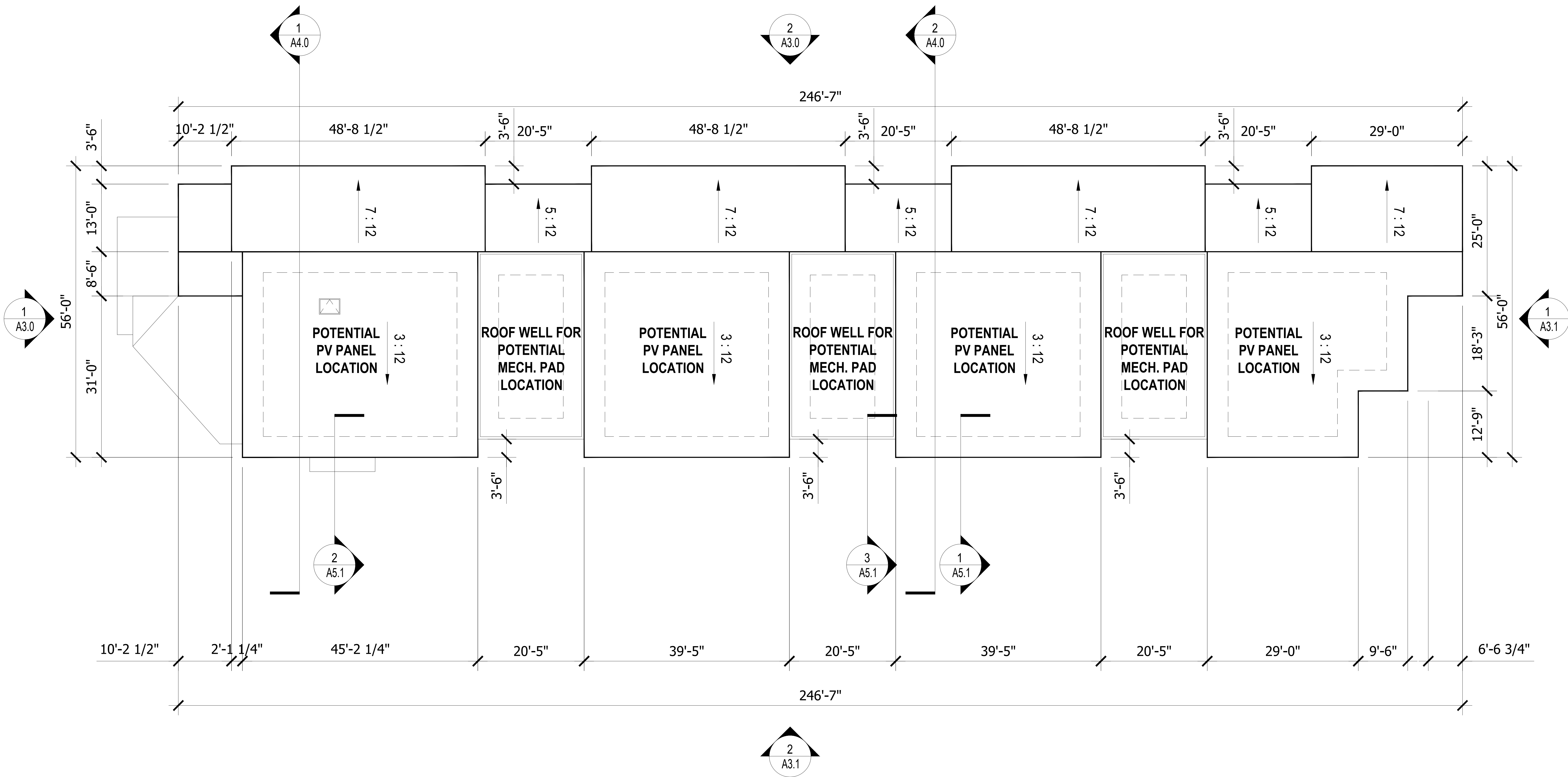
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Sheet Title:
BUILDING PLANS -
ROOF PLAN

Job No. 24002
Date: 2024/07/03
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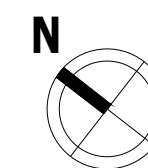
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A2.3



BUILDING PLANS - ROOF PLAN
SCALE: 1/8" = 1' - 0" @ 30" x 42"

1





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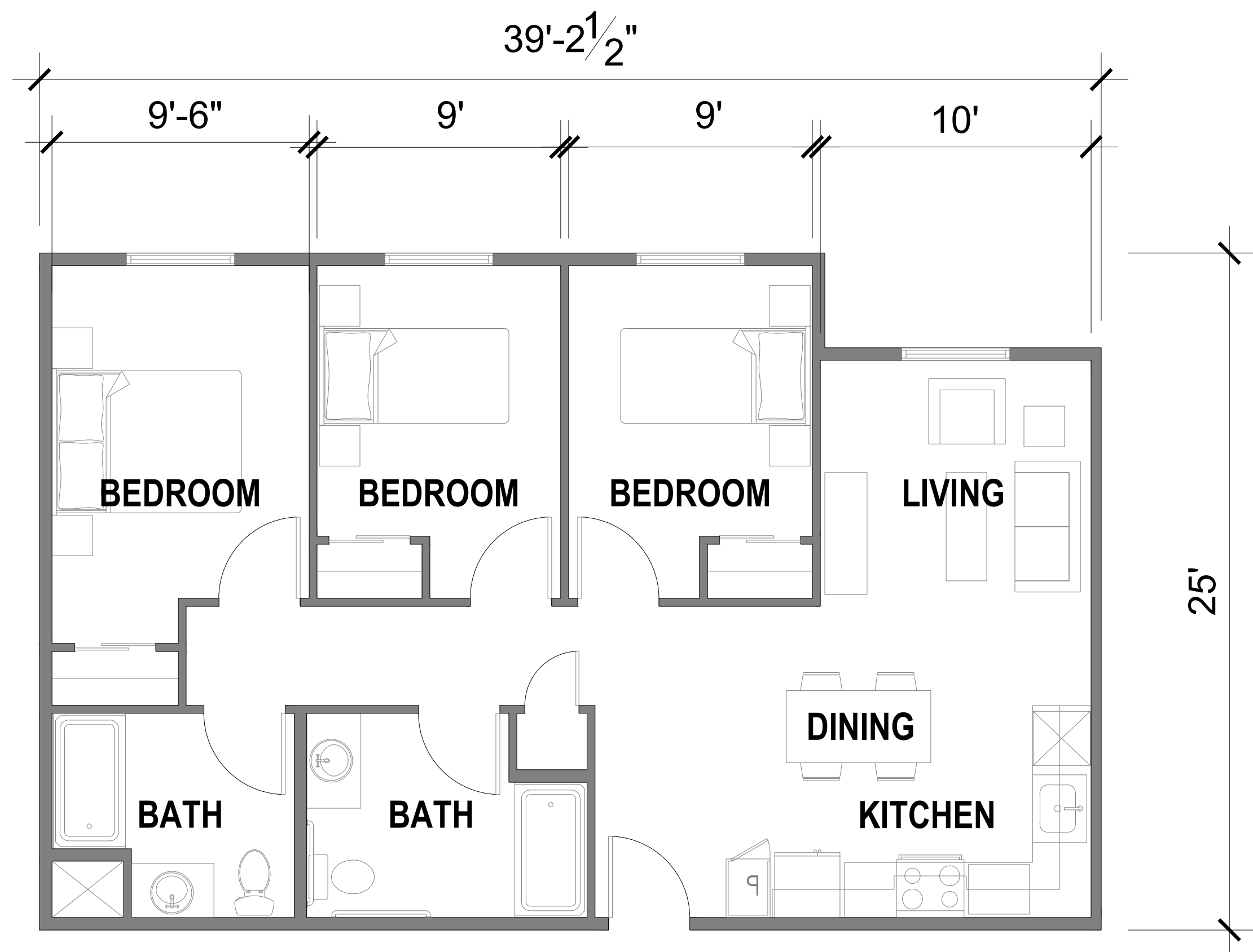
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Sheet Title:
UNIT PLANS

Job No. 24002
Date: 2024/07/03
Scale: AS NOTED
Drawn By:

Sheet No:

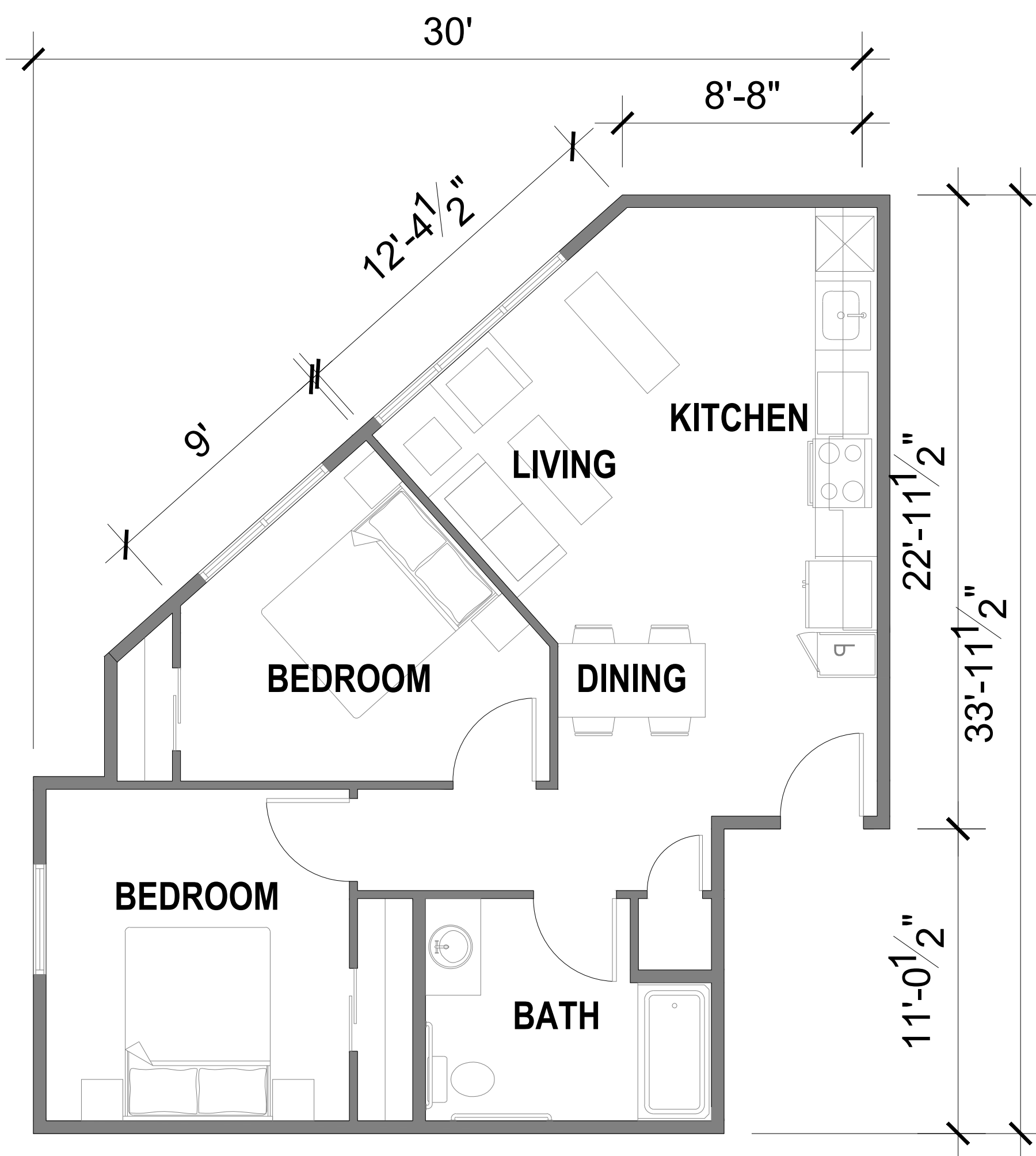
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UNIT 3A
3BR/2BA
GSF: 944 sf

UNIT PLAN - UNIT 3A
SCALE: 1/4" = 1' - 0" @ 30" x 42"

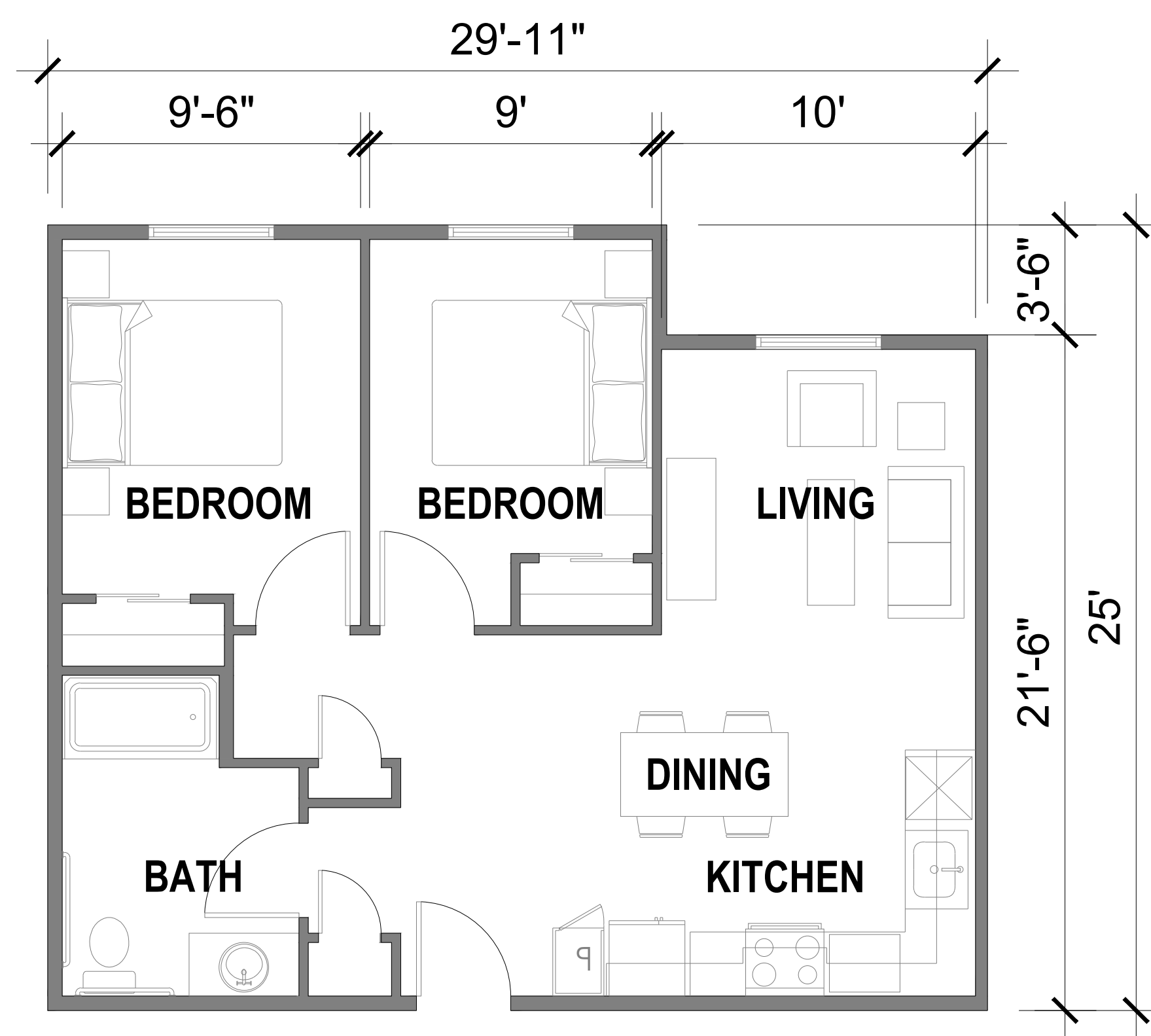
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UNIT 2B
2BR/1BA
GSF: 764 sf

UNIT PLAN - UNIT 2B
SCALE: 1/4" = 1' - 0" @ 30" x 42"

2



UNIT 2A
2BR/1BA
GSF: 712 sf

UNIT PLAN - UNIT 2A
SCALE: 1/4" = 1' - 0" @ 30" x 42"

1



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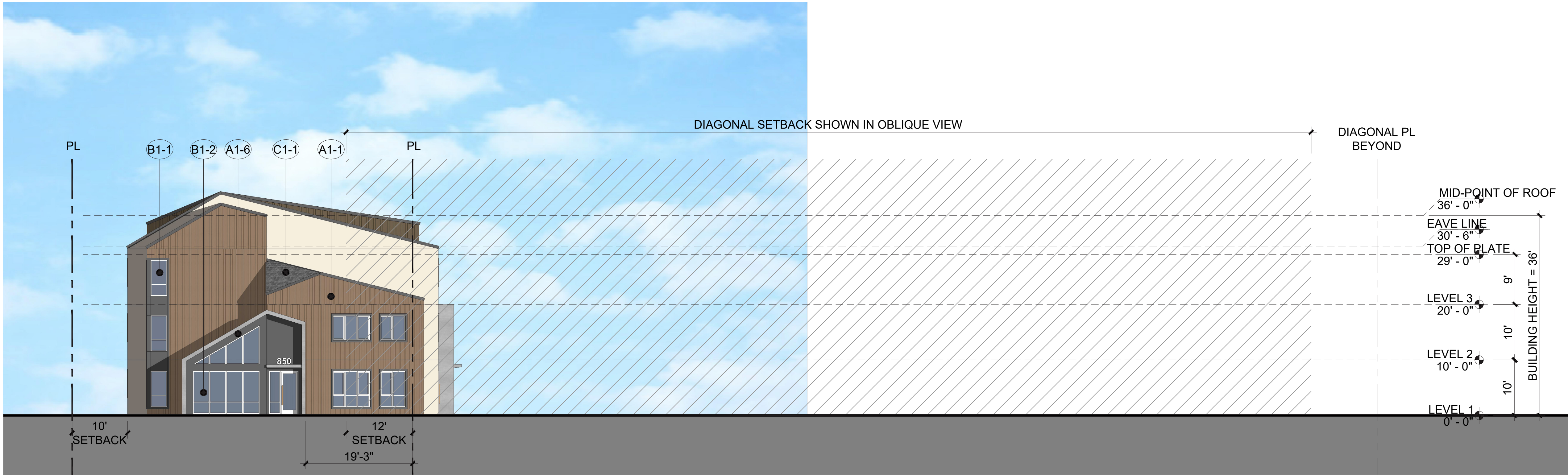
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NE ELEVATION
SCALE: 3/32" = 1' - 0" @ 30" x 42" 2



NW ELEVATION
SCALE: 3/32" = 1' - 0" @ 30" x 42" 1

MATERIALS	
A1-1	FIBER CEMENT BOARD AND BATTEN SIDING - BROWN
A1-2	FIBER CEMENT BOARD AND BATTEN SIDING - DARK BROWN
A1-3	FIBER CEMENT PANEL - DARK GRAY
A1-4	CORRUGATED METAL PANEL - LIGHT GRAY
A1-5	STUCCO - BEIGE
A1-6	STUCCO - DARK GRAY
A1-7	SPLIT FACE CMU BLOCK - BEIGE
B1-1	VINYL WINDOW
B1-2	STOREFRONT
C1-1	DIMENSIONAL ASPHALT SHINGLES ROOFING

(SEE MATERIAL BOARD FOR DETAILS)

Sheet Title:
BUILDING
ELEVATIONS

Job No. 24002
Date: 2024/07/03
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MATERIALS	
A1-1	FIBER CEMENT BOARD AND BATTEN SIDING - BROWN
A1-2	FIBER CEMENT BOARD AND BATTEN SIDING - DARK BROWN
A1-3	FIBER CEMENT PANEL - DARK GRAY
A1-4	CORRUGATED METAL PANEL - LIGHT GRAY
A1-5	STUCCO - BEIGE
A1-6	STUCCO - DARK GRAY
A1-7	SPLIT FACE CMU BLOCK - BEIGE
B1-1	VINYL WINDOW
B1-2	STOREFRONT
C1-1	DIMENSIONAL ASPHALT SHINGLES ROOFING

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A3.1



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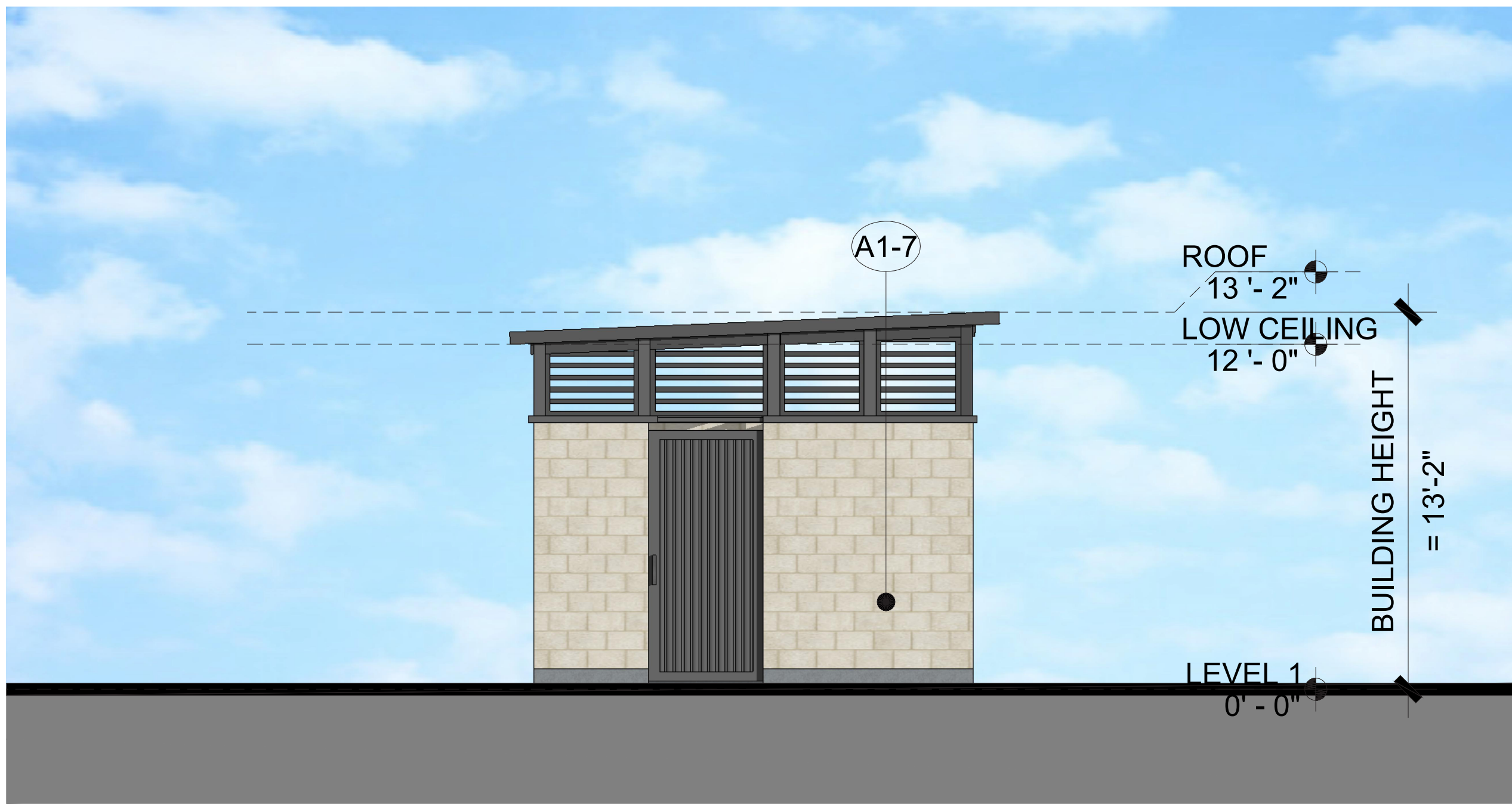
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Sheet Title:
TRASH
ENCLOSURE
ELEVATIONS

Job No. 24002
Date: 2024/07/03
Scale: AS NOTED
Drawn By:

Sheet No:

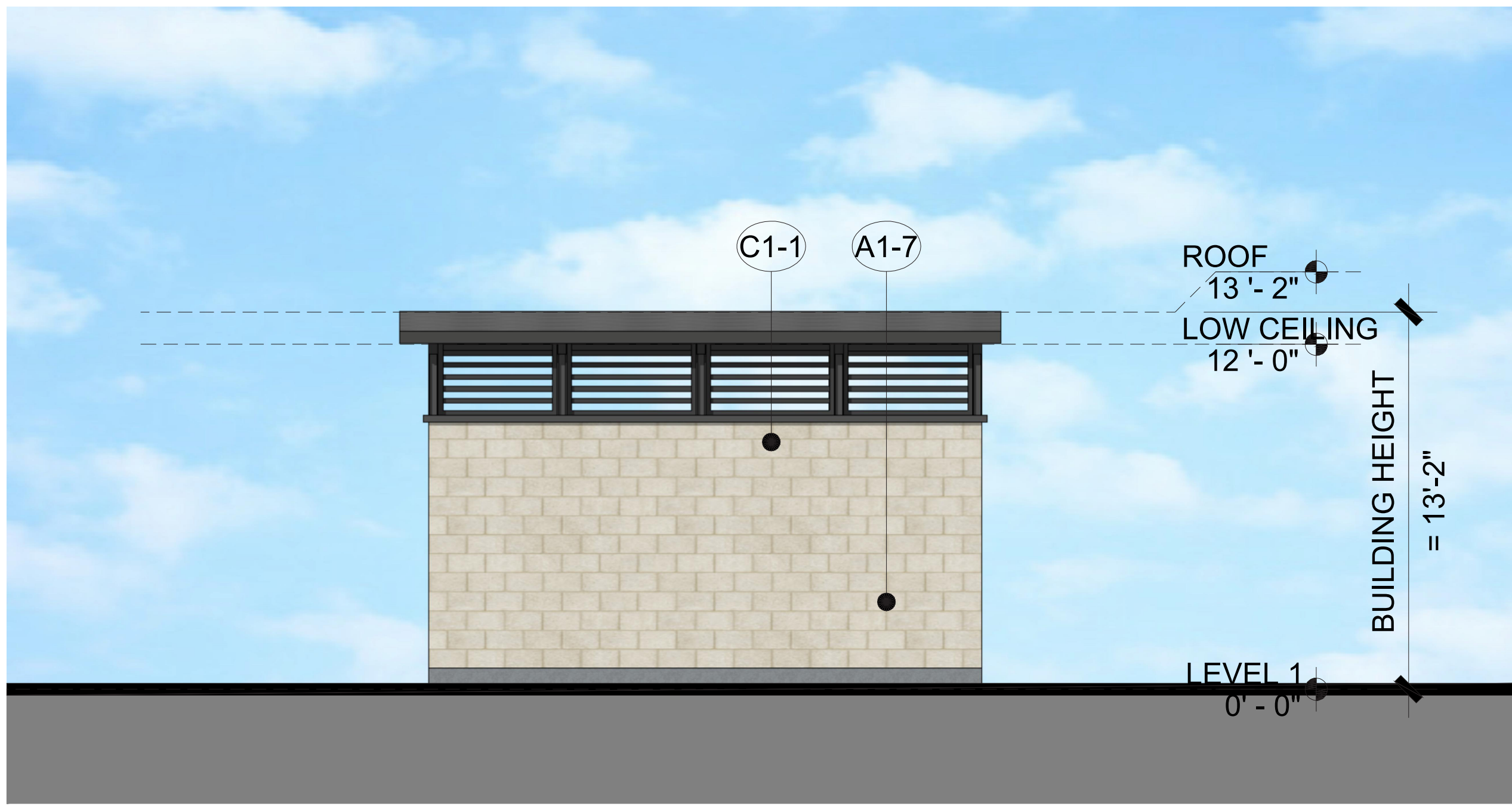
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TRASH ENCLOSURE - SIDE 2 ELEVATION

SCALE: 1/4" = 1' - 0" @ 30" x 42"

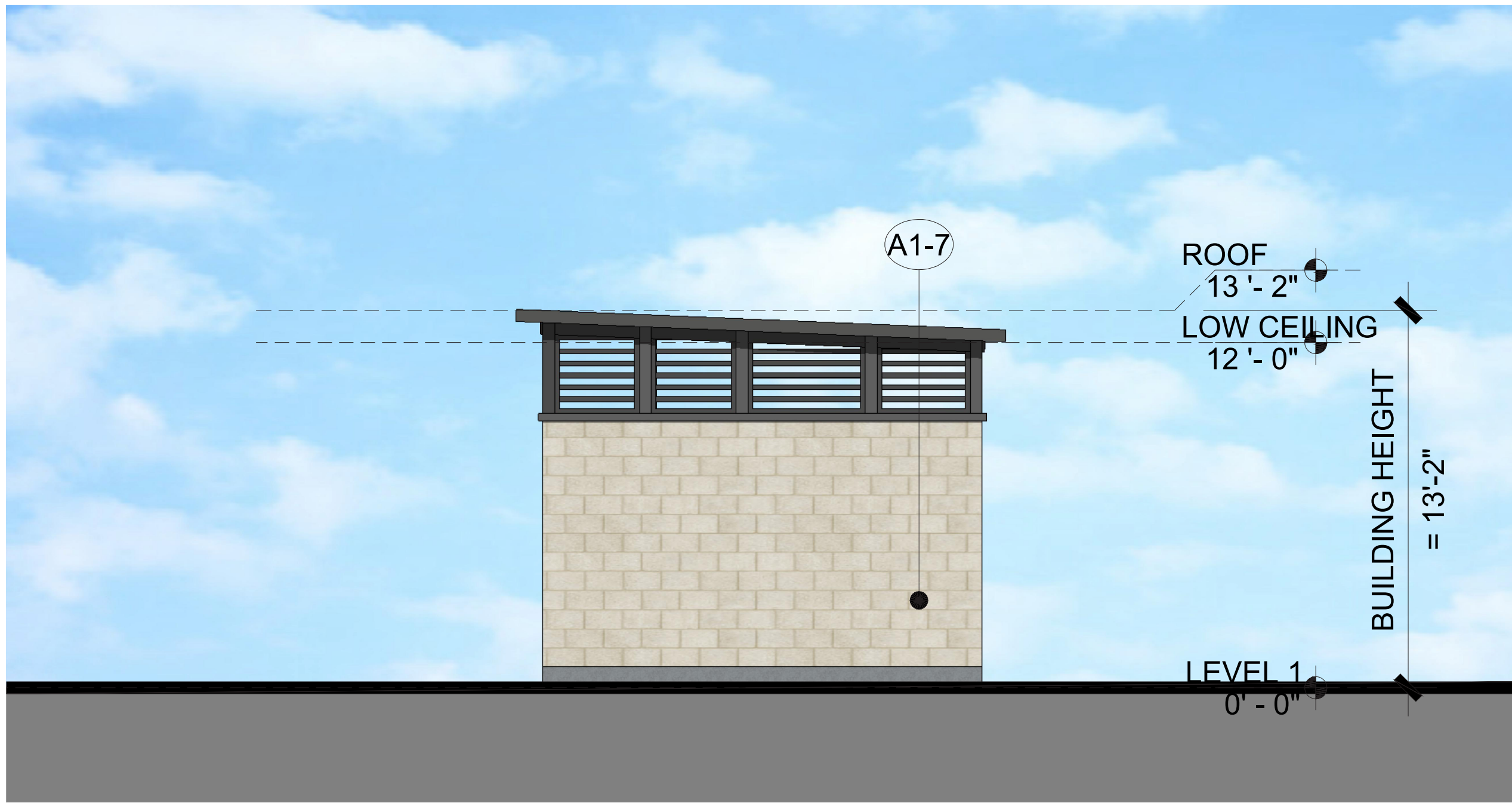
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TRASH ENCLOSURE - BACK ELEVATION

SCALE: 1/4" = 1' - 0" @ 30" x 42"

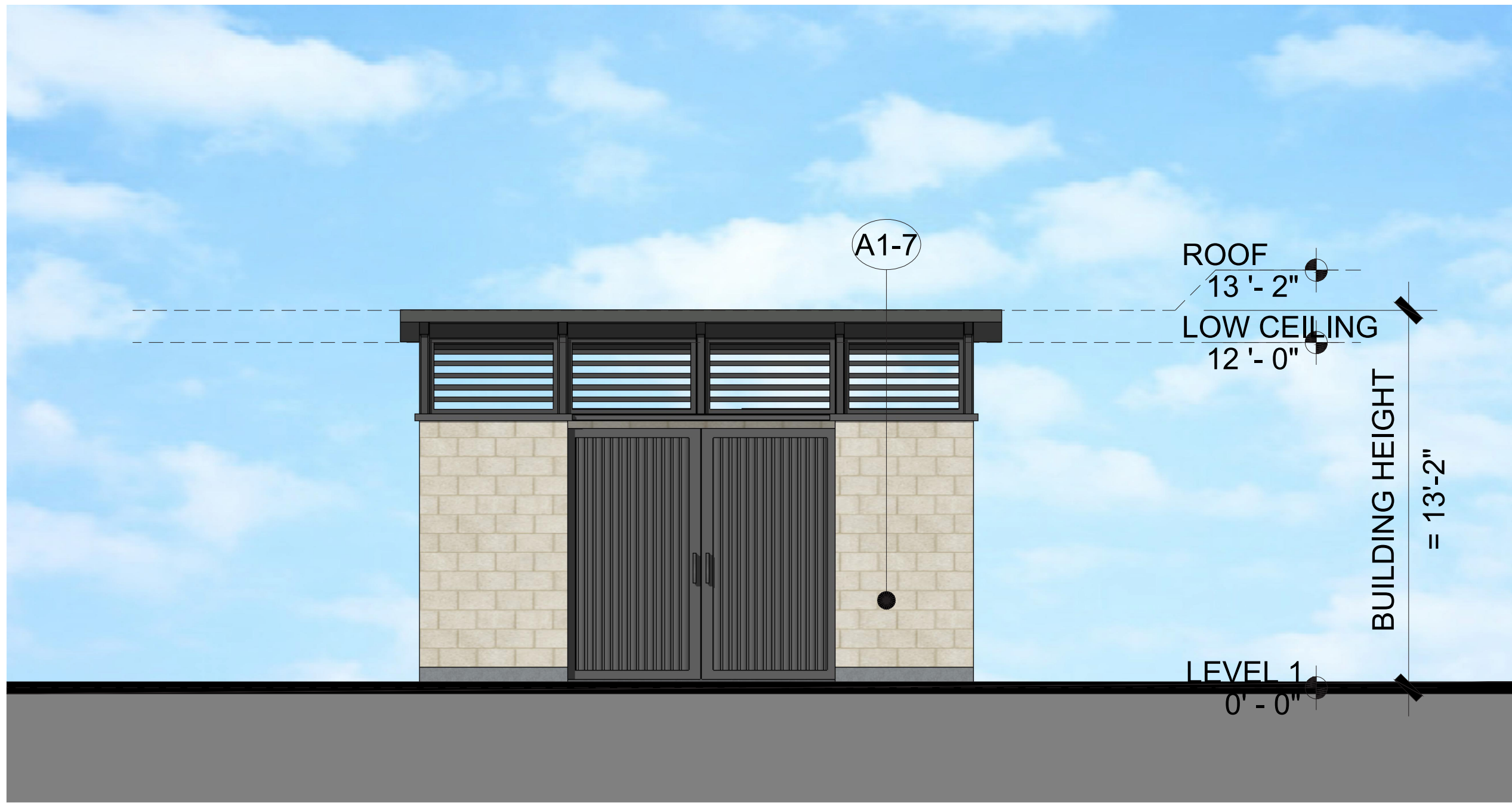
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TRASH ENCLOSURE - SIDE 1 ELEVATION

SCALE: 1/4" = 1' - 0" @ 30" x 42"

2



TRASH ENCLOSURE - FRONT ELEVATION

SCALE: 1/4" = 1' - 0" @ 30" x 42"

1

MATERIALS	
A1-1	FIBER CEMENT BOARD AND BATTEN SIDING - BROWN
A1-2	FIBER CEMENT BOARD AND BATTEN SIDING - DARK BROWN
A1-3	FIBER CEMENT PANEL - DARK GRAY
A1-4	CORRUGATED METAL PANEL - LIGHT GRAY
A1-5	STUCCO - BEIGE
A1-6	STUCCO - DARK GRAY
A1-7	SPLIT FACE CMU BLOCK - BEIGE
B1-1	VINYL WINDOW
B1-2	STOREFRONT
C1-1	DIMENSIONAL ASPHALT SHINGLES ROOFING

(SEE MATERIAL BOARD FOR DETAILS)



A1-1 FIBER CEMENT
BOARD AND BATTEN
SIDING
BROWN COLOR



A1-2 FIBER CEMENT
BOARD AND BATTEN
SIDING
DARK BROWN COLOR



A1-3 FIBER CEMENT
PANEL
DARK GRAY COLOR



A1-4 CORRUGATED
METAL PANEL
LIGHT GRAY COLOR



A1-5 STUCCO
BEIGE COLOR



A1-6 STUCCO
DARK GRAY COLOR



A1-7 SPLIT FACE CMU
BLOCK
BEIGE COLOR



B1-1 VINYL WINDOW



B1-2 STOREFRONT



C1-1 DIMENSIONAL ASPHALT
SHINGLES ROOFING



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Sheet Title:
COLORS AND
MATERIALS

Job No. 24002
Date: 2024/07/03
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Drawn By:

Sheet No:

A4.0

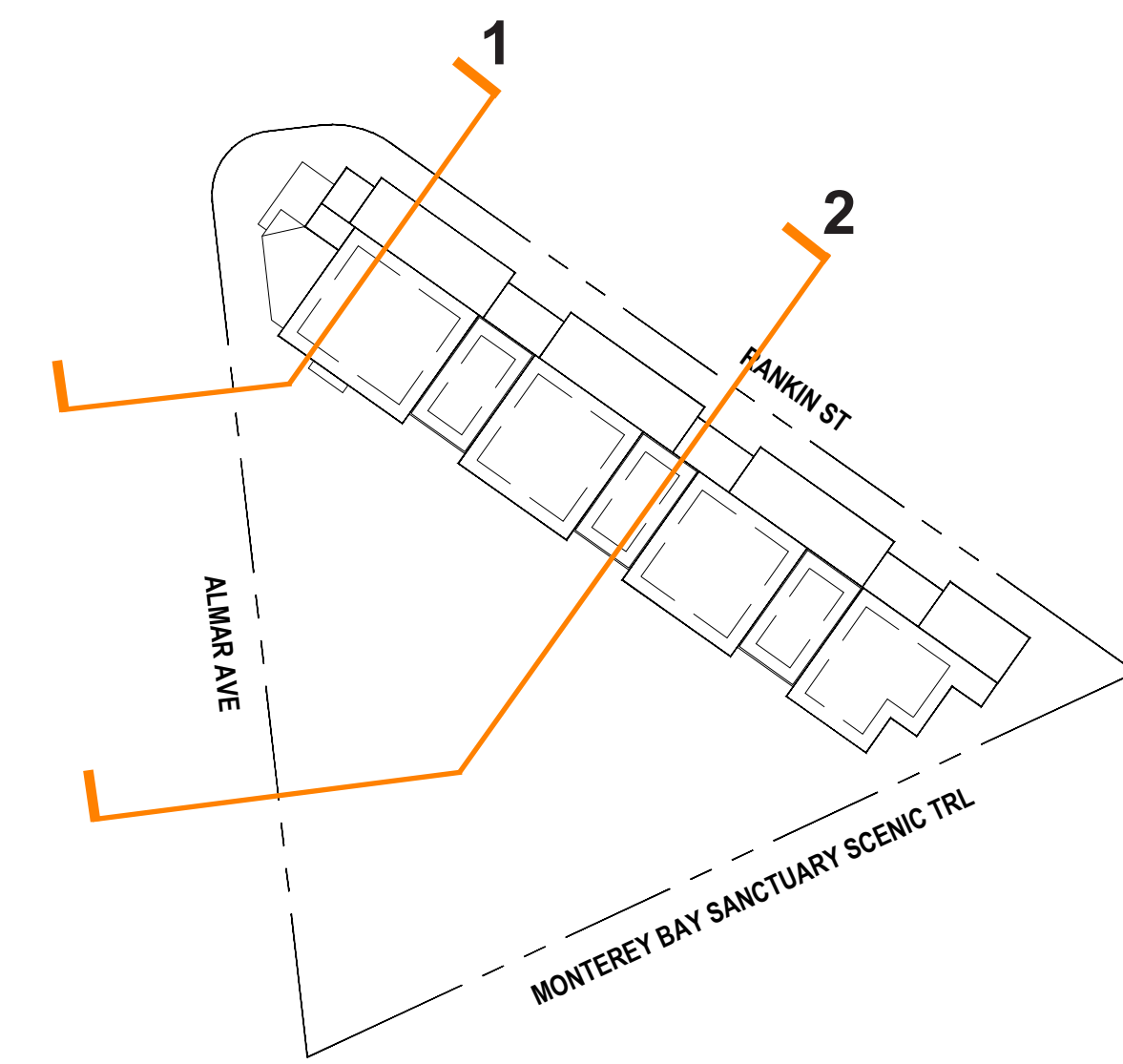


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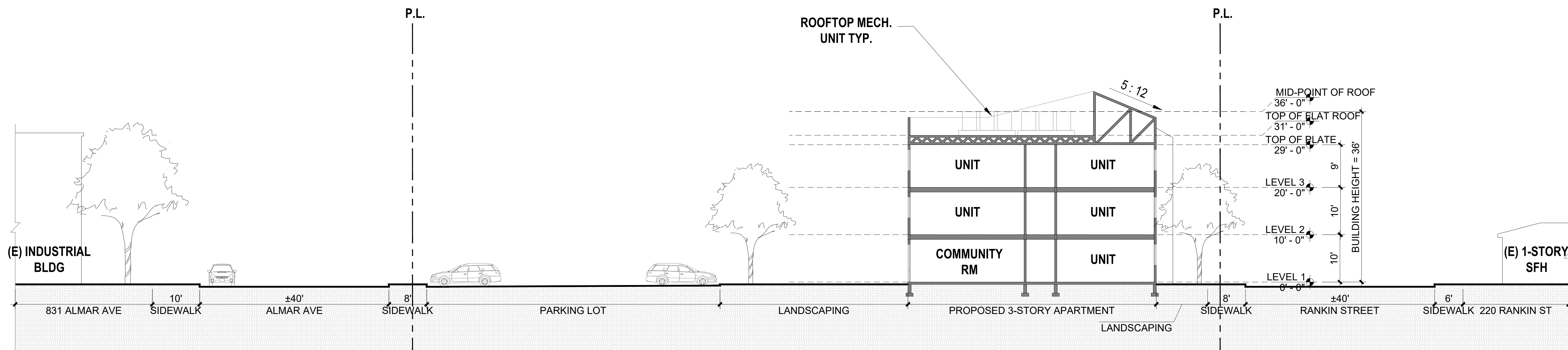
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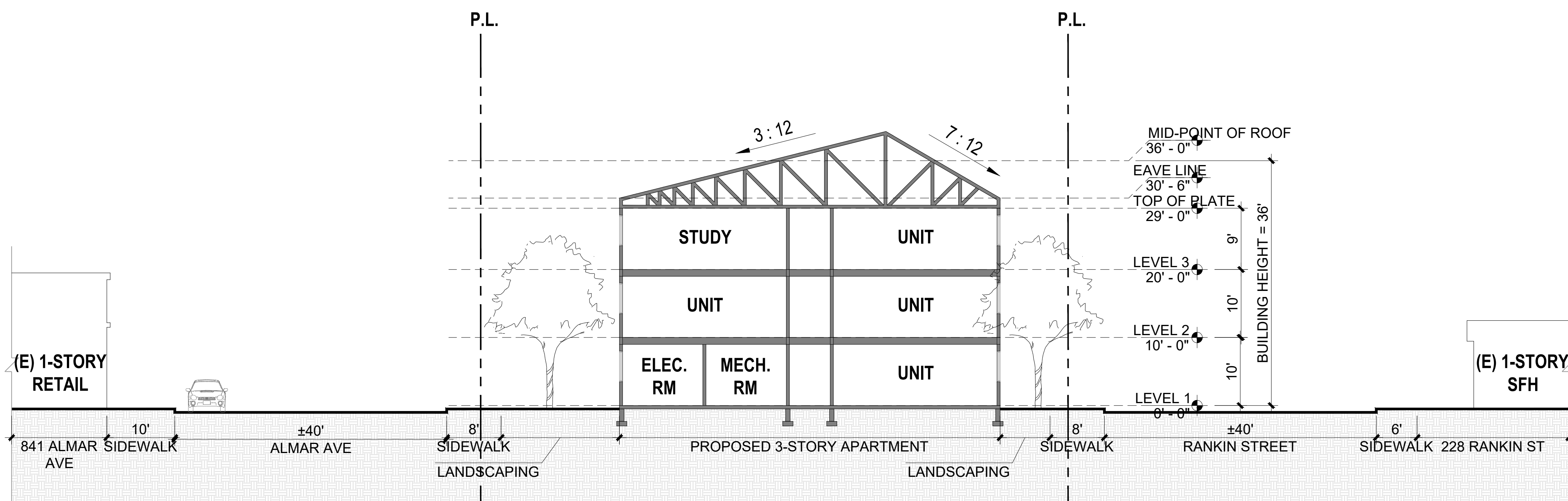
KEY MAP



BUILDING AND SITE CROSS SECTION 2

SCALE: 3/32" = 1' - 0" @ 30" x 42"

2



BUILDING AND SITE CROSS SECTION 1

SCALE: 3/32" = 1' - 0" @ 30" x 42"

1

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Sheet Title:
BUILDING AND
SITE SECTIONS

Job No. 24002
Date: 2024/07/03
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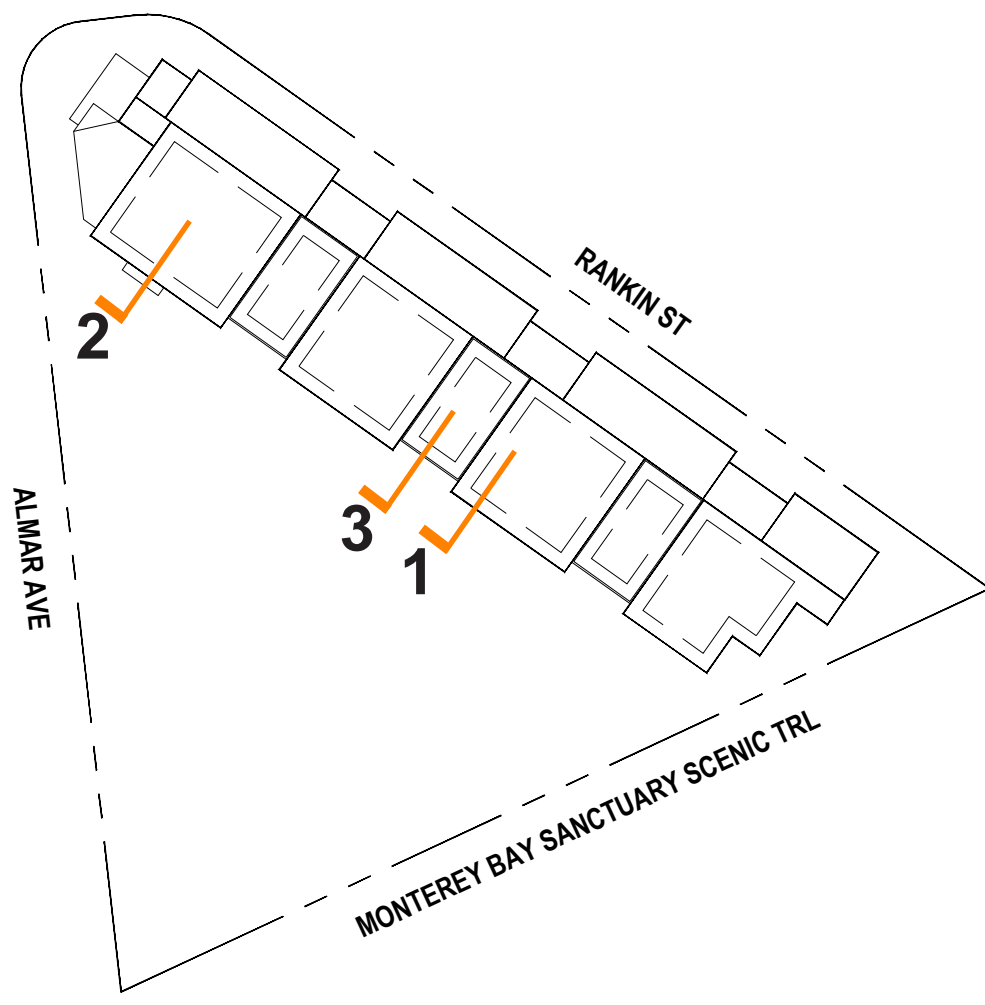


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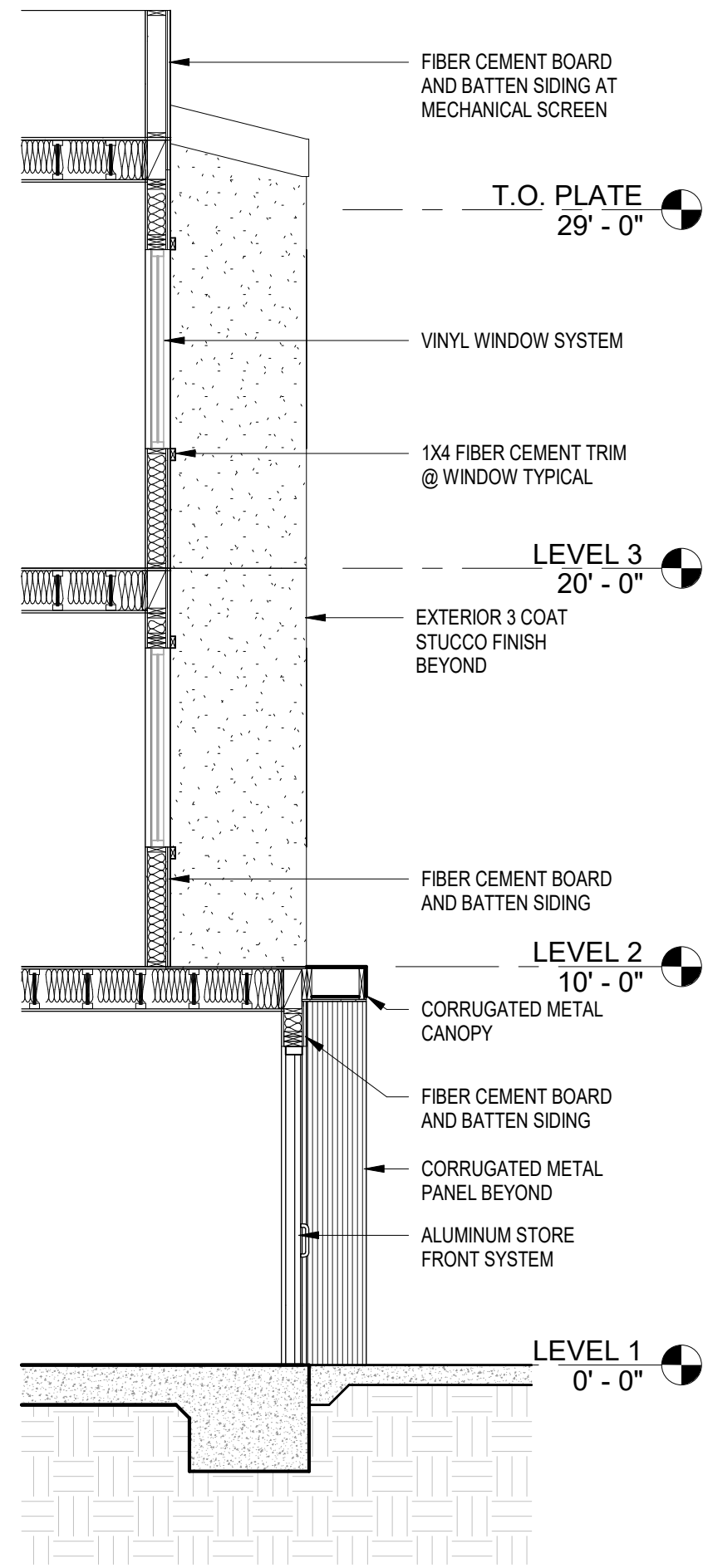
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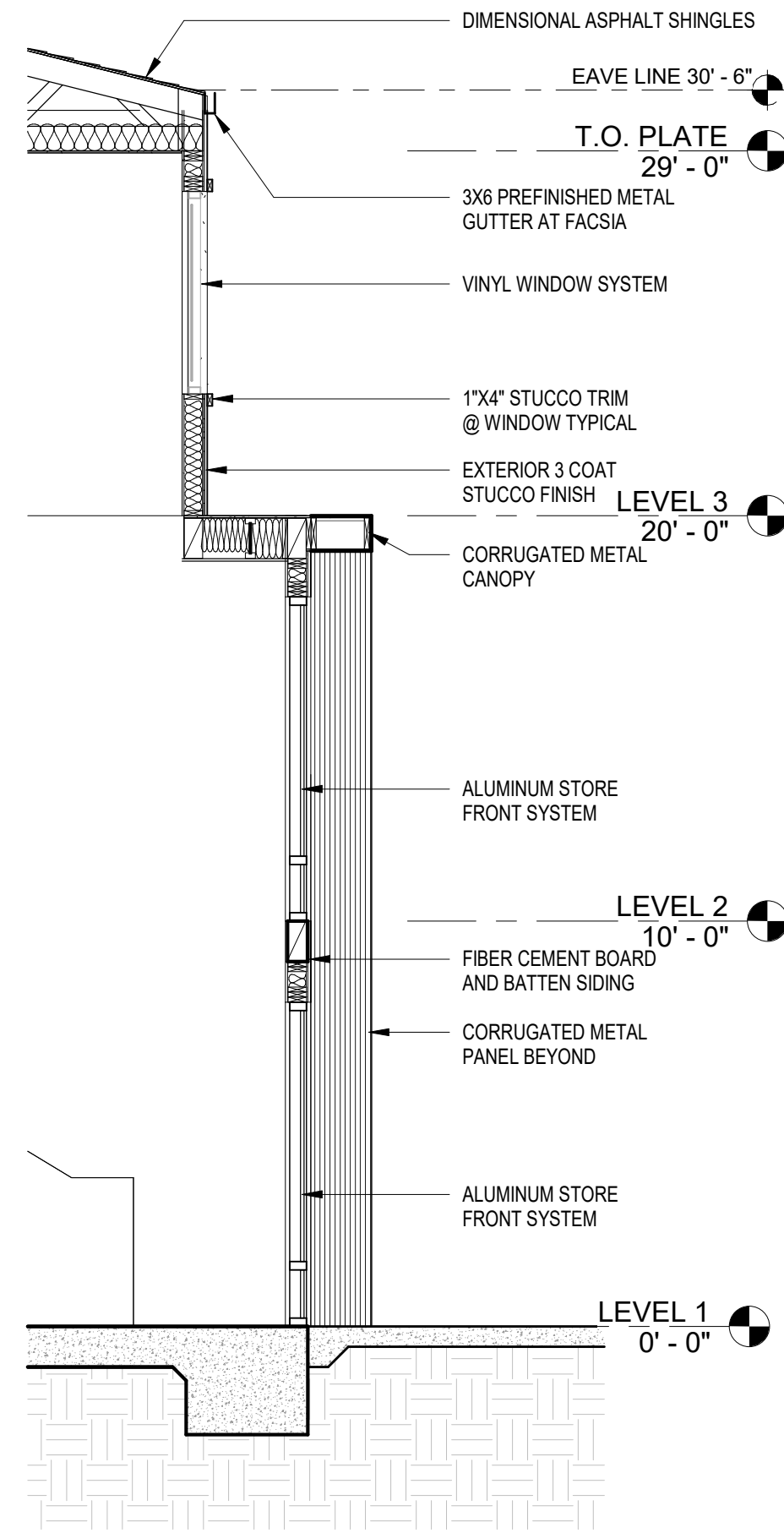


KEY MAP



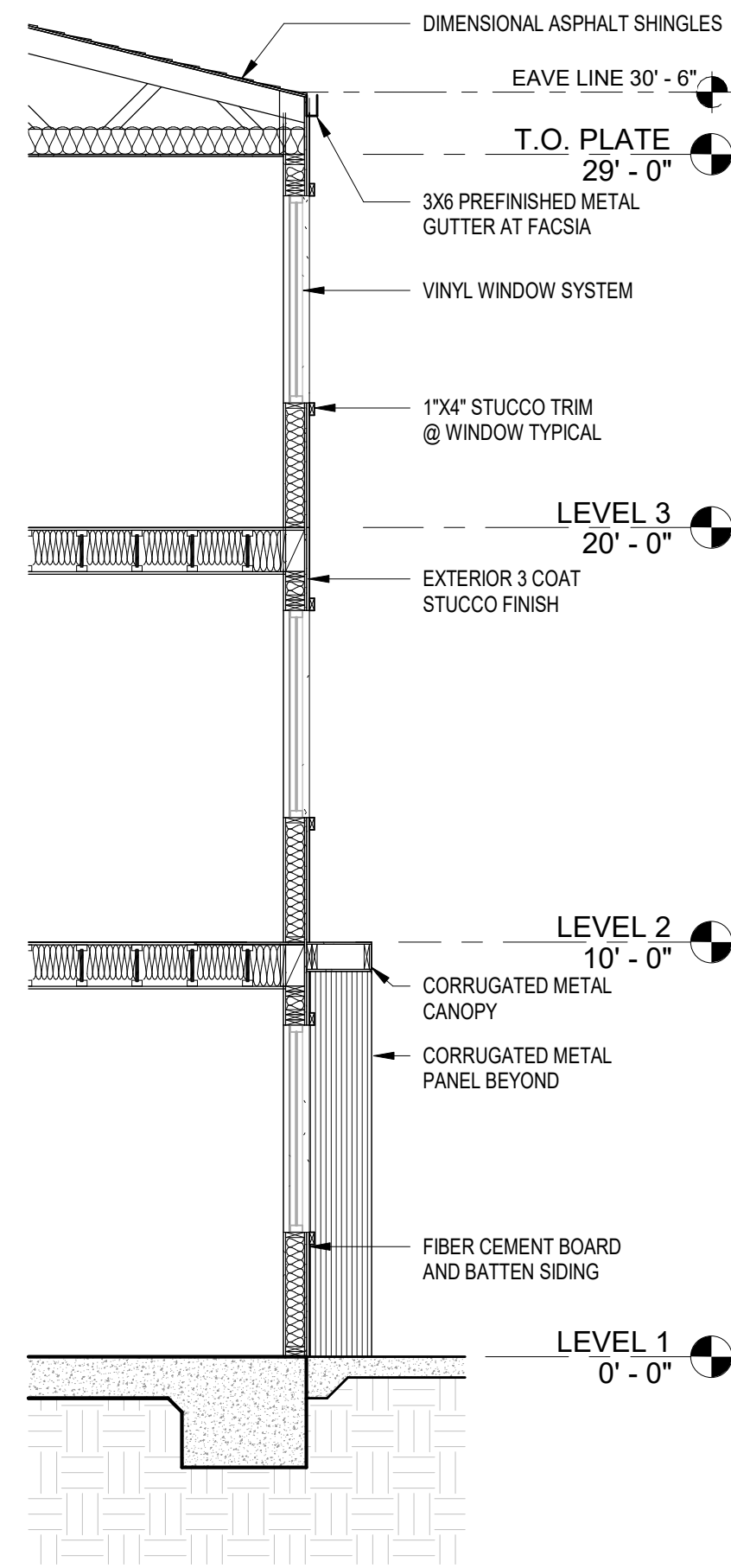
WALL SECTION
SCALE: 1/4" = 1' - 0" @ 30" x 42"

3



WALL SECTION
SCALE: 1/4" = 1' - 0" @ 30" x 42"

2



WALL SECTION
SCALE: 1/4" = 1' - 0" @ 30" x 42"

1

WESTSIDE VILLAGE

844 AND 850 ALMAR AVE, SANTA CRUZ, CA 95060

CRP AFFORDABLE HOUSING AND
COMMUNITY DEVELOPMENT

4455 MORENA BLVD, SUITE 108, SAN DIEGO, CA 92117

Sheet Title:
WALL
SECTIONS

Job No. 24002
Date: 2024/07/03
Scale: AS NOTED
Drawn By:

Sheet No:

A5.1



JUNE 21ST - 9AM



JUNE 21ST - 12PM



JUNE 21ST - 3PM
SUMMAR SOLSTICE



MARCH/ SEPTEMBER 21ST - 9AM



MARCH/ SEPTEMBER 21ST - 12PM



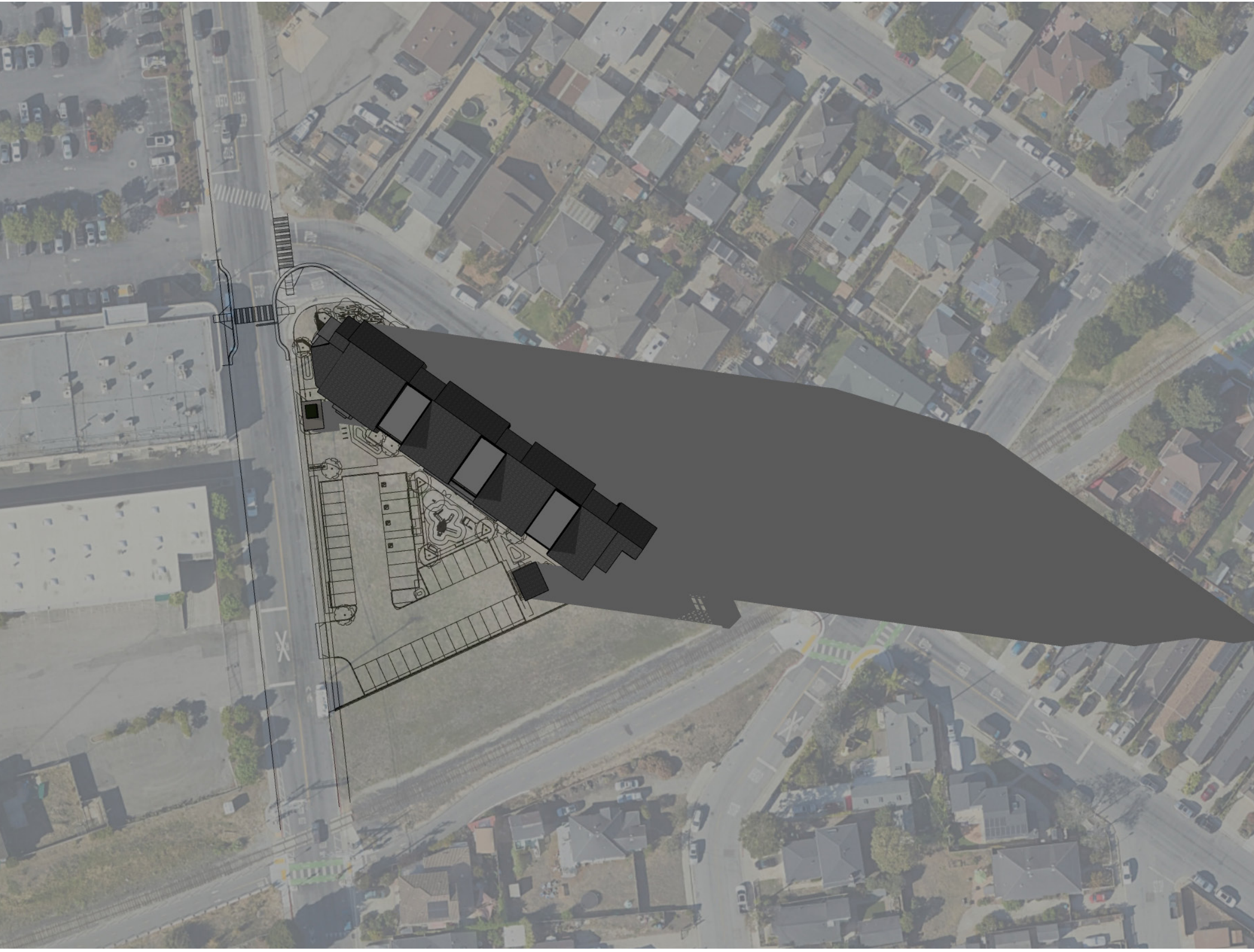
MARCH/ SEPTEMBER 21ST - 3PM
SPRING AND FALL EQUINOX



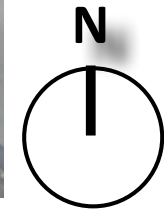
DECEMBER 21ST - 9AM

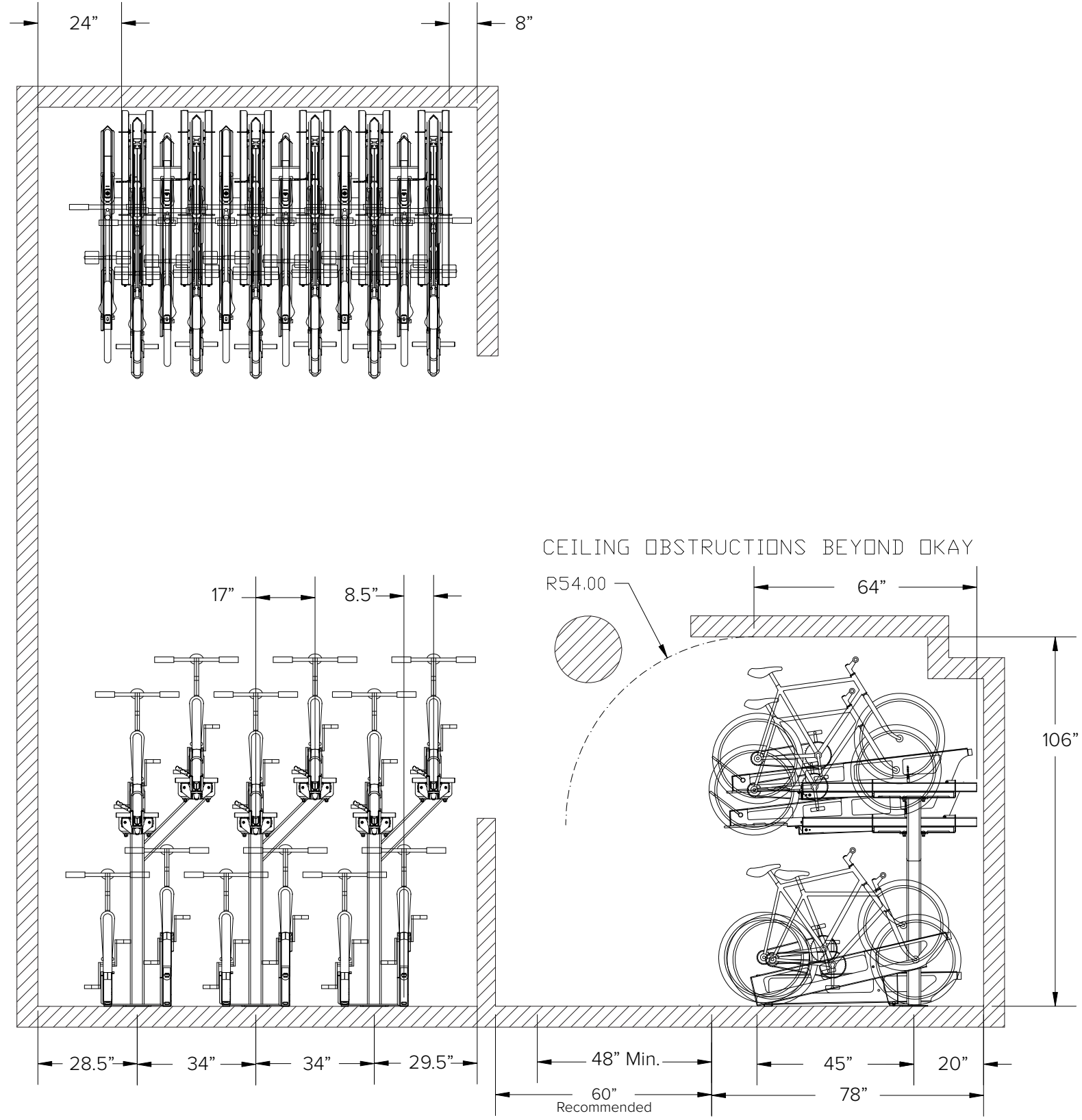


DECEMBER 21ST - 12PM

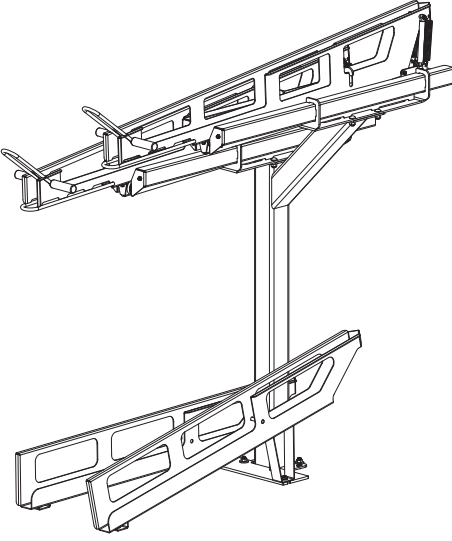


DECEMBER 21ST - 3PM
WINTER SOLSTICE



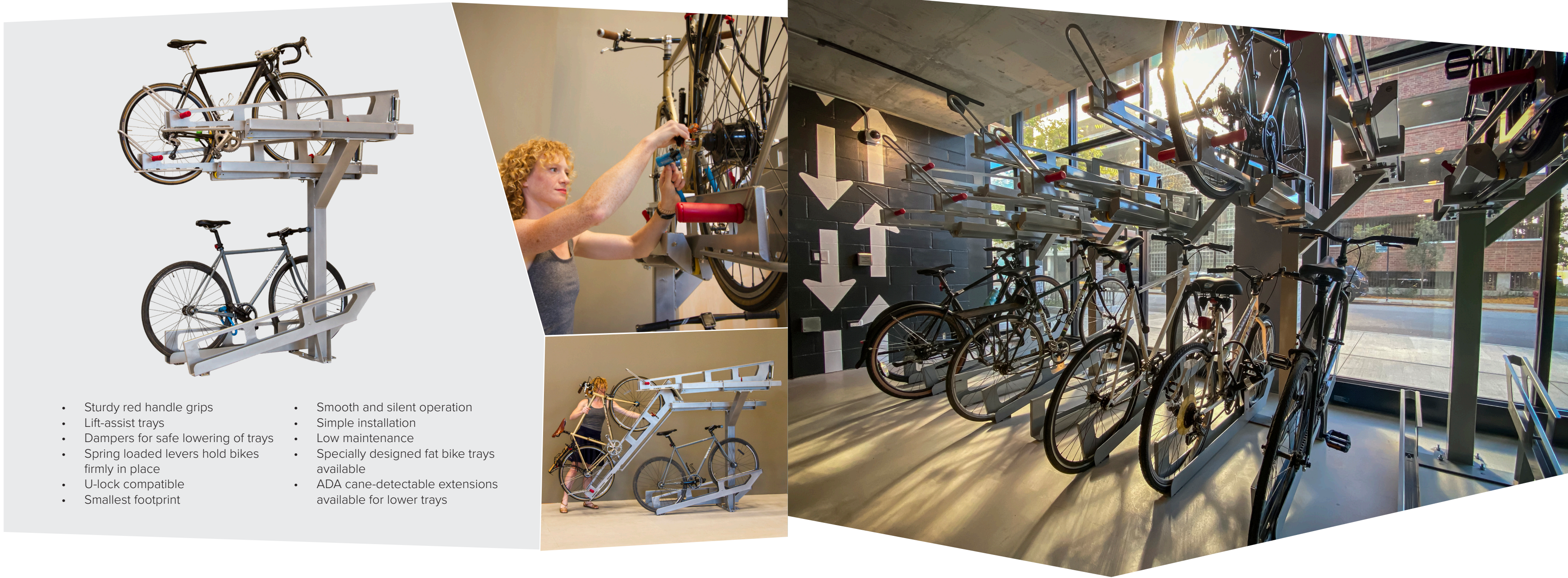


©2024



CAPACITY	4 Bikes per unit
MATERIALS	Uprights: 4" 11g square tube Upright base: 1/4" plate Cantilevers: 11g plate Cantilever base: 1/4" plate Trays: 11g plate
FINISHES	<input type="checkbox"/> Galvanized An after fabrication hot dipped galvanized finish is our standard option. <input type="checkbox"/> Powder Coat Our powder coat finish assures a high level of adhesion and durability by following these steps: 1. Sandblast 2. Epoxy primer electrostatically applied 3. Final thick TGIC polyester powder coat
MOUNT OPTIONS	Surface only Each upright has one 1/4" plate feet that accept 1/2" wedge anchors
CANE STOPS	<input type="checkbox"/> Add cane stops (additional cost) Available in galvanized or powder coat finish Cane-detectable lower tray extensions provide improved safety.

©2024



- Sturdy red handle grips
- Smooth and silent operation
- Simple installation
- Dampers for safe lowering of trays
- Low maintenance
- Spring loaded levers hold bikes firmly in place
- Specially designed fat bike trays available
- U-lock compatible
- ADA cane-detectable extensions available for lower trays
- Smallest footprint

FINISH OPTIONS

Galvanized



Powder Coat



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Patent #8,950,952

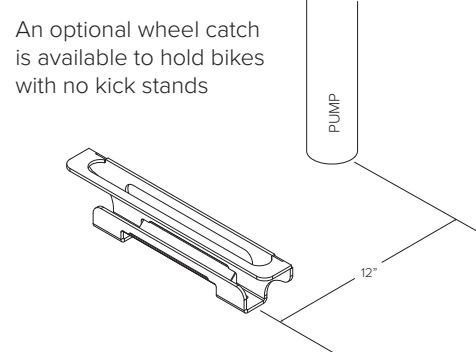
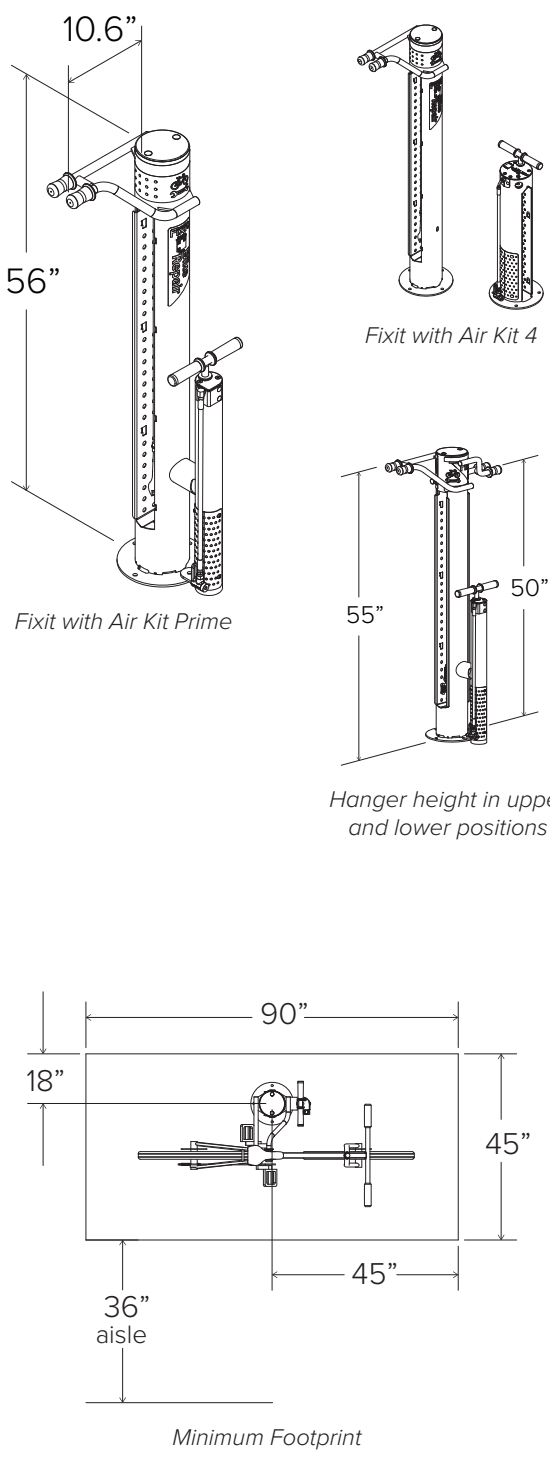
Dero **Decker**

The Dero Decker takes bike parking to the next level – literally. By stacking bikes on a two-tiered system, capacity doubles. Unlike other two-tier systems our mechanical lift-assist top trays slide down inches from the ground, thus requiring only minimal lifting of the bike into the tray. The Dero Decker has a front wheel safety locking lever and tray dampers to provide safe lowering of upper trays. The near vertical lowered trays also reduce the required aisle space, giving the Dero Decker the smallest footprint on the market.

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CLASS 1 BIKE PARKING SYSTEM

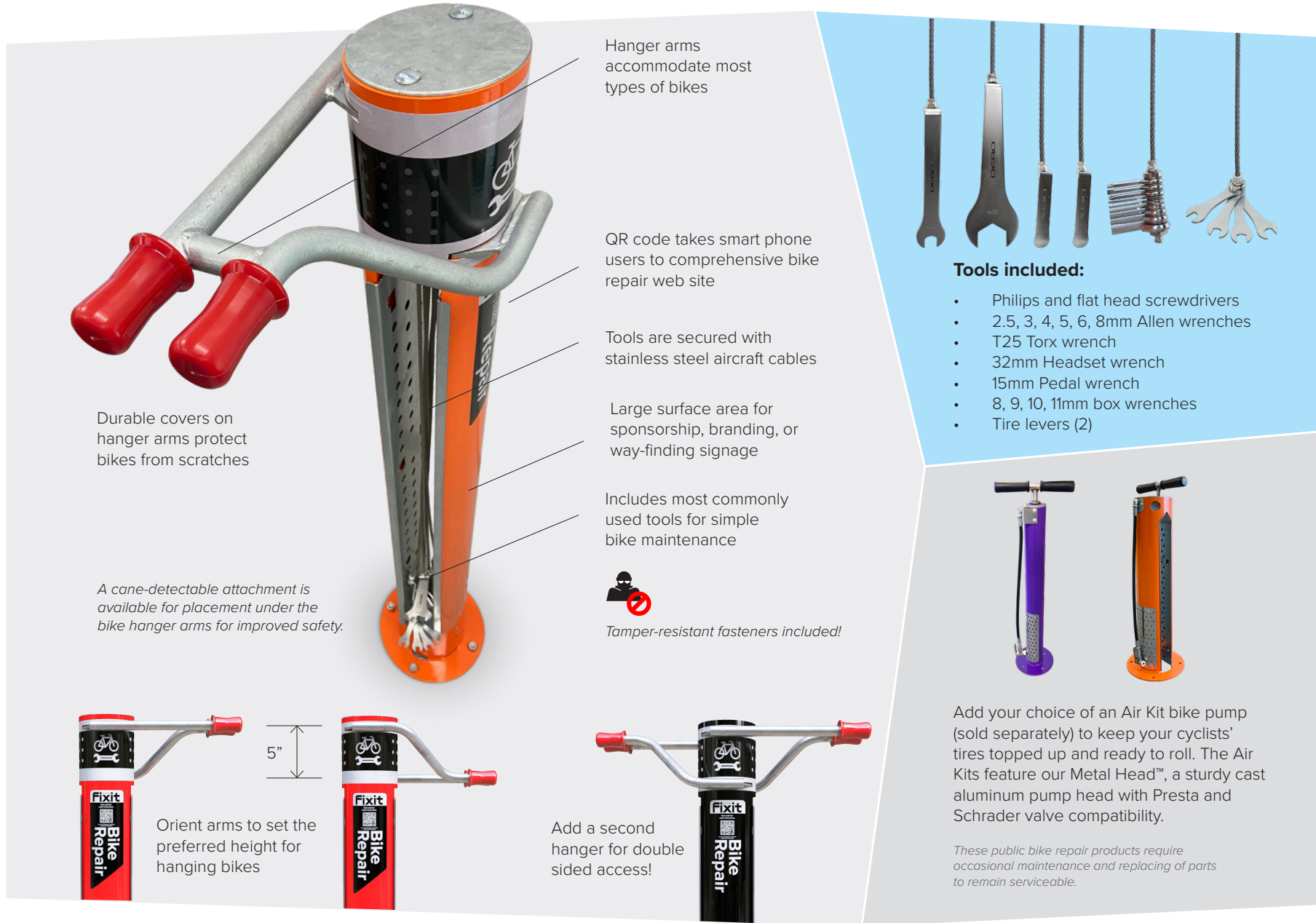
2



CAPACITY	<input type="checkbox"/> 1 Bike (One set of hanger arms) <input type="checkbox"/> 2 Bikes (Two sets of hanger arms)
MATERIALS	Main body: 6" x 12g tube Bike Hanger: 1" solid round bar Feet: 10" dia. x 25" plate Tool tethers: 3/16" stainless steel cable Manual air pump Hand tools: Philips and flat head screwdrivers 2.5, 3, 4, 5, 6, 8mm Allen wrenches T25 Torx wrench 32mm Headset wrench 15mm Pedal wrench 8, 9, 10, 11mm box wrenches Tire levers (2)
FINISHES	<input type="checkbox"/> Galvanized An after fabrication hot dipped galvanized finish is our standard option. <input type="checkbox"/> Powder Coat Our powder coat finish assures a high level of adhesion and durability by following these steps: 1. Sandblast 2. Epoxy primer electrostatically applied 3. Final thick TGIC polyester powder coat
MOUNT OPTIONS	Surface only Fixit has 10" diameter x 25" foot with four anchors per foot. Tamper-resistant fasteners are included.
PUMP OPTIONS	<input type="checkbox"/> No Pump <input type="checkbox"/> Air Kit Prime <input type="checkbox"/> Attached to Fixit <input type="checkbox"/> Separate <input type="checkbox"/> Air Kit 4
CANE STOP	<input type="checkbox"/> Add Cane Stop (Galvanized only) A cane-detectable attachment beneath the hanger arms is available for improved safety. (Additional cost)

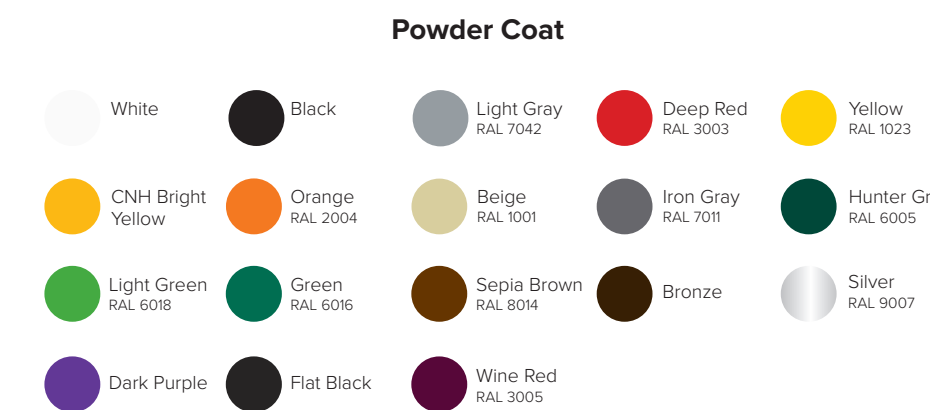
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Patents US 9,498,880 and 9,505,124. Additional patent pending.



FINISH OPTIONS

Galvanized



©2023

Patents US 9,498,880 and 9,505,124. Additional patent pending.



Fixit® Plus

The Fixit Plus includes all the tools necessary to perform basic bike repairs and maintenance, from changing a flat to adjusting brakes and derailleurs. Stainless steel cables and tamper-proof fasteners securely attach tools to the stand, while the hanging arms allow pedals and wheels to spin freely while making adjustments. Add a second hanger for double sided access to the tools!



Patents US 9,498,880 and 9,505,124. Additional patent pending.

BIKE FIX-IT STATION

1

: Architecture
: Planning
: Urban Design

: 1970 Broadway, Suite 408
: Oakland, California 94612
: (510) 451 - 2850

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Sheet Title:
BIKE PARKING
SPECS

Job No. 24002
Date: 2024/07/03
Scale: AS NOTED
Drawn By:

Sheet No:

A7.0



SITE LEGEND

SYMBOL	DESCRIPTION
	PERVIOUS CONCRETE WALKWAY
	PERVIOUS CONCRETE WALKWAY WITH ACCENT COLOR
	RESILIENT SAFETY SURFACING
	SITE LIGHTING - PATHWAY BOLLARD
	SITE LIGHTING - POLE LIGHT
	DUAL TRASH/RECYCLING RECEPTACLE

CONCEPTUAL PLAN SCHEDULE

TREES	WUCOLS	QUANTITY	SIZE
AGONIS FLEXUOSA/ PEPPERMINT TREE	L	10	24" BOX
MELALEUCA NESOPHILA/ PINK MELALEUCA	L	5	24" BOX
PISTACIA CHINENSIS / CHINESE PISTACHE	L	9	24" BOX
TRISTANIA LAURINA 'ELEGANT' / ELEGANT WATER GUM	M	7	24" BOX
SHRUB/PERENNIAL	WUCOLS	QUANTITY	
ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	L	6,006 SF	
ALOE STRIATA/ CORAL ALOE	VL		
ARCTOSTAPHYLOS X 'PACIFIC MIST' / PACIFIC MIST MANZANITA	L		
BULBINE FRUTESCENS/ ORANGE BULBINE	L		
DIETES GRANDIFLORA 'VARIEGATA' / FORTNIGHT LILY	L		
HARDENBERGIA VIOLACEA	L		
LEPTOSPERMUM SCOPARIUM	L		
LEUCODENDRON 'CLOUDBANK GINNY'	L		
LIMONIUM PEREZII/ SEA LAVENDER	L		
MYRTICA CALIFORNICA / PACIFIC WAX MYRTLE	L		
NEPETA X 'WALKER'S LOW' / WALKER'S LOW CATMINT	L	844 SF	
RHAMNUS CALIFORNICA 'MOUND SAN BRUNO' / MOUND SAN BRUNO COFFEEBERRY	L		
SENECIO TALINOIDES SPP. MANDRALISCAE	L		
WESTRINGIA FRUTICOSA/ COAST ROSEMARY	L		
BIOSWALE	WUCOLS	QUANTITY	
CAREX DIVULSA / EUROPEAN GREY SEDGE	L	844 SF	
FESTUCA MAIREI / ATLAS FESCUE	L		
HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS	L		
JUNCUS PATENS / CALIFORNIA GRAY RUSH	L		
MUHLENBERGIA LINDHEIMERI / LINDHEIMER'S MUHLY	L		

PLANTING NOTES

- ALL LANDSCAPE AREAS TO BE TOP DRESSED WITH 3" THICK LAYER OF BARK MULCH. MULCH SHALL BE REDWOOD, FIR, CEDAR, OR A COMBINATION OF THESE. THE COMPOSITION OF THE MULCH SHALL BE A MIX OF SHREDDED BARK, WOOD AND SAWDUST, 0-4" EQUAL TO: WONDER MULCH BY VISION RECYCLING, FREMONT, CA (510) 385-0255 CONTACT: ANDREW TUCKMAN
- GORILLA HAIR MULCH AND BARK CHIPS SHALL NOT BE USED OR ACCEPTED. CONTRACTOR TO PROVIDE SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASING.
- THE TOP SECTION OF ALL LANDSCAPE AREAS SHALL BE COMPRISED OF AN APPROVED TOP SOIL MIX, WHICH CAN BE EITHER IMPORTED OR AMENDED NATIVE MATERIAL, PER SPECIFICATIONS. ONCE THE TOP SOIL MATERIAL IS IN PLACE, A SOIL FERTILITY TEST WILL BE COMPLETED BY THE CONTRACTOR TO DETERMINE THE APPROPRIATE ADDITIVE SCHEDULE PER SPECIFICATIONS.
- PLANT QUANTITIES, IF SHOWN IN LEGEND, ARE FOR AID IN BIDDING ONLY. CONTRACTOR SHALL VERIFY QUANTITIES.
- CONTRACTOR SHALL SET OUT PLANT MATERIAL AS PER PLAN AND RECEIVE APPROVAL FROM THE OWNER'S REPRESENTATIVE WITH RESPECT TO PLANT HEALTH AND LOCATION PRIOR TO INSTALLATION. CONTRACTOR SHALL GIVE MINIMUM 3 WORKING DAYS NOTICE FOR OBSERVATION AND SHALL HAVE ALL PLANT MATERIAL IN SPECIFIED LOCATIONS FOR REVIEW AT ONE TIME. CONTRACTOR SHALL REPLACE ANY MATERIAL AS DIRECTED BY COUNTY REPRESENTATIVE.
- CONTRACTOR SHALL REFER TO PLANTING DETAILS AND SPECIFICATIONS PRIOR TO BIDDING AND CONSTRUCTION FOR ADDITIONAL INFORMATION ON AMENDMENT, OBSERVATIONS, SUBMITTALS ETC.
- A MINIMUM 3-FOOT CLEAR AREA SHALL BE PROVIDED AND MAINTAINED AROUND ALL FIRE HYDRANTS AND FIRE APPLIANCES.
- ALL ABOVE GROUND UTILITIES TO BE SCREENED BY LANDSCAPE MATERIAL. SEE ADJACENT PLANT SCHEDULE FOR PROPOSED PLANT SPECIES

IRRIGATION STATEMENT

NOTE: OWNER SHALL PROVIDE AN AUTOMATIC IRRIGATION SYSTEM TO EFFECTIVELY WATER ALL PLANTING AREAS SHOWN ON THE CONCEPTUAL LANDSCAPE PLAN. THE DESIGN OF THE IRRIGATION SYSTEM SHALL CONSIST OF DRIP IRRIGATION, BUBBLERS AND LOW FLOW SPRAY HEADS THAT WILL SUFFICIENTLY IRRIGATE THE PROPOSED PLANT MATERIAL IN COMPLIANCE WITH CALIFORNIA'S UPDATED MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AB 1881, AND CITY OF SANTA CRUZ REQUIREMENTS.

HYDROZONES WILL BE DESIGNATED BASED ON SOLAR EXPOSURE, PLANT WATER USE REQUIREMENTS, SOIL TYPE, AND MICROCLIMATES

WELO NOTES

- A HORTICULTURAL SOIL ANALYST TEST SHALL BE CONDUCTED AT A MINIMUM OF 4 LOCATIONS IN PLANTING AREAS IN ADDITION TO AN ANALYSIS OF ANY TOP SOIL IMPORTED TO PROJECT PLANTING AREAS. CONTRACTOR TO FOLLOW AMENDMENT RECOMMENDATIONS FROM A QUALIFIED SOILS LABORATORY BASED ON TEST RESULTS. THOROUGHLY MIX SOIL ADDITIVES INTO TOP 6" OF SOIL BY ROTOTILLING AT LEAST ONCE IN EACH DIRECTION.
- SOIL AMENDMENT AND COMPOST TO BE ADDED TO PLANTING AREAS AT A RATE OF 4 CUBIC YARDS PER 1,000 SF. INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- A MINIMUM (3") LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS. REFER TO PLANTING NOTES ABOVE FOR MULCH SPECIFICATION.
- REFER TO CIVIL IMPROVEMENT PLANS FOR PLANTING AREA GRADING.
- A LANDSCAPE IRRIGATION AUDIT SHALL BE CONDUCTED BY AN IRRIGATION AUDITOR.



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: Urban Design

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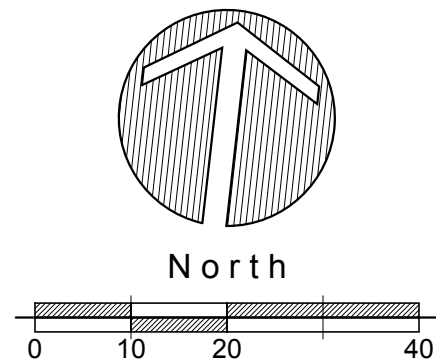
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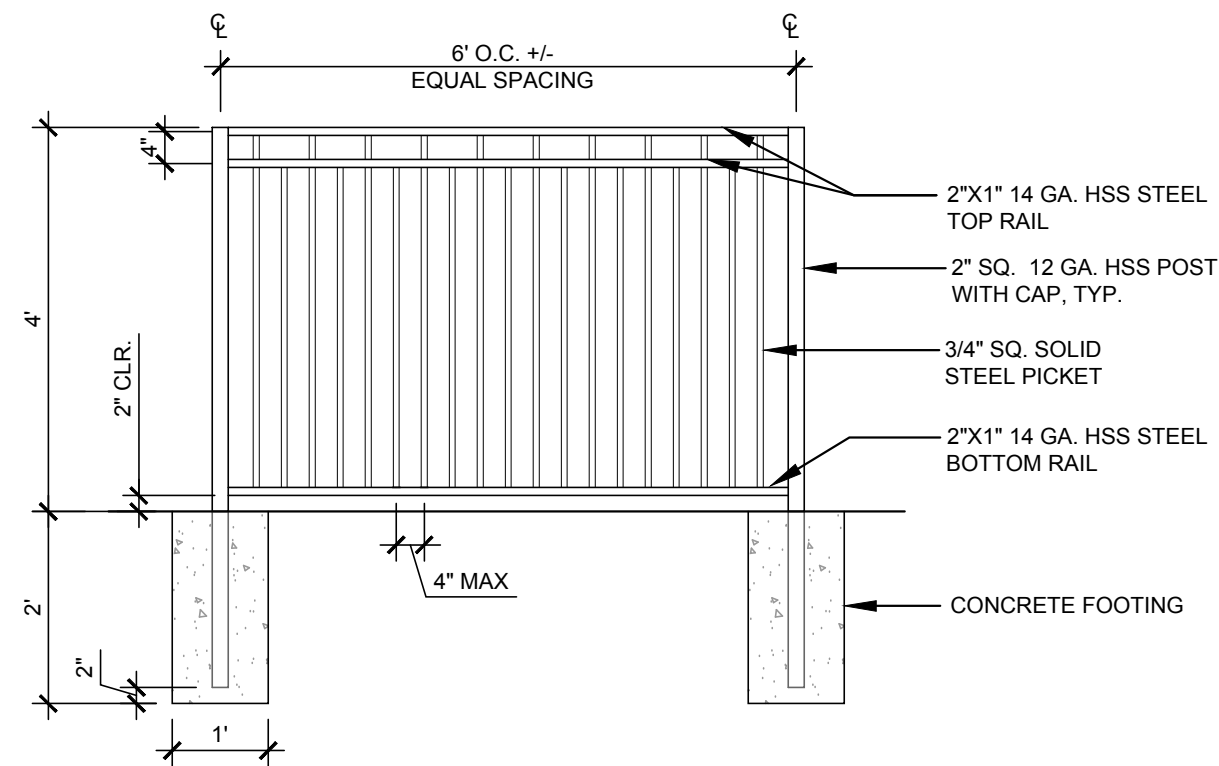
CONCEPTUAL
LANDSCAPE
PLAN

Job No. 24002
Date: 07/03/2024
Scale: 1" = 20'-0"
Drawn By: JB

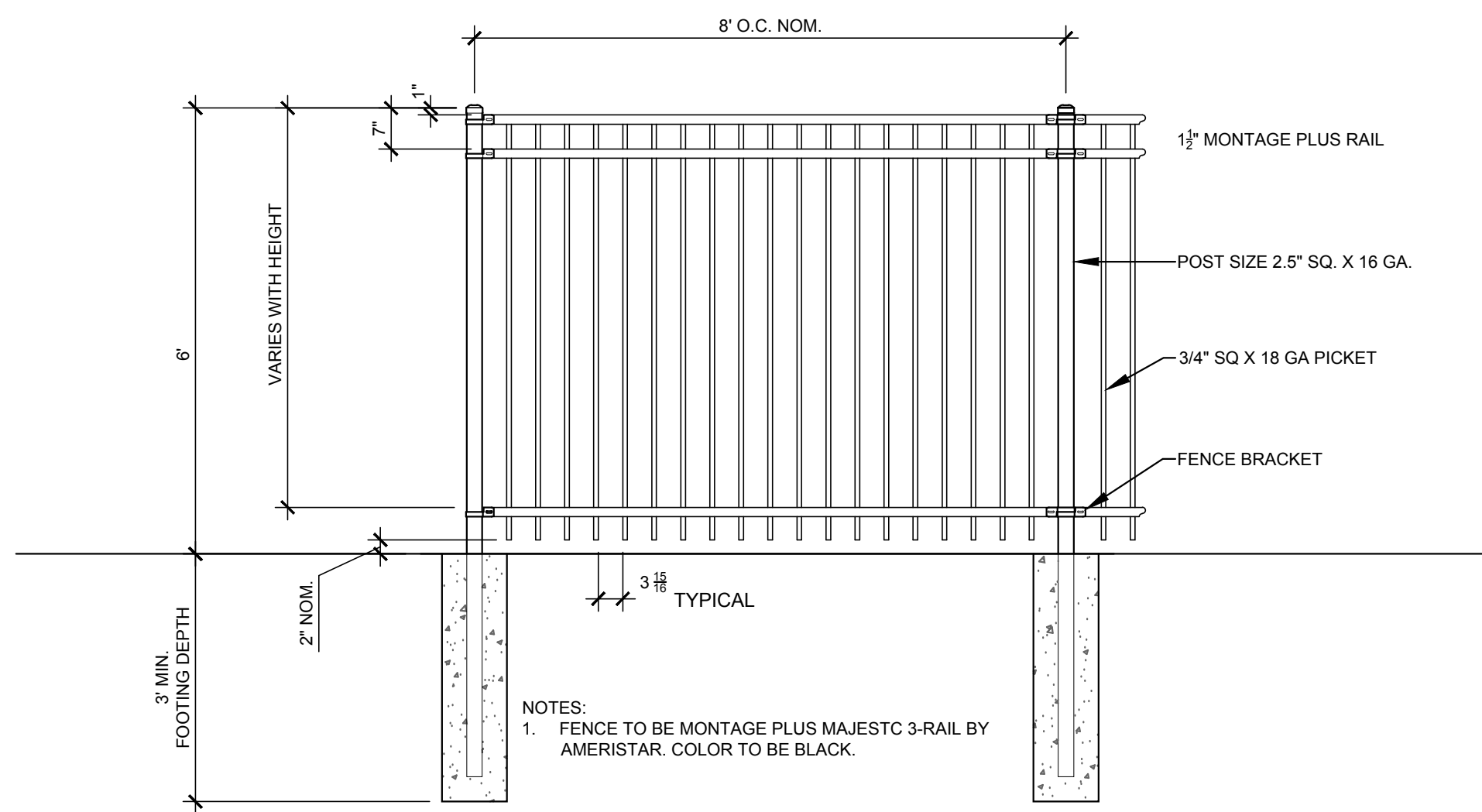
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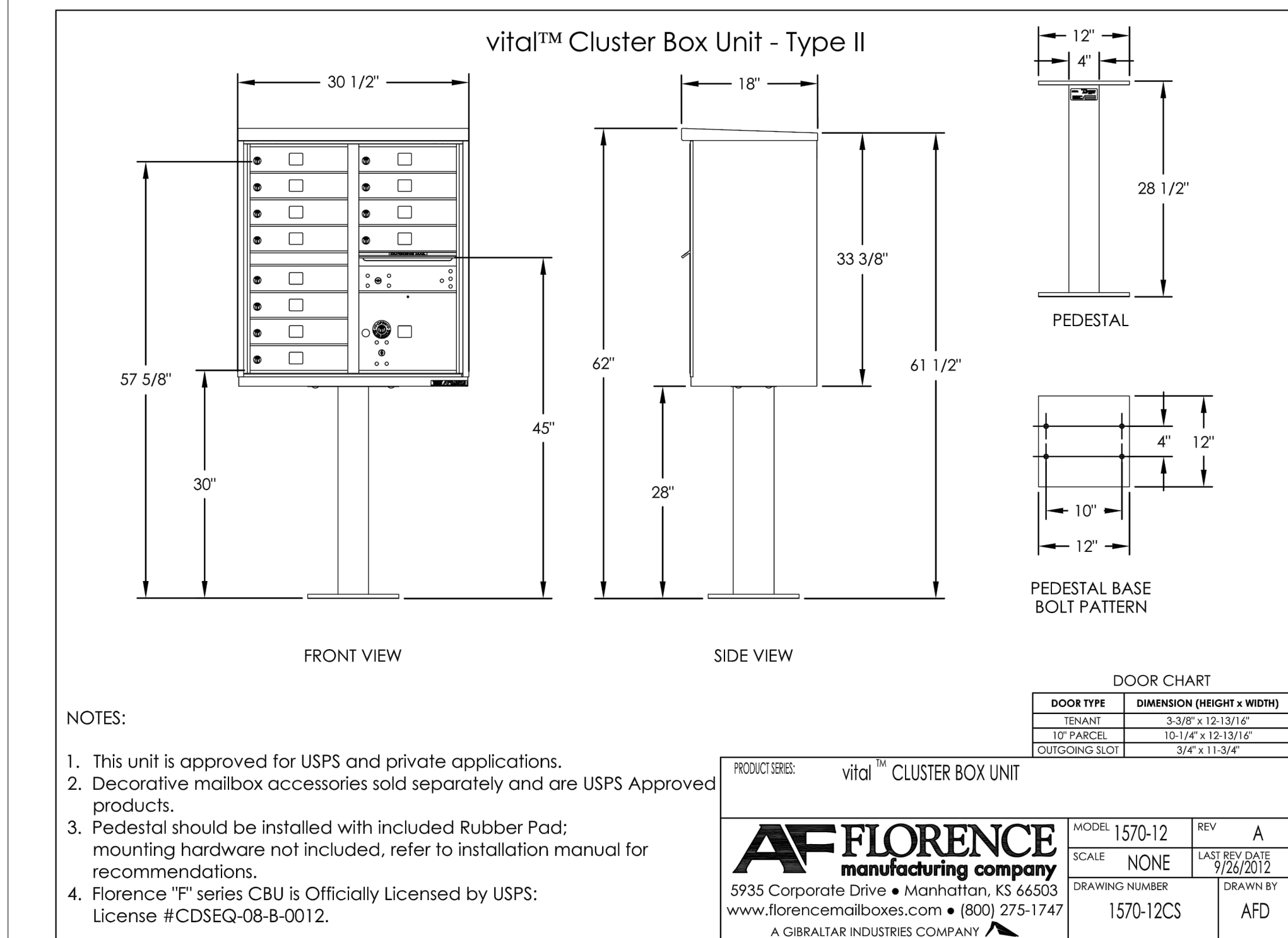




H 48" HIGH TUBE STEEL SAFETY FENCE
SCALE: 1/2" = 1'-0"



I 6' HIGH ORNAMENTAL STEEL PERIMETER FENCE
SCALE: 1/2" = 1'-0"



J MAIL DEPOT
NTS



2-5 YEAR OLD PLAY STRUCTURE:
KOMPAN - UNITRUCK NRO560



5-12 YEAR OLD PLAYSTRUCTURE FRONTVIEW: KOMPAN - MULTI-DECK
TOWER WITH BANISTER BARS



2-5 YEAR OLD PLAY STRUCTURE:
KOMPAN - FOREST BUG SPRINGER



5-12 YEAR OLD PLAYSTRUCTURE BACKVIEW: KOMPAN - MULTI-DECK
TOWER WITH BANISTER BARS

E EXAMPLE PLAY STRUCTURE
NTS



EXAMPLE POLE LIGHT

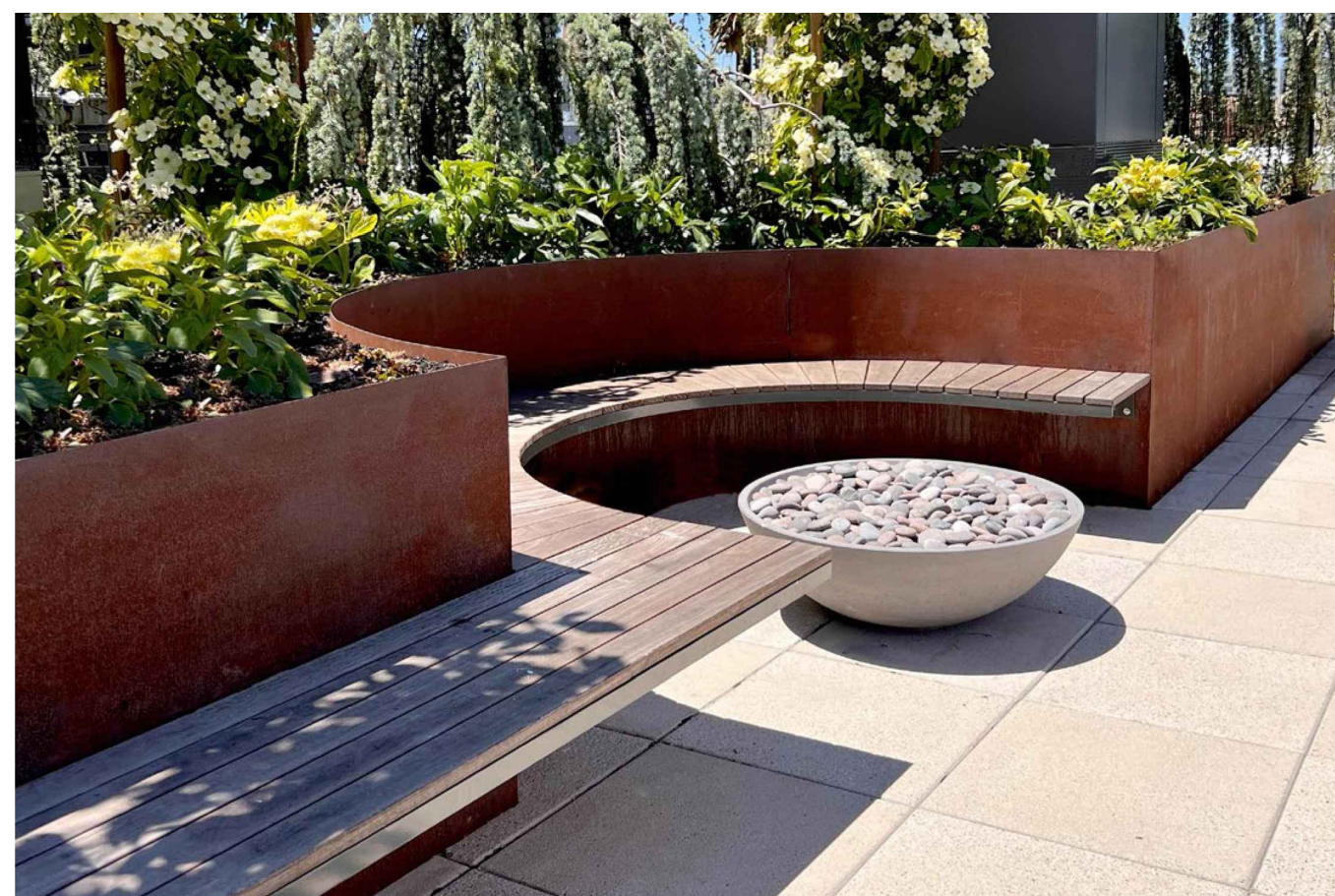


EXAMPLE BOLLARD LIGHT

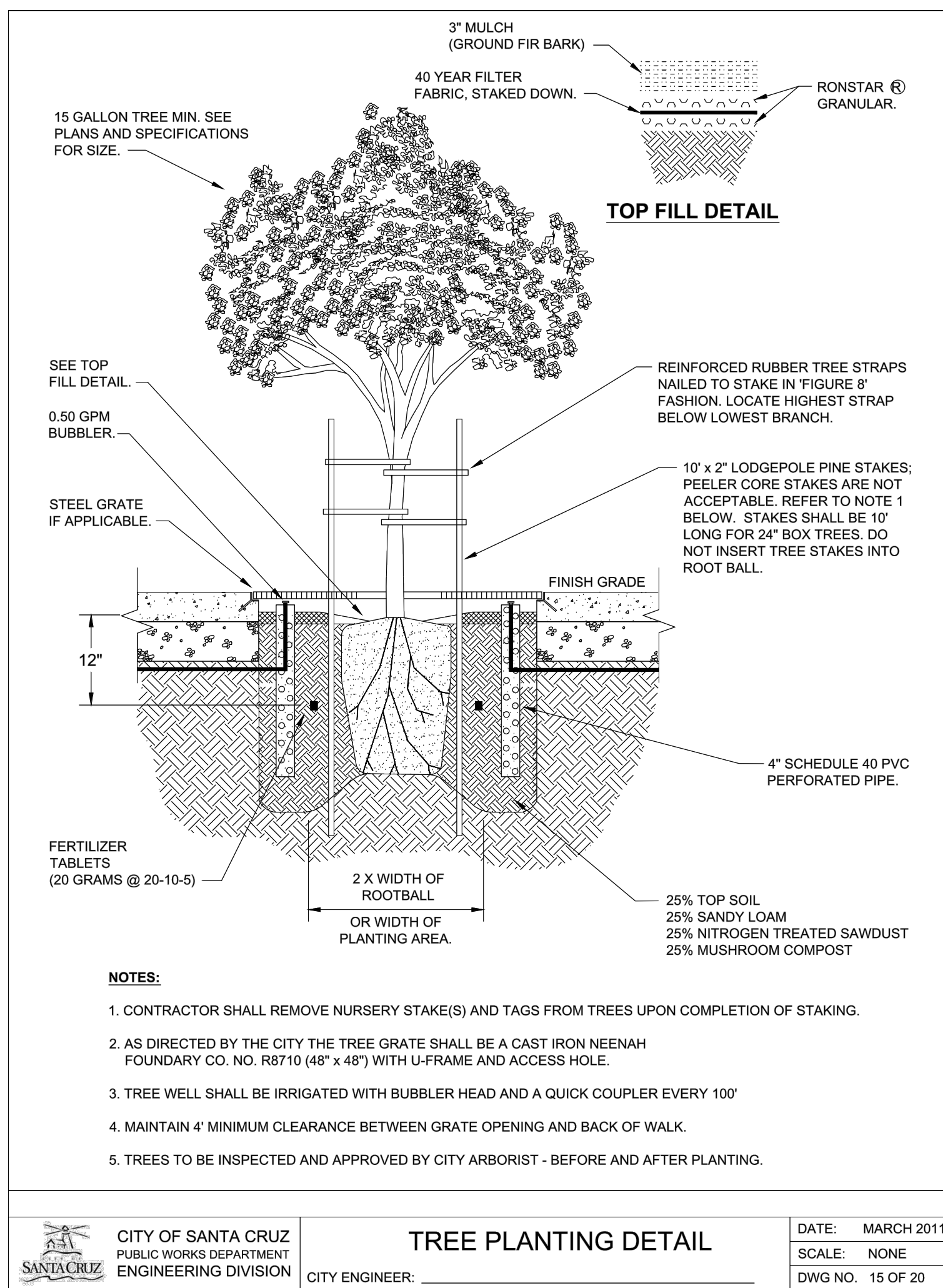
F SITE LIGHTING
NTS



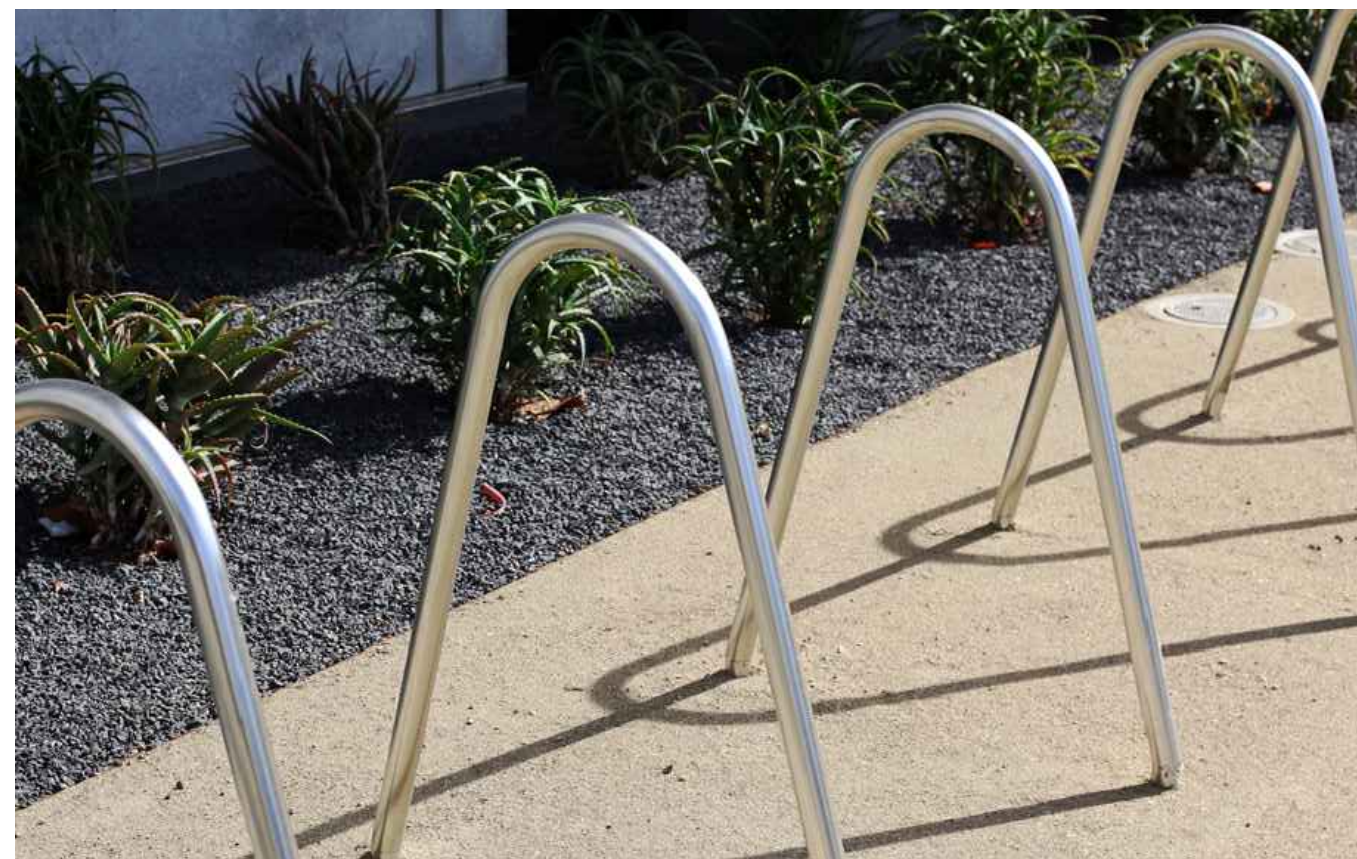
A PERVIOUS CONCRETE WITH ACCENT COLORS
NTS



B CUSTOM METAL RAISED PLANTER
NTS



G STREET TREE PLANTING
NTS



C BIKE PARKING
NTS



D SITE BENCH
NTS



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LANDSCAPE ARCHITECTS

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Sheet Title:

CONCEPTUAL
LANDSCAPE
DETAILS

Job No. 24002
Date: 07/03/2024
Scale: AS SHOWN
Drawn By: JB

Sheet No:

L-2.0



HYDROZONE SCHEDULE

HYDROZONE	PLANT WATER USE	IRRIGATION METHOD	PLANT FACTOR (PF)	HYDROZONE AREA (SQ. FT.) (HA)	PF X HA (SQ.FT)	IRRIGATION EFFICIENCY (IE)	PF X HA / (IE)
1	LOW	DRIP	0.3	2,676	802.8	0.81	991.11
2	LOW	DRIP	0.3	314	94.2	0.81	116.30
3	LOW	BUBBLERS	0.3	75	22.5	0.81	27.78
4	LOW	BUBBLERS	0.3	200	60	0.81	74.07
5	LOW	DRIP	0.3	2,880	864	0.81	1,066.67
6	LOW	DRIP	0.3	530	159	0.81	196.30
7	LOW/MODERATE	BUBBLERS	0.4	375	150	0.81	185.19
8	MODERATE	BUBBLERS	0.5	125	62.5	0.81	77.16
TOTALS				7,175			2,734.57

HYDROZONE LEGEND

HYDROZONE #	SYMBOL	DESCRIPTION	LANDSCAPE AREA
HYDROZONE 1		NORTHERN ASPECT - SHRUBS & GROUNDCOVERS	2,676F
HYDROZONE 2		NORTHERN ASPECT - BIORETENTION	314 SF
HYDROZONE 3		NORTHERN ASPECT - TREES	75 SF
HYDROZONE 4		NORTHERN ASPECT - STREET TREES	200 SF
HYDROZONE 5		SOUTHERN ASPECT - SHRUBS & GROUNDCOVERS	2,880 SF
HYDROZONE 6		SOUTHERN ASPECT - BIORETENTION	530 SF
HYDROZONE 7		SOUTHERN ASPECT - TREES	375 SF
HYDROZONE 8		SOUTHERN ASPECT - STREET TREES	125 SF

WATER USE CALCULATION

$$\begin{aligned} \text{MAWA} &= (\text{ETo}) (0.62) [(0.55 \times \text{LA}) + (0.3 \times \text{SLA})] \\ &= (36.6) (0.62) [(0.55 \times 7,175) + (0.3 \times 0)] \\ &= (22.69)(3,946.25) \\ &= 89,540.41 \end{aligned}$$

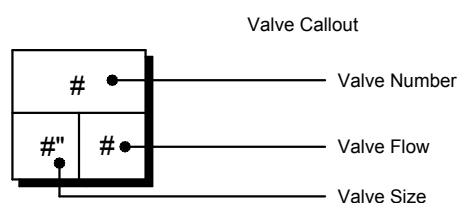
$$\begin{aligned} \text{ETWU} &= (\text{ETo}) (0.62) [(PF \times \text{HA})/IE + \text{SLA}] \\ &= (36.6) (0.62) [2,734.57 + 0] \\ &= (22.69)(2,734.57) \\ &= 62,047.39 \end{aligned}$$

$$\text{MAWA} = 89,540.41 \text{ GAL/YEAR}$$

$$\text{ETWU} = 62,047.39 \text{ GAL/YEAR}$$

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	DETAIL
	RAIN BIRD RWS-B-C 1402 ROOT WATERING SYSTEM WITH 4.0IN. DIAMETER X 36.0IN. LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE, AND CHECK VALVE.	-	40	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY		DETAIL
	RAIN BIRD XC2-100-PRB-COM WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1IN. BALL VALVE WITH 1IN. PESB VALVE AND 1IN. PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 5 GPM-20 GPM.	-		
	RAIN BIRD XC2-150-LCS HIGH FLOW CONTROL ZONE KIT, FOR LARGE COMMERCIAL DRIP ZONES. 1-1/2IN. PESB GLOBE VALVE WITH SINGLE 1-1/2IN. PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. FLOW RANGE: 15-62 GPM.	-		
	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XBCV-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5 GPH=BLUE, 1.0 GPH=BLACK, AND 2.0 GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. WITH CHECK VALVE.	-		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY		DETAIL
	RAIN BIRD PESB-PRS-D 1IN., 1-1/2IN., 2IN., 3IN., 3IN. PLASTIC INDUSTRIAL REMOTE CONTROL VALVE. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH PRESSURE REGULATING MODULE, AND SCRUBBER TECHNOLOGY	-		
	RAIN BIRD 44-LRC 1IN. BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	-		
	SHUT OFF VALVE KBI BTU-E PVC BLOCKED TRUE UNION BALL VALVE 1/2" TO 2" SAME SIZE AS PIPE	-		
	RAIN BIRD PESB-PRS-D (MV) 2" 1IN., 1-1/2IN., 2IN., 3IN. PLASTIC INDUSTRIAL MASTER VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH PRESSURE REGULATING MODULE, AND SCRUBBER TECHNOLOGY	-		
	FESCO 825Y 2" REDUCED PRESSURE BACKFLOW PREVENTER	-		
	RAIN BIRD ESPLXME2P-LXMMSS W/ (3) ESPLXMSM12 48 STATION, TRADITIONALLY-WIRED, PRO SMART, COMMERCIAL CONTROLLER. (1) ESPLXME2P 12-STATION, PRO SMART, (MODULE INCLUDED) INDOOR/OUTDOOR, PLASTIC WALL-MOUNT ENCLOSURE W/ (3) ESPLXMSM12 - 12-STATION EXPANSION MODULES. INSTALL IN LXMMSS STAINLESS STEEL, WALL-MOUNTED CABINET.	-		
	CREATIVE SENSOR TECHNOLOGY FSI-T15-001 1.5IN. PVC TEE TYPE FLOW SENSOR W/SOCKET ENDS, CUSTOM MOUNTING TEE AND ULTRA LIGHTWEIGHT IMPELLER ENHANCES LOW FLOW MEASUREMENT. 2 WIRE DIGITAL OUTPUT COMPATIBLE WALL IRRIGATION CONTROLLERS. FLOW RANGE 1.8 GPM - 108 GPM.	-		
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	-		
	IRRIGATION MAINLINE: PVC SCHEDULE 40	-		
	PIPE SLEEVE: PVC CLASS 315 SDR 13.5	-		



PLANTING NOTES

- ALL LANDSCAPE AREAS TO BE TOP DRESSED WITH 3" THICK LAYER OF BARK MULCH. MULCH SHALL BE REDWOOD, FIR, CEDAR, OR A COMBINATION OF THESE. THE COMPOSITION OF THE MULCH SHALL BE A MIX OF SHREDDED BARK, WOOD AND SAWDUST, 0.4" EQUAL TO: "WONDER MULCH" BY VISION RECYCLING, FREMONT, CA (510) 385-0255 CONTACT: ANDREW TUCKMAN
- GORILLA HAIR MULCH AND BARK CHIPS SHALL NOT BE USED OR ACCEPTED. CONTRACTOR TO PROVIDE SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASING.
- THE TOP SECTION OF ALL LANDSCAPE AREAS SHALL BE COMPRISED OF AN APPROVED TOP SOIL MIX, WHICH CAN BE EITHER IMPORTED OR AMENDED NATIVE MATERIAL, PER SPECIFICATIONS. ONCE THE TOP SOIL MATERIAL IS IN PLACE, A SOIL FERTILITY TEST WILL BE COMPLETED BY THE CONTRACTOR TO DETERMINE THE APPROPRIATE ADDITIVE SCHEDULE PER SPECIFICATIONS.
- PLANT QUANTITIES, IF SHOWN IN LEGEND, ARE FOR AID IN BIDDING ONLY. CONTRACTOR SHALL VERIFY QUANTITIES.
- CONTRACTOR SHALL SET OUT PLANT MATERIAL AS PER PLAN AND RECEIVE APPROVAL FROM THE OWNER'S REPRESENTATIVE WITH RESPECT TO PLANT HEALTH AND LOCATION PRIOR TO INSTALLATION. CONTRACTOR SHALL GIVE MINIMUM 3 WORKING DAYS NOTICE FOR OBSERVATION AND SHALL HAVE ALL PLANT MATERIAL IN SPECIFIED LOCATIONS FOR REVIEW AT ONE TIME. CONTRACTOR SHALL REPLACE ANY MATERIAL AS DIRECTED BY COUNTY REPRESENTATIVE.
- CONTRACTOR SHALL REFER TO PLANTING DETAILS AND SPECIFICATIONS PRIOR TO BIDDING AND CONSTRUCTION FOR ADDITIONAL INFORMATION ON AMENDMENT, OBSERVATIONS, SUBMITTALS ETC.
- A MINIMUM 3-FOOT CLEAR AREA SHALL BE PROVIDED AND MAINTAINED AROUND ALL FIRE HYDRANTS AND FIRE APPLIANCES.
- ALL ABOVE GROUND UTILITIES TO BE SCREENED BY LANDSCAPE MATERIAL. SEE ADJACENT PLANT SCHEDULE FOR PROPOSED PLANT SPECIES

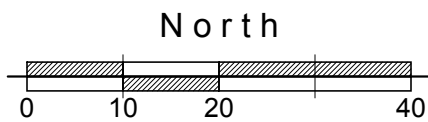
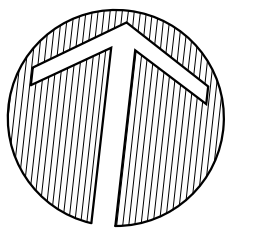
IRRIGATION STATEMENT

NOTE: OWNER SHALL PROVIDE AN AUTOMATIC IRRIGATION SYSTEM TO EFFECTIVELY WATER ALL PLANTING AREAS SHOWN ON THE CONCEPTUAL LANDSCAPE PLAN. THE DESIGN OF THE IRRIGATION SYSTEM SHALL CONSIST OF DRIP IRRIGATION, BUBBLERS AND LOW FLOW SPRAY HEADS THAT WILL SUFFICIENTLY IRRIGATE THE PROPOSED PLANT MATERIAL IN COMPLIANCE WITH CALIFORNIA'S UPDATED MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AB 1881, AND CITY OF SANTA CRUZ REQUIREMENTS.

HYDROZONES WILL BE DESIGNATED BASED ON SOLAR EXPOSURE, PLANT WATER USE REQUIREMENTS, SOIL TYPE, AND MICROCLIMATES

WELO NOTES

- A HORTICULTURAL SOIL ANALYST TEST SHALL BE CONDUCTED AT A MINIMUM OF 4 LOCATIONS IN PLANTING AREAS IN ADDITION TO AN ANALYSIS OF ANY TOP SOIL IMPORTED TO PROJECT PLANTING AREAS. CONTRACTOR TO FOLLOW AMENDMENT RECOMMENDATIONS FROM A QUALIFIED SOILS LABORATORY BASED ON TEST RESULTS. THOROUGHLY MIX SOIL ADDITIVES INTO TOP 6" OF SOIL BY ROTOTILLING AT LEAST ONCE IN EACH DIRECTION.
- SOIL AMENDMENT AND COMPOST TO BE ADDED TO PLANTING AREAS AT A RATE OF 4 CUBIC YARDS PER 1,000 SF. INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- A MINIMUM (3") LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS. REFER TO PLANTING NOTES ABOVE FOR MULCH SPECIFICATION.
- REFER TO CIVIL IMPROVEMENT PLANS FOR PLANTING AREA GRADING.
- A LANDSCAPE IRRIGATION AUDIT SHALL BE CONDUCTED BY AN IRRIGATION AUDITOR.



STUDIO
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Sheet Title:

HYDROZONE
PLAN

Job No. 24002
Date: 07/03/2024
Scale: 1" = 20'-0"
Drawn By: JB

Sheet No:

L-3.0