

NEW APARTMENT BUILDING FOR
150 FELKER STREET
SANTA CRUZ, CALIFORNIA



WILLIAM C. KEMPf
ARCHITECTS
105 Locust St., Suite B
Santa Cruz, CA 95060
831 459-0951
www.wckempl.com

NEW APARTMENT BUILDING FOR
150 FELKER STREET
SANTA CRUZ, CALIFORNIA
PROJECT SUMMARY, VICINITY MAP, SHEET INDEX

PROJECT SUMMARY

THIS LOT IS ZONED 'R-M' BY THE CITY OF SANTA CRUZ. THE 'R-M' ZONING DENSITY STANDARDS LISTED IN THE ZONING ORDINANCE ARE INCONSISTENT WITH THE GENERAL PLAN. THE GENERAL PLAN, LAND USE POLICY 3.8 INDICATES THAT 1 BEDROOMS AND STUDIOS ARE EXEMPT FROM THE DENSITY STANDARDS IN THE CORRESPONDING GENERAL PLAN DESIGNATION, M (20.1-30 DU/AC). DUE TO THIS INCONSISTENCY, THE "NO DENSITY" DENSITY IN THE GENERAL PLAN TRUMPS THAT OF THE ZONING ORDINANCE.

WE HAVE PREPARED A SEPARATE SET OF BASE PLANS TO DETERMINE THE BASE NUMBER OF UNITS ALLOWED ON WHICH TO APPLY THE DENSITY BONUS. THE BASE PLANS INTENT IS TO PROVIDE A BUILDING THAT FULLY CONFORMS TO ALL OF THE OBJECTIVE STANDARDS FOR THE ZONE DISTRICT (HEIGHT, STORIES, OPEN SPACE, SETBACKS, ETC.). THESE PLANS SHOW WE CAN CONSTRUCT, 23 UNITS WITHOUT THE DENSITY BONUS CONFORMING TO ALL APPLICABLE ZONING STANDARDS. THIS NUMBER OF UNITS SHALL BE USED TO DETERMINE THE NUMBER OF UNITS ALLOWED USING THE AFFORDABLE DENSITY BONUS.

INCLUSIONARY REQUIREMENTS PER SCMC 24.16.020 (5)

RENTAL RESIDENTIAL DEVELOPMENTS THAT CREATE FIVE OR MORE NEW DWELLING UNITS SHALL PROVIDE TWENTY PERCENT OF THE DWELLING UNITS AS INCLUSIONARY UNITS, WHICH SHALL BE MADE AVAILABLE FOR RENT TO LOW INCOME HOUSEHOLDS AT AN AFFORDABLE RENT. IF THE NUMBER OF DWELLING UNITS REQUIRED RESULTS IN A FRACTIONAL REQUIREMENT OF 0.7 OR LESS, THEN THERE WILL BE NO INCLUSIONARY REQUIREMENT FOR THE FRACTIONAL UNIT.

23 UNITS x 20% = 4.6 UNITS THIS ROUNDS TO 4 UNITS

AT A BASE DENSITY OF 23 UNITS THE CITY WOULD REQUIRE THE PROJECT PROVIDE 4 LOW INCOME UNITS

STATE DENSITY BONUS CALCULATION PER CA STATE AB 2345

AFFORDABLE DENSITY BONUS

A 50% BONUS IS GRANTED WHEN 15% VERY LOW INCOME UNITS ARE PROVIDED

23 ALLOWED UNITS x 15% = 3.45 UNITS = 3 UNITS

23 UNITS (STANDARD DENSITY) x 1.50 (DENSITY BONUS) = 34.5 UNITS (UNIT ALLOWED WITH BONUS)

CONCESSIONS GRANTED DUE TO AFFORDABLE UNITS

PER SCMC 24.16.245

- 1 CONCESSION SHALL BE PERMITTED WITH 5% VERY LOW INCOME UNITS
- 2 CONCESSIONS SHALL BE PERMITTED WITH 10% VERY LOW INCOME UNITS
- 3 CONCESSIONS SHALL BE PERMITTED WITH 15% VERY LOW INCOME UNITS

WAIVERS REQUESTED:

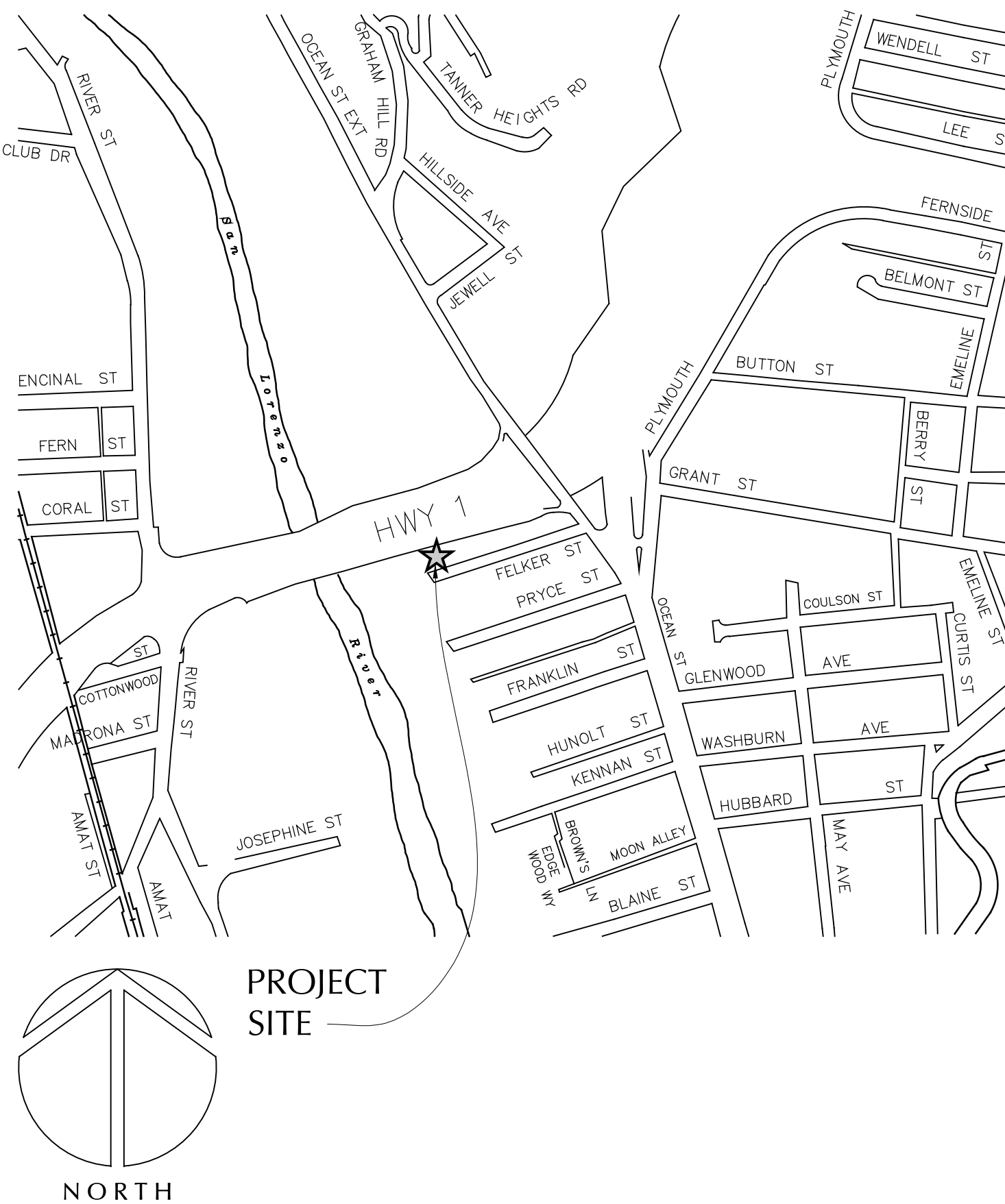
1. BUILDING HEIGHT - A WAIVER IS REQUESTED TO ALLOW FOR THE BUILDING TO INCREASE IN HEIGHT OVER THE 35' HEIGHT LIMIT ESTABLISHED BY 'R-M' ZONING. THE INCREASED BUILDING HEIGHT IS NECESSARY IN ORDER TO PROVIDE THE 4TH FLOOR THAT ADDS 10% AFFORDABLE UNITS.
2. AN ELIMINATION OF THE STEP BACK REQUIREMENTS AT THE SOUTH, EAST, & WEST PROPERTY LINES.

* THE WAIVERS REQUESTED ARE REQUIRED TO ACCOMMODATE THE PROPOSED 4th & 5th FLOORS AND 61'-0" BUILDING HEIGHT THAT IS NECESSARY FOR ADDITIONAL DENSITY BONUS UNITS. THE BUILDING FOOTPRINT HAS BEEN LOCATED AT THE NORTH-WEST CORNER OF THE SITE TO HELP MAXIMIZE THE SETBACKS TO THE ADJACENT RESIDENTIAL PARCEL TO THE WEST AND TO THE PUBLIC WAY TO THE SOUTH. THE 'R-M' ZONING STEP-BACK REQUIREMENTS THAT ARE REQUESTED TO BE WAIVED ARE ALL ILLUSTRATED IN THE EXTERIOR ELEVATIONS ON SHEETS A-5.1 AND A-5.2.

CONCESSIONS REQUESTED:

1. A 20% REDUCTION IN THE OPEN SPACE REQUIREMENT IS REQUESTED. 'R-M' ZONING REQUIRES 200 S.F. PER ONE-BEDROOM OR STUDIO UNIT. THIS 20% REDUCTION IS ALLOWED BY RIGHT PER SCMC 24.16.255(2)(D).

VICINITY MAP



SHEET INDEX

- A-1.1 PROJECT SUMMARY, VICINITY MAP, SHEET INDEX
- A-1.2 PROJECT DATA
- A-2.1 EXISTING & DEMOLITION SITE PLAN
- A-3.1 FIRST FLOOR & SITE PLAN
- A-3.2 SECOND FLOOR PLAN
- A-3.3 THIRD FLOOR PLAN
- A-3.4 FOURTH FLOOR PLAN
- A-3.5 FIFTH FLOOR PLAN
- A-3.6 ROOF PLAN
- A-3.7 ENLARGED TYPICAL UNIT PLANS
- A-4.1 SITE & BUILDING SECTION
- A-5.1 PROPOSED EXTERIOR ELEVATIONS
- A-5.2 PROPOSED EXTERIOR ELEVATIONS
- A-6.1 PERSPECTIVE VIEWS
- A-6.2 SHADOW STUDY

- E-1.1 SITE LIGHTING PLAN

- C0.1 COVER SHEET
- C0.2 CONDITIONS OF APPROVAL
- C1.1 EXISTING SITE/DEMOLITION PLAN
- C2.1 SITE IMPROVEMENT PLAN
- C3.1 UTILITY PLAN
- C4.1 GRADING AND DRAINAGE PLAN
- C5.1 STORM WATER MANAGEMENT PLAN
- C6.1 EROSION CONTROL PLAN
- C6.2 EROSION CONTROL DETAILS
- C7.1 CONSTRUCTION DETAILS
- C7.2 CONSTRUCTION DETAILS
- C100 OFFSITE DEMOLITION AND IMPROVEMENT PLAN
- C200 OFFSITE CONSTRUCTION DETAILS
- C201 OFFSITE CONSTRUCTION DETAILS

- L1.0 LANDSCAPE PLAN

PROJECT DATA

- OWNER: AEST REALTY
4100 MOORPARK AVENUE
SAN JOSE, CA 95117
ARTHUR LIN: 408 510-1722
- PROJECT SITE: APN: 008-181-23
150 FELKER STREET
SANTA CRUZ, CA 95060
- SITE AREA: 17,947 SQ. FT., 0.412 ACRES
- ZONING: RM (MULTIPLE RESIDENCE MEDIUM RISE)
- CONSTRUCTION TYPE: V-A (R-2 APARTMENTS) OVER 1A (S-2 PARKING GARAGE)
- PROJECT DESCRIPTION: DEMOLISH EXISTING COMMERCIAL BUILDING AND CONSTRUCT A NEW APARTMENT BUILDING IN ITS PLACE. THE PROJECT PROPOSED TO UTILIZE CA STATE AB 2345 TO PROVIDE A 35 UNIT APARTMENT BUILDING WITH 4 VERY LOW INCOME UNITS. ALL 35 UNITS ARE 1-BEDROOM. THE BUILDING ALSO CONTAINS 36 STORAGE SPACES THAT ARE PROVIDED FOR TENANT STORAGE. THE STORAGE ROOMS PROVIDED HAVE BEEN SET UP TO EASILY BE CONVERTED ADU'S.

SEE SHEET A-1.2 FOR CONTINUED PROJECT DATA

DRAWING DATE:	DECEMBER 7, 2021
A.P.N.	008-181-23
CLIENT NAME:	ARTHUR LIN
PROJECT NAME:	FELKER STREET

REVISIONS		
No.	DESCRIPTION	DATE
1	PLANNING	3/10/22
2	PLANNING	5/17/22
3	PLANNING	
4	MAJOR MOD.	4/11/23
5	MAJOR MOD.	6/29/23

PRELIMINARY
NOT FOR
CONSTRUCTION

STAMP

DISCLAIMER
THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF WILLIAM C. KEMPf, ARCHITECTS. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE ALTERED, REPRODUCED, OR USED WITHOUT THE CONSENT OF THE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE ARCHITECT. UNAUTHORIZED USE IS PROHIBITED.

SHEET
A-1.1

Parking

Required Car Parking (SCMC 24.16.256*)

Zero- to one-bedroom units: one on-site parking space x 35 units = 35 parking spaces required

*guest parking and handicapped parking shall be included within the maximum number of spaces that may be required. If the total number of parking spaces required for a housing development is other than a whole number, the number shall be rounded up to the next whole number. For purposes of this section, a housing development may provide on-site parking through tandem parking or uncovered parking, but not through on-street parking

Per SCMC 24.12.241(3)a 12% of total parking spaces shall be provided as EV spaces with EVSE installed. 29 parking spaces x (12%) = 3.48 = 3 EV Parking spaces required

Car Parking Provided

Uncovered	0 spaces
Covered	
Standard	19 spaces
Compact	8 spaces
Accessible	2 spaces
Total	29 spaces
¹ Credit for accessible EV parking space SCMC 24.12.241(3)a	1 space
² Substitution with bike spaces SCMC 24.12.250(5)a (18 bike spaces)	3 spaces
Adjusted Total	33 spaces

¹3 of the parking spaces will be provided as EV parking spaces with EVSE. As required under the California Building Code one will be provided as an accessible parking space.

Required Bike Parking (SCMC 24.12.250)

- (1) ‘Class 1’ bike parking space per unit x 35 units = 35 ‘Class 1’ bike parking spaces required
(1) ‘Class 2’ space per every four units x 35 units = 9 ‘Class 2’ bike parking spaces required

²Substitution of car parking with bike parking is proposed per SCMC 24.12.250(5)a. This allows for a 10% reduction in parking requirement. 33 spaces x (10%) = 3 space reduction allowed. The parking reduction must yield at least six bike parking spaces per converted auto space. 6 bike parking spaces x 3 car parking space reduction = 18 additional bike parking spaces required.

Total bike parking spaces required 62 spaces

Provided Required Bike Parking

‘Class 1’ bike parking provided	76 spaces
‘Class 2’ bike parking provided	10 spaces
Total bike parking spaces provided	86 spaces

Dwelling Unit Breakdown

Unit Type	# Of Bedrooms	Area	# Of Units
A	1 Bedroom	762 S.F.	24
B	1 Bedroom	737 S.F.	10
C	1 Bedroom	700 S.F.	1

Average Unit Area: 751 S.F.
Total Number of Units: 35 Units

Lot Coverage

Existing Lot Coverage

	Area (sq. ft.)	% of Site
Building Areas	5,569	31.6%
Paving Areas	6,949	39.6%
Landscaped Areas	5,069	28.8%
Total	17,587	100%

Proposed Lot Coverage

	Area (sq. ft.)	% of Site
Building Areas	11,244	63.9%
Paving Areas	1,562	8.9%
Landscaped Areas	4,781	27.2%
Total	17,587	100%

Open Space

Required Open Space (SCMC 24.10.550)

1 Bedroom / Studio Units require 200 sq. ft. per unit x 35 units = 7,000 sq. ft.
20% reduction requested per Zoning ordinance 24.16.255.2.d = 5,600 sq. ft. open space required

Provided Open Space

Private (covered patios at dwelling units)	1,750 sq. ft
Common (uncovered at ground floor)	4,017 sq. ft.
Total Provided	5,767 sq. ft.

Note: 4,224 sq. ft. of private balcony is actually provided, but per zoning ordinance 24.22.586 no more than 25% of the required open space may be assigned to private balconies. Private balcony area of 1,750 sq. ft. shown in the calculation is 25% of the required 7,000 sq. ft. of open space.

Project Design Data*

*this sheet is provided in place of the City of Santa Cruz standard ‘Form 2 – Project Design Data’

Site Information

Project site: 150 Felker Street
Santa Cruz, CA 95060
APN: 008-181-23
Site Area: 17,947 sq. Ft., 0.412 acres
Zoning: RM (Multiple Residence Medium Rise)

Building Areas

Existing Structure to be Removed

First Floor 5,569 sq. ft.

Proposed Floor Area

First Floor
Garage 9,216 sq. ft.
Common Area (Stairs / Elevator, Bike Parking, mail) 1,444 sq. ft.
Building Services (Trash, Mechanical, MPQE) 584 sq. ft.
Total 11,244 sq. ft.

Second Floor
Residential 8,225 sq. ft.
Private Patio 1,056 sq. ft.
Building Services (Storage / Bike Parking) 134 sq. ft.
Common Area (Hallway and Stairs) 1,525 sq. ft.
Total 10,940 sq. ft.

Typical Third, Fourth, & Fifth Floors
Residential 6,049 sq. ft.
Private Patio 1,056 sq. ft.
Building Services (Storage / Bike Parking) 2,310 sq. ft.
Common Area (Hallway and Stairs) 1,525 sq. ft.
Total 10,940 sq. ft.

Proposed Building Total 55,004 sq. ft.

Proposed Building Height 60’-0”



WILLIAM C. KEMPf
ARCHITECTS
105 Locust St., Suite B
Santa Cruz, CA 95060
831 459-0951
www.wckempf.com

NEW APARTMENT BUILDING FOR
150 FELKER STREET
SANTA CRUZ, CALIFORNIA
PROJECT DATA

DRAWING DATE:
DECEMBER 7, 2021
A.P.N.
008-181-23
CLIENT NAME:
ARTHUR LIN
PROJECT NAME:
FELKER STREET

REVISIONS		
No.	DESCRIPTION	DATE
△	PLANNING	3/10/22
△	PLANNING	5/17/22
△	PLANNING	
△	MAJOR MOD.	4/11/23
△	MAJOR MOD.	6/29/23

APPROVAL STAMP

PRELIMINARY
NOT FOR
CONSTRUCTION

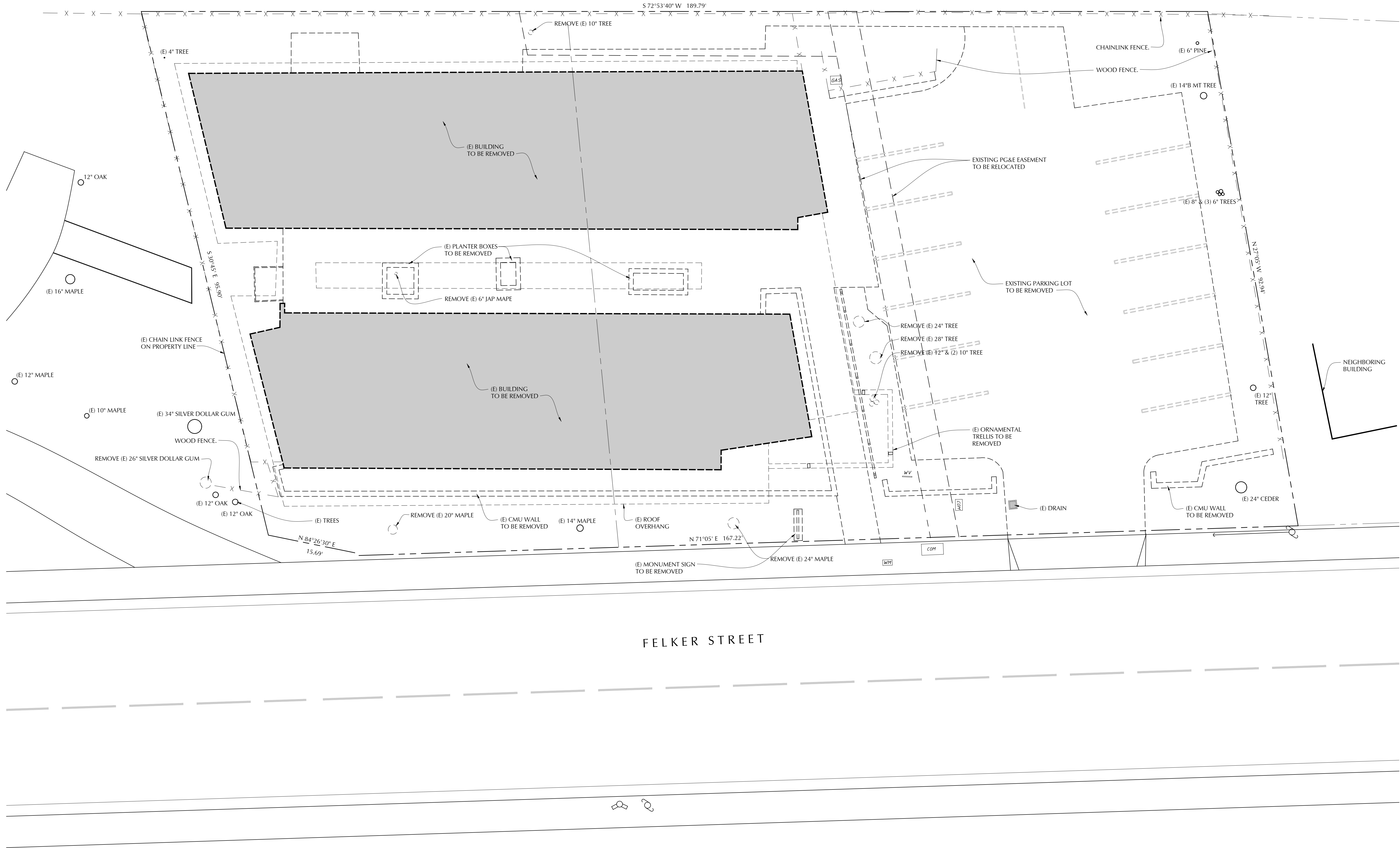
STAMP

DISCLAIMER

THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF WILLIAM C. KEMPf, ARCHITECTS. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE ALTERED, REPRODUCED, OR USED WITHOUT THE CONSENT OF THE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE ARCHITECT. UNAUTHORIZED USE IS PROHIBITED.

SHEET

A-1.2



1

EXISTING & DEMOLITION SITE PLAN

SCALE: 1/8" = 1'-0"



WILLIAM C. KEMPf
ARCHITECTS
105 Locust St., Suite B
Santa Cruz, CA 95060
831 459-0951
www.wckempf.com

NEW APARTMENT BUILDING FOR
150 FELKER STREET
SANTA CRUZ, CALIFORNIA
EXISTING & DEMOLITION SITE PLAN

DRAWING DATE:	DECEMBER 7, 2021
A.P.N.	008-181-23
CLIENT NAME:	ARTHUR LIN
PROJECT NAME:	FELKER STREET

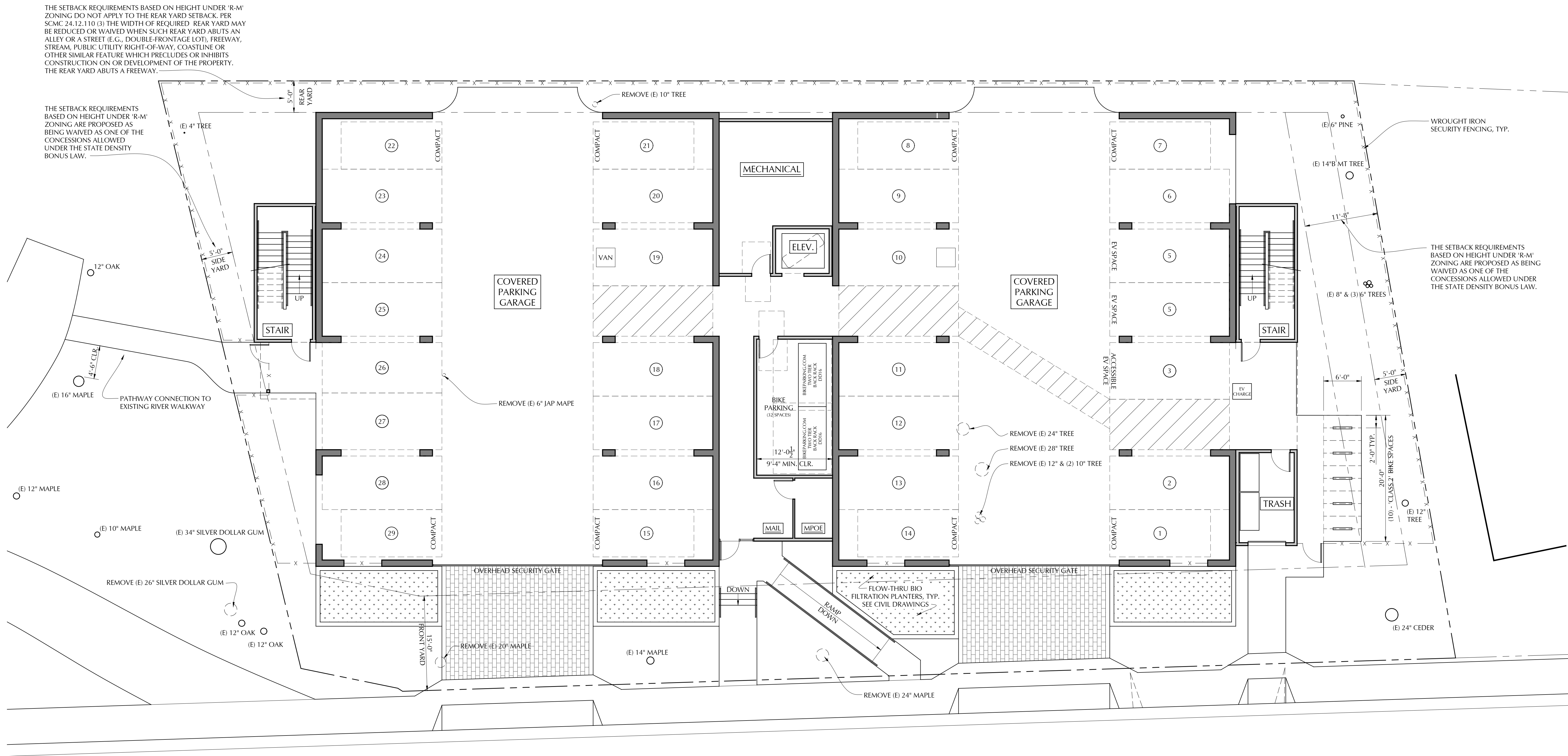
REVISIONS		
No.	DESCRIPTION	DATE
1	PLANNING	3/10/22
2	PLANNING	5/17/22
3	PLANNING	
4	MAJOR MOD.	4/11/23
5	MAJOR MOD.	6/29/23

PRELIMINARY
NOT FOR
CONSTRUCTION



DISCLAIMER
THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF WILLIAM C. KEMPf, ARCHITECTS. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE ALTERED, REPRODUCED, OR USED WITHOUT THE CONSENT OF THE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE ARCHITECT. UNAUTHORIZED USE IS PROHIBITED.

SHEET
A-2.1



1 SITE & GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"



WILLIAM C. KEMPF
ARCHITECTS
105 Locust St., Suite B
Santa Cruz, CA 95060
831 459-0951
www.wckempf.com

NEW APARTMENT BUILDING FOR
150 FELKER STREET
SANTA CRUZ, CALIFORNIA
SITE & GROUND FLOOR PLAN

DRAWING DATE:	DECEMBER 7, 2021
A.P.N.	008-181-23
CLIENT NAME:	ARTHUR LIN
PROJECT NAME:	FELKER STREET

REVISIONS		
No.	DESCRIPTION	DATE
1	PLANNING	3/10/22
2	PLANNING	5/17/22
3	PLANNING	
4	MAJOR MOD.	4/11/23
5	MAJOR MOD.	6/29/23

PRELIMINARY
NOT FOR
CONSTRUCTION

STAMP

DISCLAIMER
THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF WILLIAM C. KEMPF, ARCHITECTS. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE ALTERED, REPRODUCED, OR USED WITHOUT THE CONSENT OF THE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE ARCHITECT. UNAUTHORIZED USE IS PROHIBITED.



NEW APARTMENT BUILDING FOR
150 FELKER STREET
SANTA CRUZ, CALIFORNIA
SECOND FLOOR PLAN

DRAWING DATE:	DECEMBER 7, 2021
A.P.N.	008-181-23
CLIENT NAME:	ARTHUR LIN
PROJECT NAME:	FELKER STREET

REVISIONS		
No.	DESCRIPTION	DATE
△	PLANNING	3/10/2
△	PLANNING	5/17/2
△	PLANNING	
△	MAJOR MOD.	4/1/2
△	MAJOR MOD.	6/29/2

APPROVAL STAMP

PRELIMINARY
NOT FOR
CONSTRUCTION

STAMP

DISCLAIMER

THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF WILLIAM C. KEMPE, ARCHITECTS. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE ALTERED, REPRODUCED, OR USED WITHOUT THE CONSENT OF THE ARCHITECT. THE PROPOSED ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE ARCHITECT. UNAUTHORIZED USE IS PROHIBITED.

SHEET

A-3.2



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1

THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



WILLIAM C. KEMPf
ARCHITECTS
105 Locust St., Suite B
Santa Cruz, CA 95060
831 459-0951
www.wckempf.com

NEW APARTMENT BUILDING FOR
150 FELKER STREET
SANTA CRUZ, CALIFORNIA
THIRD FLOOR PLAN

DRAWING DATE:	DECEMBER 7, 2021
A.P.N.	008-181-23
CLIENT NAME:	ARTHUR LIN
PROJECT NAME:	FELKER STREET

REVISIONS		
No.	DESCRIPTION	DATE
1	PLANNING	3/10/22
2	PLANNING	5/17/22
3	PLANNING	
4	MAJOR MOD.	4/11/23
5	MAJOR MOD.	6/29/23

PRELIMINARY
NOT FOR
CONSTRUCTION



DISCLAIMER
THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF WILLIAM C. KEMPf, ARCHITECTS. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE ALTERED, REPRODUCED, OR USED WITHOUT THE CONSENT OF THE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE ARCHITECT. UNAUTHORIZED USE IS PROHIBITED.

SHEET
A-3.3



1

FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"



WILLIAM C. KEMPF
ARCHITECTS
105 Locust St., Suite B
Santa Cruz, CA 95060
831 459-0951
www.wckempf.com

NEW APARTMENT BUILDING FOR
150 FELKER STREET
SANTA CRUZ, CALIFORNIA
FOURTH FLOOR PLAN

DRAWING DATE:	DECEMBER 7, 2021
A.P.N.	008-181-23
CLIENT NAME:	ARTHUR LIN
PROJECT NAME:	FELKER STREET

REVISIONS		
No.	DESCRIPTION	DATE
△	PLANNING	3/10/22
△	PLANNING	5/17/22
△	PLANNING	
△	MAJOR MOD.	4/11/23
△	MAJOR MOD.	6/29/23

PRELIMINARY
NOT FOR
CONSTRUCTION



DISCLAIMER
THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF WILLIAM C. KEMPF, ARCHITECTS. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE ALTERED, REPRODUCED, OR USED WITHOUT THE CONSENT OF THE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE ARCHITECT. UNAUTHORIZED USE IS PROHIBITED.



1

FIFTH FLOOR PLAN

SCALE: 1/8" = 1'-0"



WILLIAM C. KEMPF
ARCHITECTS
105 Locust St., Suite B
Santa Cruz, CA 95060
831 459-0951
www.wckempf.com

NEW APARTMENT BUILDING FOR
150 FELKER STREET
SANTA CRUZ, CALIFORNIA
FIFTH FLOOR PLAN

DRAWING DATE:	DECEMBER 7, 2021
A.P.N.:	008-181-23
CLIENT NAME:	ARTHUR LIN
PROJECT NAME:	FELKER STREET

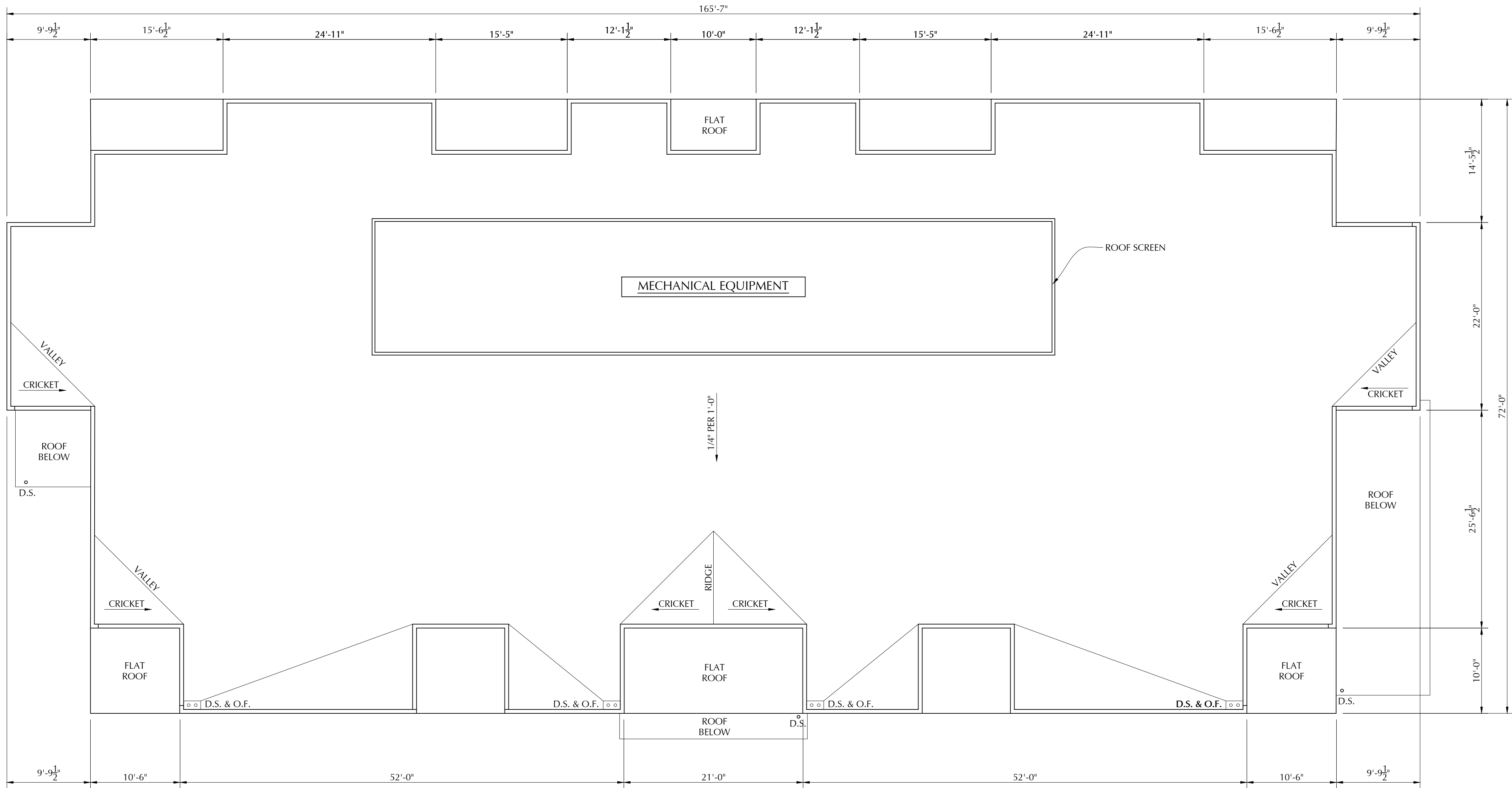
REVISIONS		
No.	DESCRIPTION	DATE
1	PLANNING	3/10/22
2	PLANNING	5/17/22
3	PLANNING	
4	MAJOR MOD.	4/11/23
5	MAJOR MOD.	6/29/23

PRELIMINARY
NOT FOR
CONSTRUCTION

STAMP

DISCLAIMER
THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF WILLIAM C. KEMPF, ARCHITECTS. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE ALTERED, REPRODUCED, OR USED WITHOUT THE CONSENT OF THE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE ARCHITECT. UNAUTHORIZED USE IS PROHIBITED.

SHEET
A-3.5



1

ROOF PLAN

SCALE: 1/8" = 1'-0"



WILLIAM C. KEMPF
ARCHITECTS
105 Locust St., Suite B
Santa Cruz, CA 95060
831 459-0951
www.wckempf.com

NEW APARTMENT BUILDING FOR
150 FELKER STREET
SANTA CRUZ, CALIFORNIA
ROOF PLAN

DRAWING DATE:

DECEMBER 7, 2021

A.P.N.:

008-181-23

CLIENT NAME:

ARTHUR LIN

PROJECT NAME:

FELKER STREET

REVISIONS

No.	DESCRIPTION	DATE
1	PLANNING	3/10/22
2	PLANNING	5/17/22
3	PLANNING	
4	MAJOR MOD.	4/11/23
5	MAJOR MOD.	6/29/23

APPROVAL STAMP

PRELIMINARY
NOT FOR
CONSTRUCTION

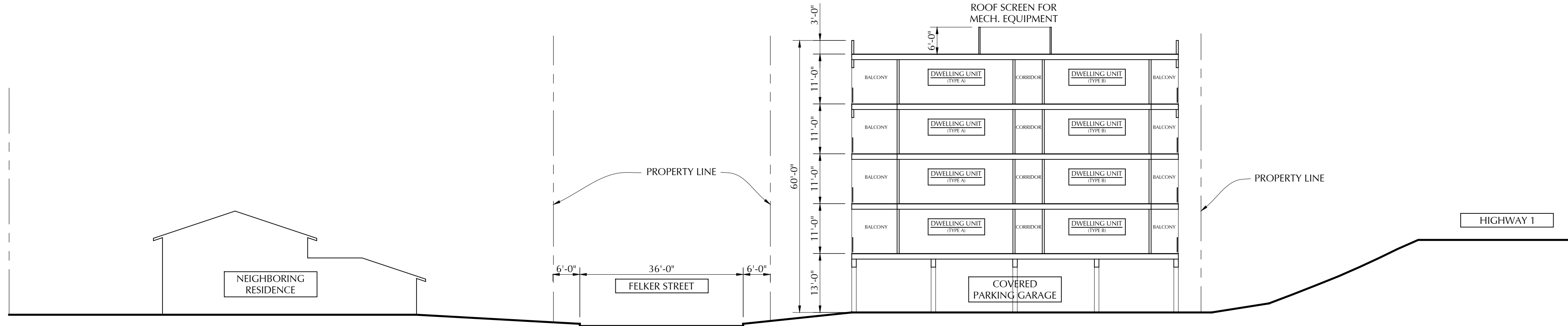
STAMP

DISCLAIMER

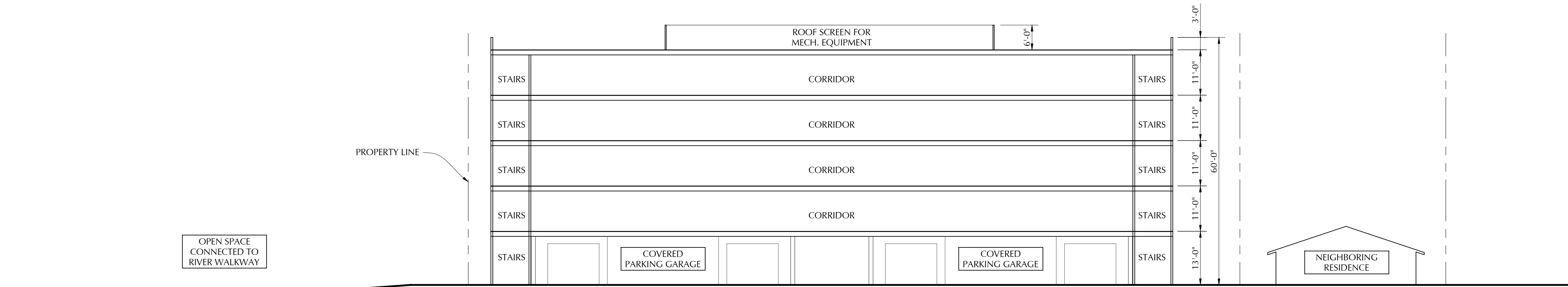
THE DATA SET FORTH ON THIS SHEET IS
THE PROPERTY OF WILLIAM C. KEMPF,
ARCHITECTS. IT IS AN INSTRUMENT OF
SERVICE AND MAY NOT BE ALTERED,
REPRODUCED, OR USED WITHOUT THE
CONSENT OF THE ARCHITECT. THE PROPER
ELECTRONIC TRANSFER OF DATA SHALL
BE THE USER'S RESPONSIBILITY WITHOUT
LIABILITY TO THE ARCHITECT.
UNAUTHORIZED USE IS PROHIBITED.

SHEET

A-3.6



1 SITE & BUILDING SECTION
SCALE: 1/16" = 1'-0"



2 SITE & BUILDING SECTION
SCALE: 1/16" = 1'-0"



WILLIAM C. KEMPf
ARCHITECTS
105 Locust St., Suite B
Santa Cruz, CA 95060
831 459-0951
www.wckempf.com

NEW APARTMENT BUILDING FOR
150 FELKER STREET
SANTA CRUZ, CALIFORNIA
SITE & BUILDING SECTION

DRAWING DATE:
DECEMBER 7, 2021
A.P.N.
008-181-23
CLIENT NAME:
ARTHUR LIN
PROJECT NAME:
FELKER STREET

REVISIONS		
No.	DESCRIPTION	DATE
1	PLANNING	3/10/22
2	PLANNING	5/17/22
3	PLANNING	
4	MAJOR MOD.	4/11/23
5	MAJOR MOD.	6/29/23

PRELIMINARY
NOT FOR
CONSTRUCTION



DISCLAIMER
THE DATA SET FORTH ON THIS SHEET IS
THE PROPERTY OF WILLIAM C. KEMPf
ARCHITECTS. IT IS AN INSTRUMENT OF
SERVICE AND MAY NOT BE ALTERED,
REPRODUCED, OR USED WITHOUT THE
CONSENT OF THE ARCHITECT. THE PROPER
ELECTRONIC TRANSFER OF DATA SHALL
BE THE USER'S RESPONSIBILITY WITHOUT
LIABILITY TO THE ARCHITECT.
UNAUTHORIZED USE IS PROHIBITED.

SHEET
A-4.1



150 FELKER STREET
SANTA CRUZ, CALIFORNIA

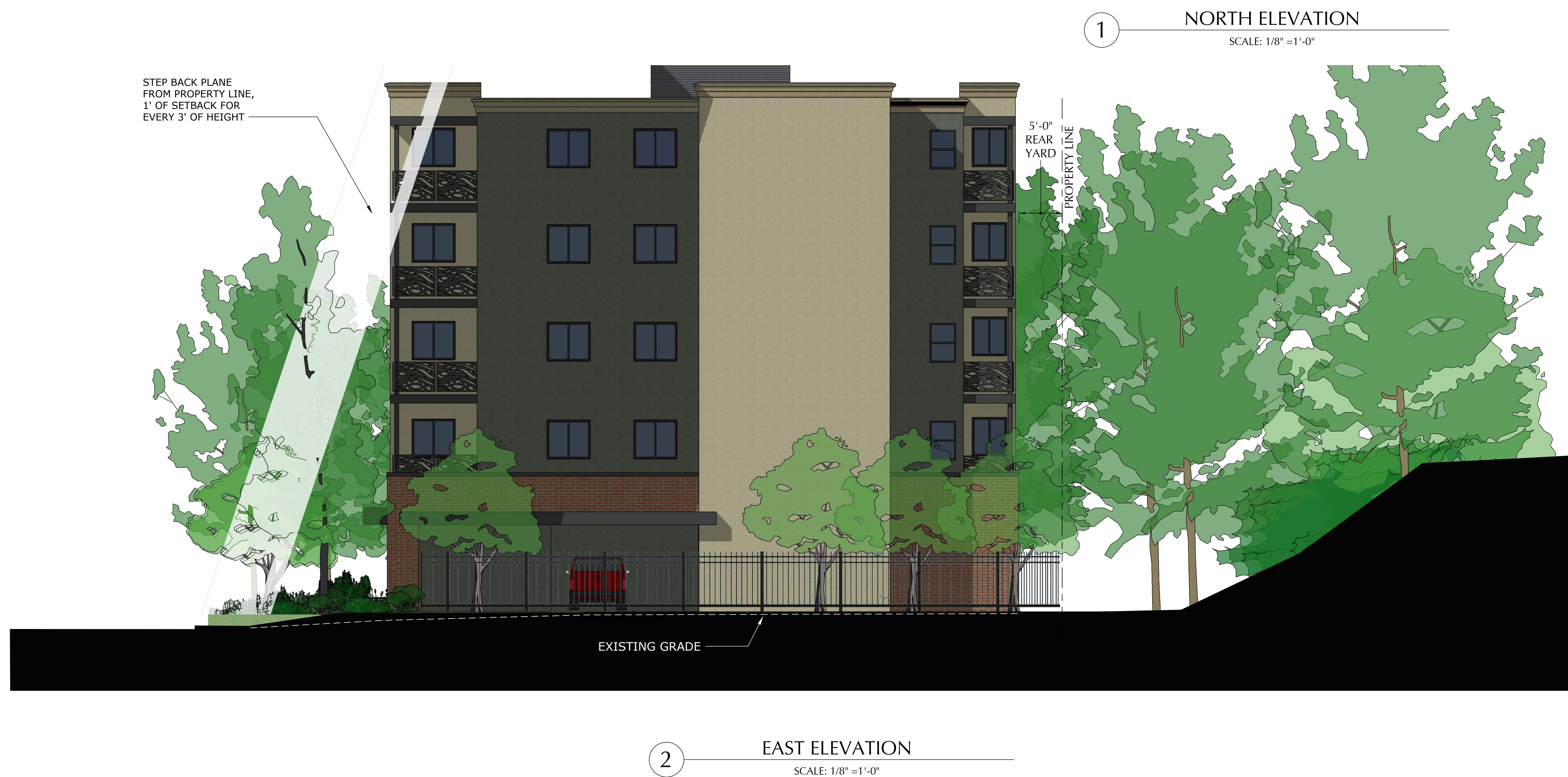
EXTERIOR ELEVATIONS

ISSUING DATE:	DECEMBER 7, 2021
ISSUE NO.:	008-181-23
ISSUING NAME:	ARTHUR LIN
ISSUING ADDRESS:	FELKER STREET

[illegible]

DISCLAIMER
A SET FORTH ON THIS SHEET IS THE PROPERTY OF WILLIAM C. KEMPF, ARCHITECT. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE ALTERED, REPRODUCED, OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ELECTRONIC TRANSFER OF DATA IS NOT THE USER'S RESPONSIBILITY. NO LIABILITY TO THE ARCHITECT. UNAUTHORIZED USE IS PROHIBITED.

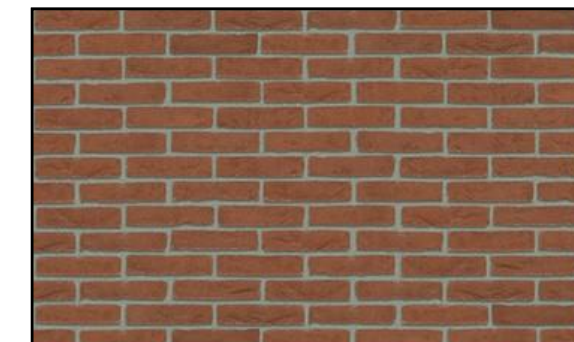
A-5.2



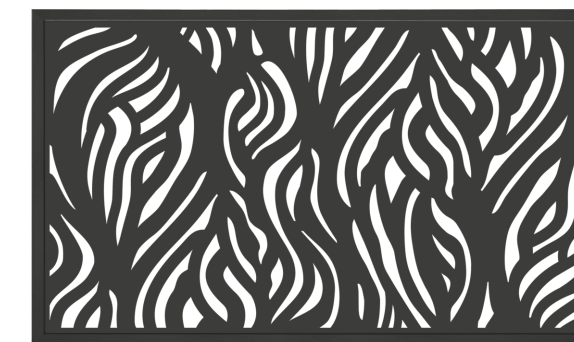
BUILDING MATERIALS PALETTE



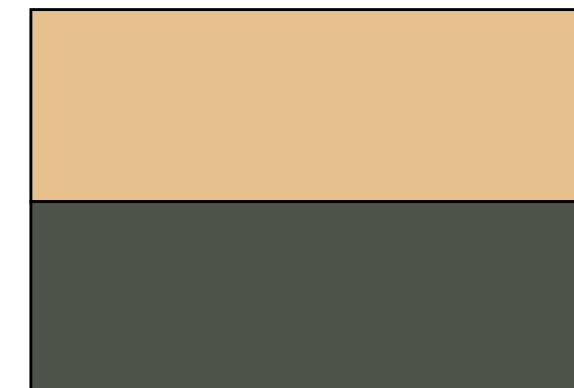
ENGINEERED STONE CAP



THINSET BRICK VENEER



DECORATIVE POWDERCOATED METAL RAILING PANELS



PAINT: SW7685-WHITE RAISIN

PAINT: SW7730-FORESTWOOD



WROUGHT IRON FENCING



2 VIEW 2 - AERIAL FROM FELKER



1 VIEW 1 - FROM FELKER ST.



4 VIEW 4 - AERIAL FROM HIGHWAY



3 VIEW 3 - FROM HIGHWAY



WILLIAM C. KEMPF
ARCHITECTS
105 Locust St., Suite B
Santa Cruz, CA 95060
831 459-0951
www.wckempf.com

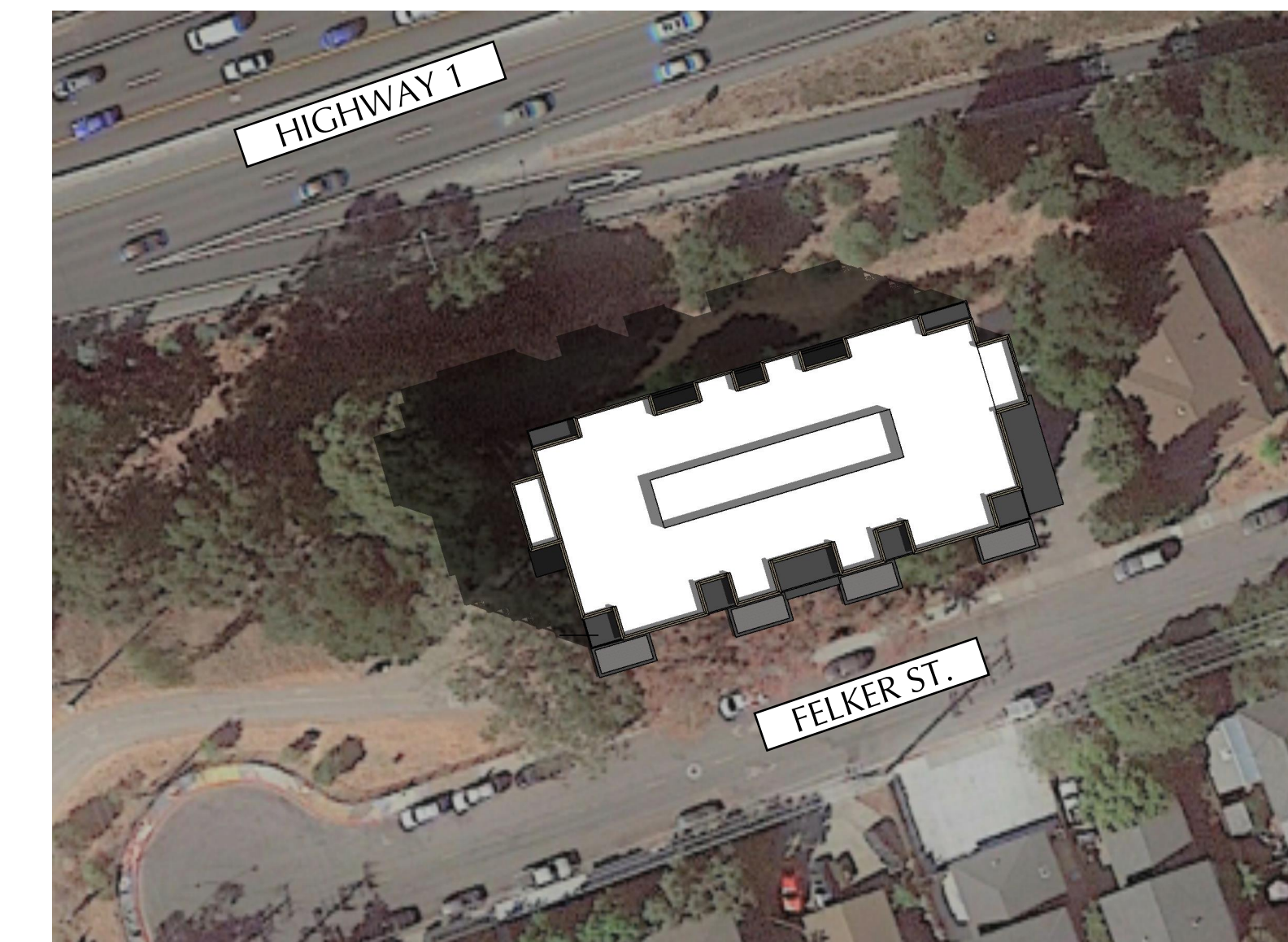
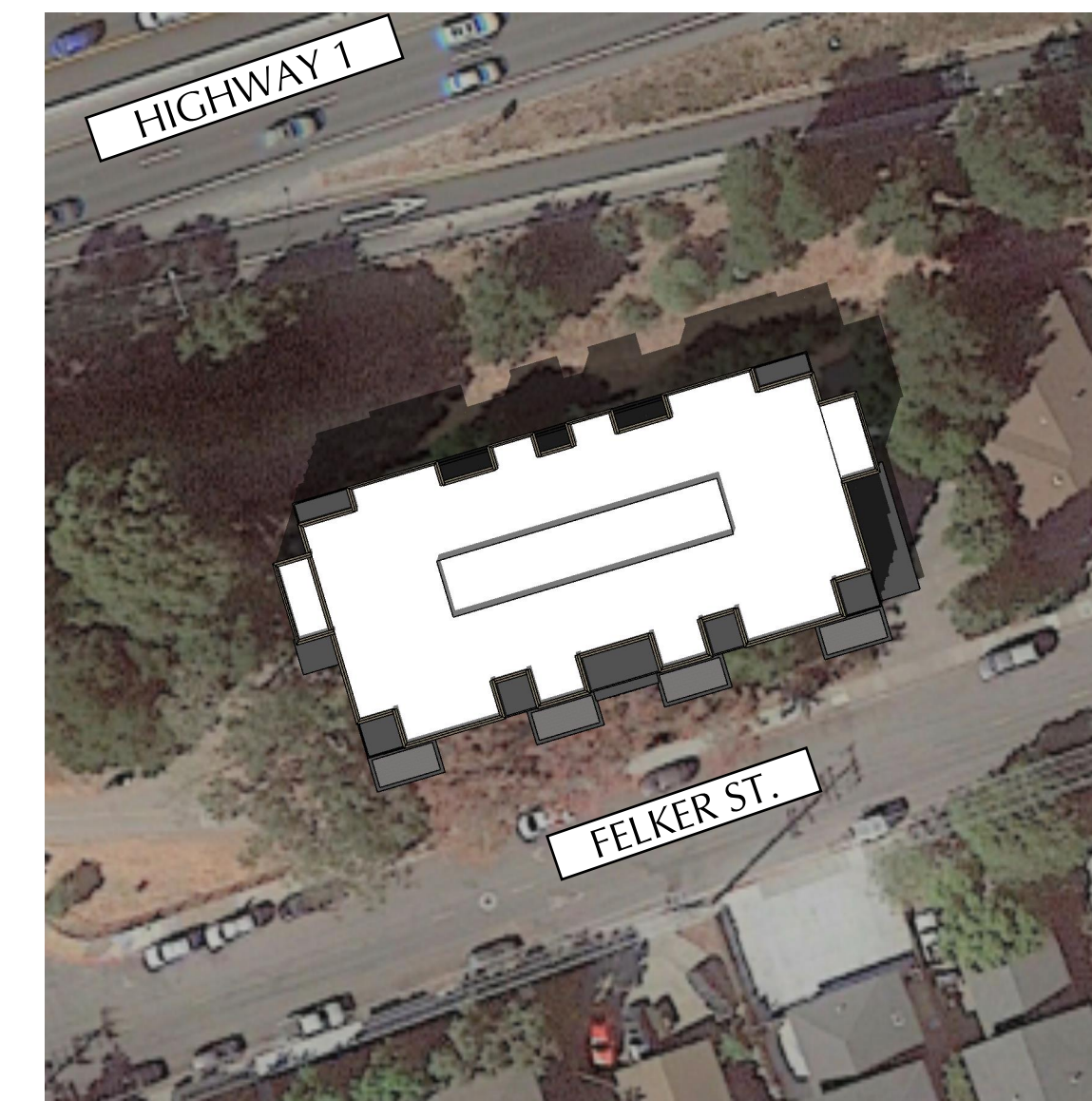
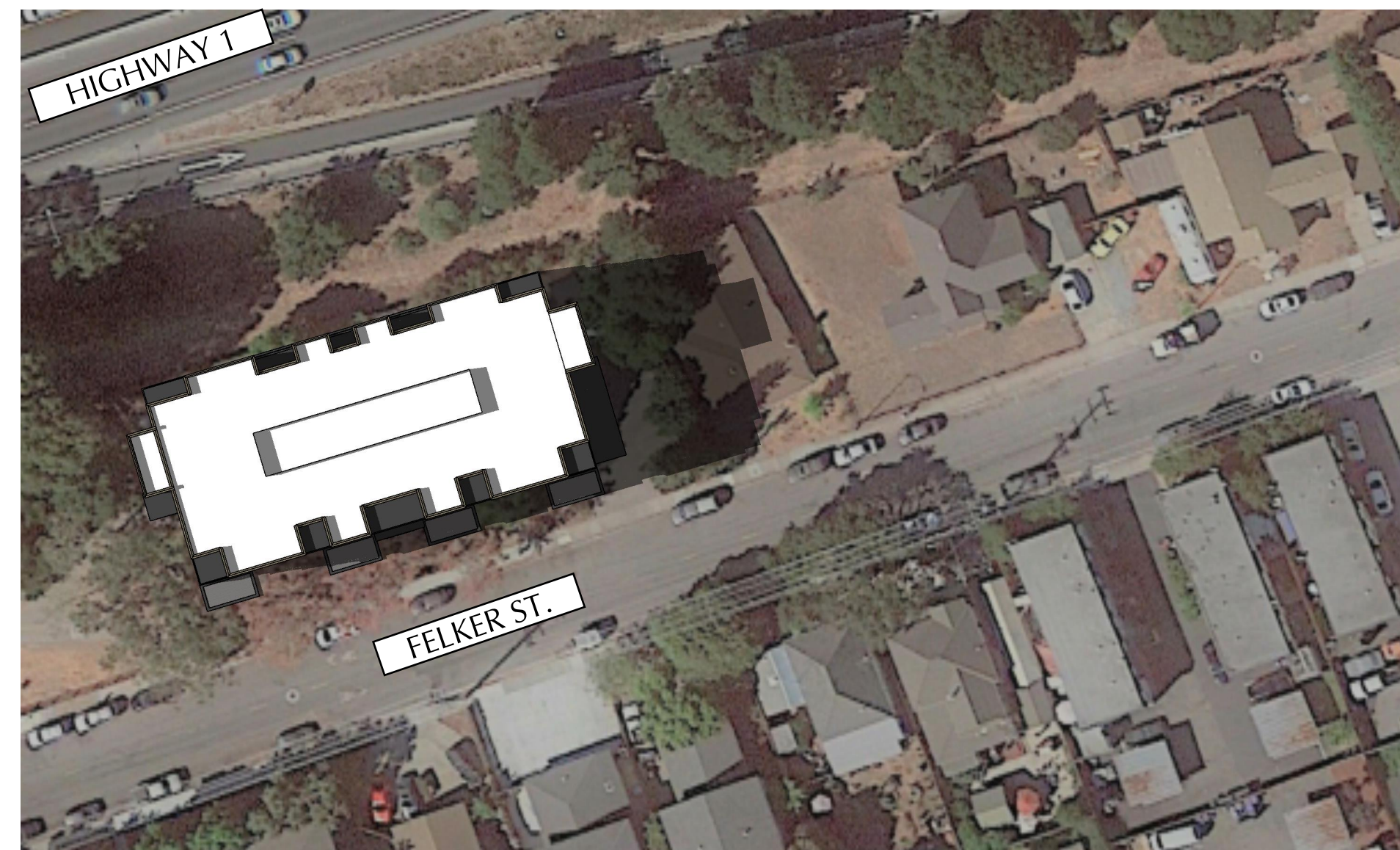
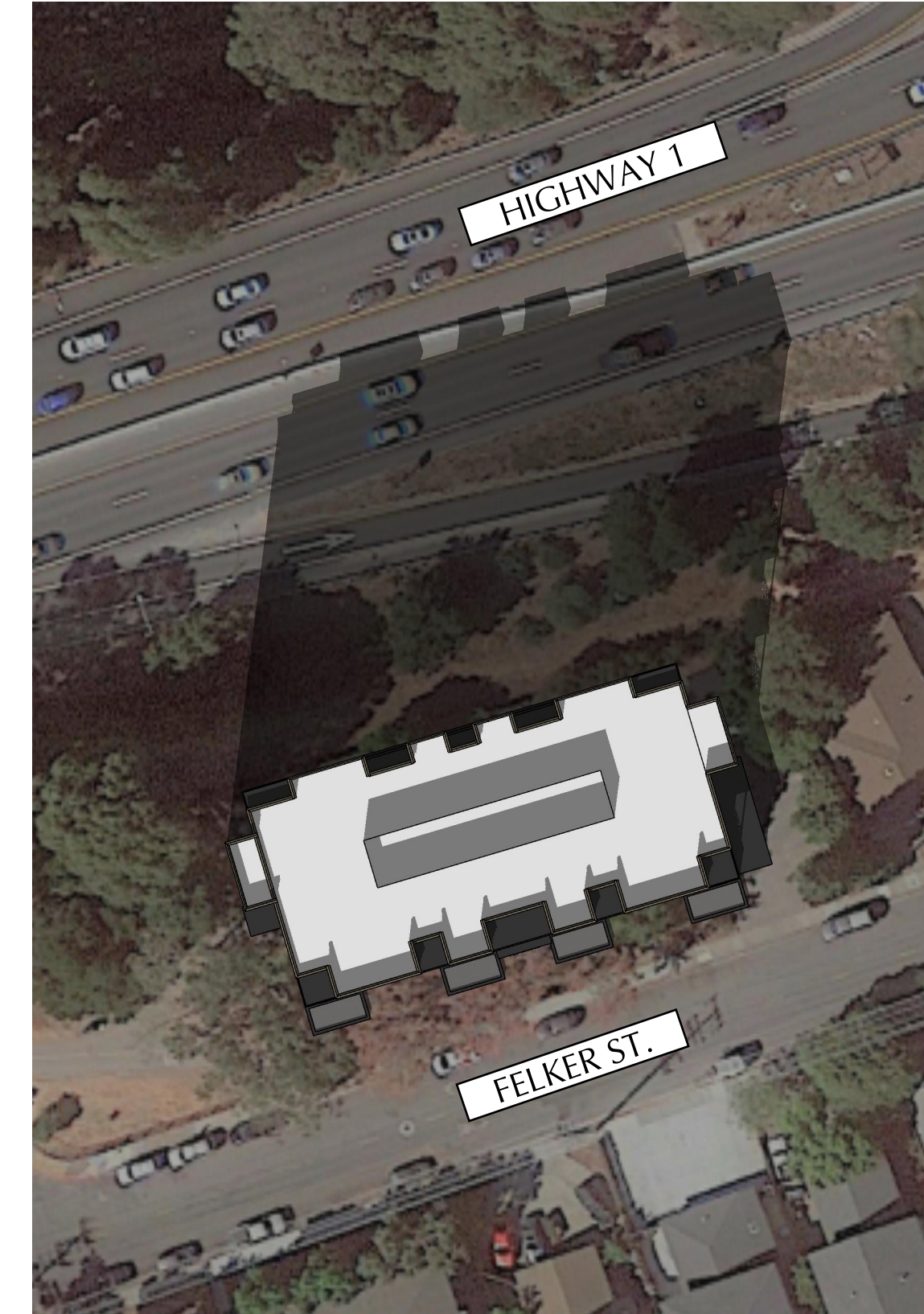
PROPOSED APARTMENT BUILDING FOR:
150 FELKER STREET
SANTA CRUZ, CALIFORNIA
PERSPECTIVE VIEWS

DRAWING DATE:
DECEMBER 7, 2021
A.P.N.:
008-181-23
CLIENT NAME:
ARTHUR LIN
PROJECT NAME:
FELKER STREET

No.	DESCRIPTION	DATE
1	PLANNING	3/10/22
2	PLANNING	5/17/22
3	PLANNING	
4	MAJOR MOD.	4/11/23
5	MAJOR MOD.	6/29/23

DISCLAIMER
THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF WILLIAM C. KEMPF, ARCHITECT. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE ALTERED, REPRODUCED, OR USED WITHOUT THE CONSENT OF THE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE ARCHITECT. UNAUTHORIZED USE IS PROHIBITED.

SHEET
A-6.1



WILLIAM C. KEMPF
ARCHITECTS
15 Locust St., Suite B
Santa Cruz, CA 95060
415-459-0951
www.wckempf.com

150 FELKER STREET
SANTA CRUZ, CALIFORNIA
SHADOW STUDY

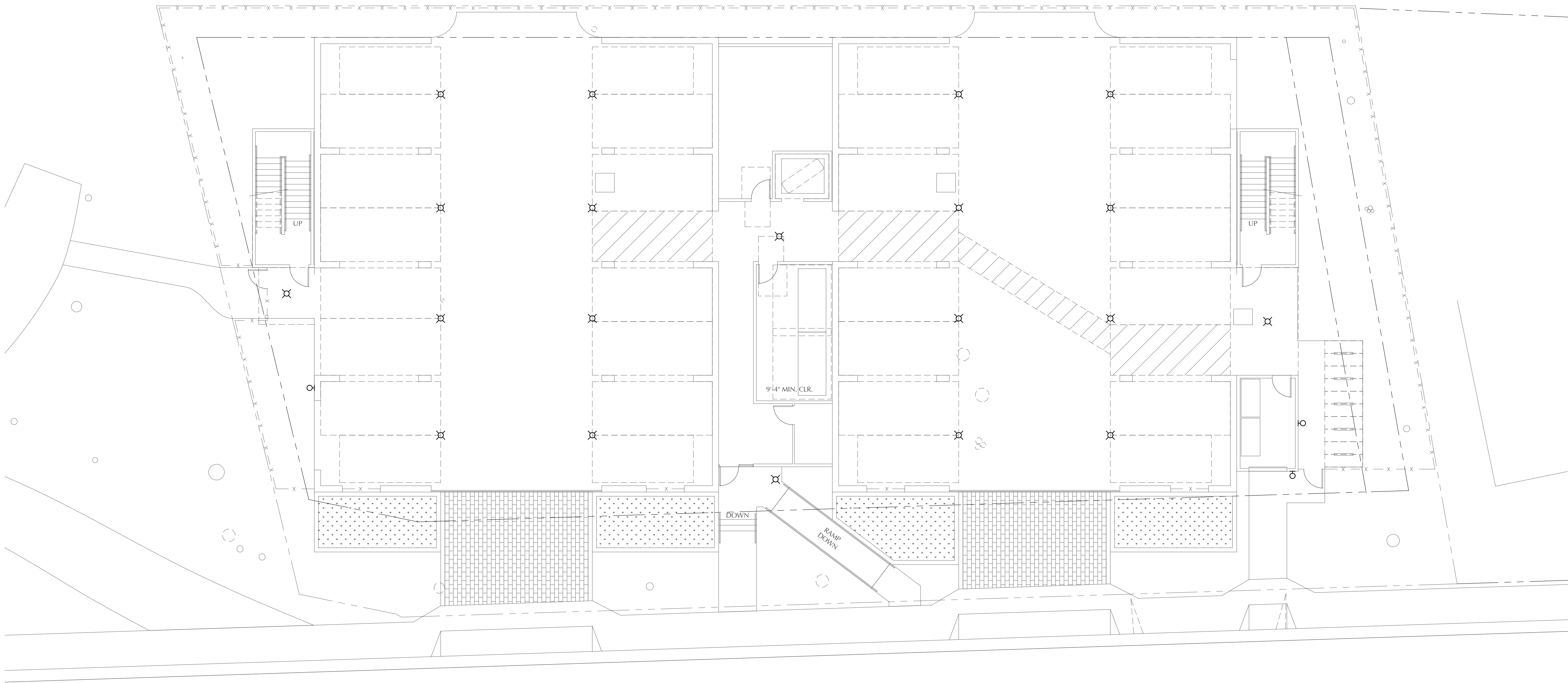
WING DATE:	DECEMBER 7, 2021
IN:	008-181-23
NT NAME:	ARTHUR LIN
ECT NAME:	FELKER STREET

DESCRIPTION	DATE
PLANNING	3/10/22
PLANNING	5/17/22
PLANNING	
MAJOR MOD.	4/11/23
MAJOR MOD.	6/29/23

DISCLAIMER

DATA SET FORTH ON THIS SHEET IS PROPERTY OF WILLIAM C. KEMP, ARCHITECT. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE ALTERED, REPRODUCED, OR USED WITHOUT THE CONSENT OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ELECTRONIC TRANSFER OF DATA. IT IS THE USER'S RESPONSIBILITY TO OBTAIN NECESSARY INSURANCE COVERAGE AND LIABILITY TO THE ARCHITECT. UNAUTHORIZED USE IS PROHIBITED.

A-6.2



ELECTRICAL SYMBOLS

- ⌘ PENDANT OR SURFACE LIGHT FIXTURE
- ⊙ WALL MOUNTED FIXTURE



WILLIAM C. KEMPF
ARCHITECTS
105 Locust St., Suite B
Santa Cruz, CA 95060
831 459-0951
www.wckempf.com

NEW APARTMENT BUILDING FOR
150 FELKER STREET
SANTA CRUZ, CALIFORNIA
SITE LIGHTING PLAN

DRAWING DATE:
DECEMBER 7, 2021
A.P.N.
008-181-23
CLIENT NAME:
ARTHUR LIN
PROJECT NAME:
FELKER STREET

REVISIONS		
No.	DESCRIPTION	DATE
△	PLANNING	3/10/22
△	PLANNING	5/17/22
△	PLANNING	
△	MAJOR MOD.	4/11/23
△	MAJOR MOD.	6/29/23

PRELIMINARY
NOT FOR
CONSTRUCTION

STAMP

DISCLAIMER
THE DATA SET FORTH ON THIS SHEET IS
THE PROPERTY OF WILLIAM C. KEMPF
ARCHITECTS. IT IS AN INSTRUMENT OF
SERVICE AND MAY NOT BE ALTERED,
REPRODUCED, OR USED WITHOUT THE
CONSENT OF THE ARCHITECT. THE PROPER
ELECTRONIC TRANSFER OF DATA SHALL
BE THE USER'S RESPONSIBILITY WITHOUT
LIABILITY TO THE ARCHITECT.
UNAUTHORIZED USE IS PROHIBITED.

SHEET
E-1.1

1

SITE LIGHTING PLAN

SCALE: 1/8" = 1'-0"



SITE IMPROVEMENT PLANS
150 FELKER STREET SNATA CRUZ, CALIFORNIA 95060
APN: 008-332-27

H W Y 1

S 72°53'40" W 189.79'

ARCHITECT:

WILLIAM C. KEMPF, ARCHITECT
105 LOCUST STREET, SUITE B
SANTA CRUZ, CA 95060
831.459.0951

CIVIL ENGINEER:

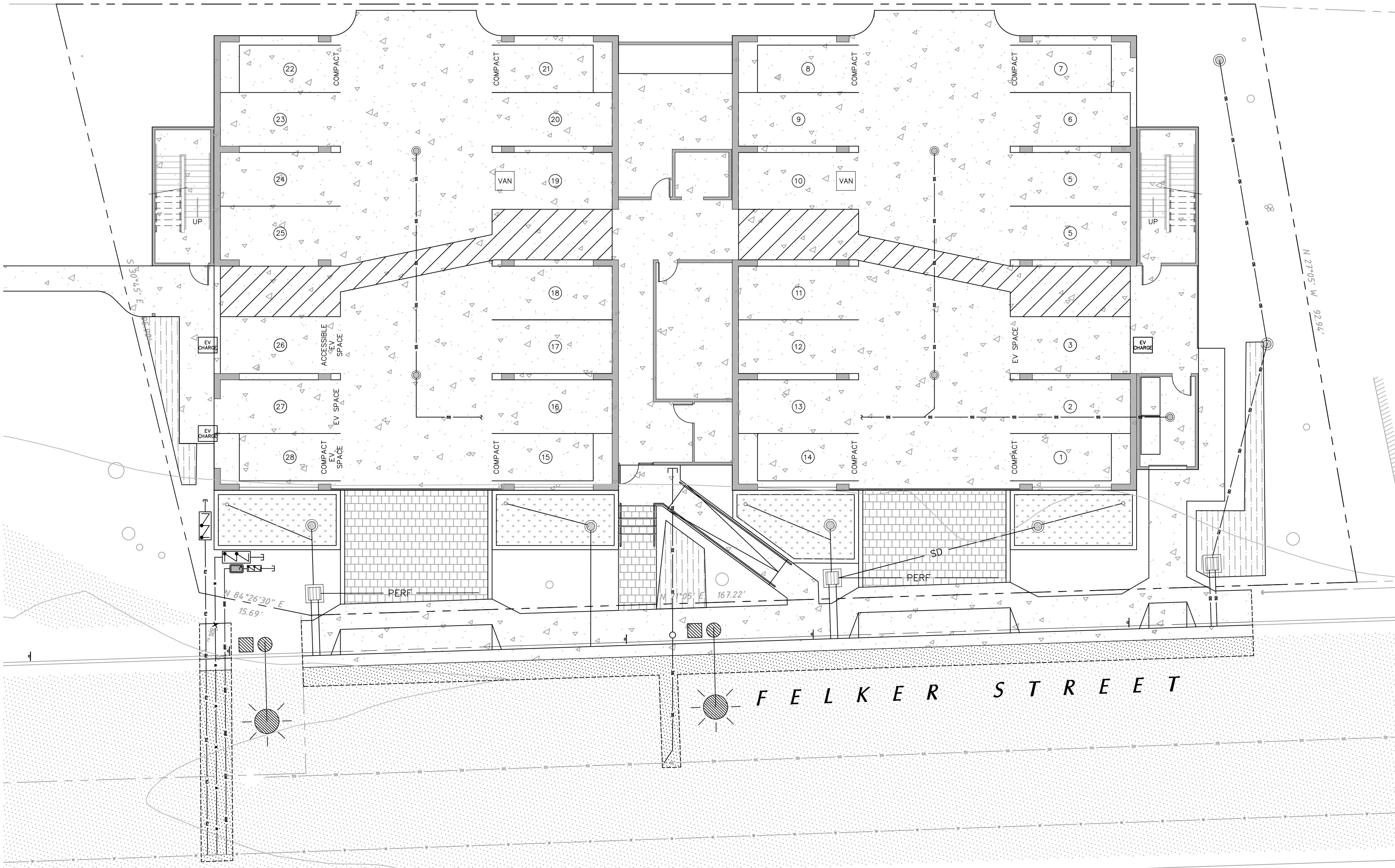
C2G/CIVIL CONSULTANTS GROUP, INC.
4444 SCOTTS VALLEY DRIVE STE. 6
SCOTTS VALLEY, CA 95066
OFFICE: 831.438.4420

SURVEYOR:

ALPHA SURVEY
4444 SCOTTS VALLEY DRIVE, STE 6
SCOTTS VALLEY, CA 95066
OFFICE: 831.438.4453

CIVIL SHEET INDEX

C0.1 - COVER SHEET
C0.2 - CONDITIONS OF APPROVAL
C1.1 - EXISTING SITE/DEMOLITION PLAN
C2.1 - SITE IMPROVEMENT PLAN
C3.1 - UTILITY PLAN
C4.1 - GRADING AND DRAINAGE PLAN
C5.1 - STORM WATER MANAGEMENT PLAN
C6.1 - EROSION CONTROL PLAN
C6.2 - EROSION CONTROL DETAILS
C7.1 - CONSTRUCTION DETAILS
C7.2 - CONSTRUCTION DETAILS
C100 - OFFSITE DEMOLITION AND
IMPROVEMENT PLAN
C200 - OFFSITE CONSTRUCTION DETAILS
C201 - OFFSITE CONSTRUCTION DETAILS



SITE MAP
SCALE: 1"=10'

CONTRACTOR RESPONSIBILITY

CONTRACTOR AGREES THAT HE SHOULD ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, AND THAT REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED DURING WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE DESIGN PROFESSIONALS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

DISCREPANCIES

IF THERE ARE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS WHICH WILL AFFECT THE WORK, THE CONTRACTOR SHALL BRING SUCH DISCREPANCIES TO THE DESIGN PROFESSIONAL FOR ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF ALL WORK AND FOR THE COORDINATION OF ALL TRADES, SUBCONTRACTORS, AND PERSONS ENGAGED UPON THIS CONTRACT.

EROSION CONTROL NOTE

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND MAINTAIN EROSION CONTROL MEASURES AS REQUIRED THROUGHOUT THE LIFE OF THE PROJECT IN CONFORMANCE WITH THE CITY OF SCOTTS VALLEY AND THE ASSOCIATION OF BAY AREA GOVERNMENTS
- CONTRACTOR TO PROVIDE BACK-UP EROSION PREVENTION MEASURES (SOIL STABILIZATION) WITH SEDIMENT CONTROL MEASURES SUCH AS STRAW WATTLES, SILT FENCE, GRAVEL INLET FILTERS, AND/OR SEDIMENT TRAPS OR BASINS. ENSURE CONTROL MEASURES ARE ADEQUATE, IN PLACE, AND IN OPERABLE CONDITIONS. SEDIMENT CONTROLS, INCLUDING INLET PROTECTION, ARE NECESSARY BUT SHOULD BE A SECONDARY DEFENSE BEHIND GOOD EROSION CONTROL MEASURES.
- ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED THROUGHOUT THE SEASON. REPLACEMENT SUPPLIES SHOULD BE KEPT ON SITE.
- SITE INSPECTIONS SHALL BE CONDUCTED BEFORE AND AFTER EACH STORM EVENT, AND EVERY 24 HOURS FOR EXTENDED STORM EVENTS. TO IDENTIFY AREAS THAT CONTRIBUTE TO EROSION AND SEDIMENT PROBLEMS OR ANY OTHER POLLUTANT DISCHARGES. IF ADDITIONAL MEASURES ARE NEEDED, REVISE THE EROSION CONTROL PLAN AND IMPLEMENT THE MEASURES IMMEDIATELY. DOCUMENT ALL INSPECTION FINDINGS AND ACTIONS TAKEN.
- CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION FOR CONTROL OF STORM WATER RUNOFF (E.G. GRAVEL BAGS AT CATCH BASIN INLETS).

UNDERGROUND NOTES

- STORMDRAIN PIPE SHALL BE SDR-26 P.V.C., A.D.S. N-12 SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE OR APPROVED SUBSTITUTE, OR AS NOTED ON PLAN. ALL DRAINAGE PIPE SHALL BE SHIPPED, STORED, AND INSTALLED PER THE PIPE MANUFACTURER'S RECOMMENDATIONS.
- ALL CONCRETE DRAINAGE INLETS CALLED OUT ON THE PLANS SHALL BE CHRISTY BRAND PRECAST CONCRETE OR EQUIVALENT. ALL STRUCTURES SHALL BE STORED, HANDLED, AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. ALL GRATES IN PAVEMENT AREAS SHALL BE ADA COMPLIANT.
- ALL CONCRETE DRAINAGE INLETS CALLED OUT ON THE PLANS SHALL HAVE A HEAVY RATED FRAME WITH A ADA COMPLIANT GRATE. CATCH BASINS THAT HAVE SILT AND GREASE TRAPS SHALL BE INCLUDED IN THE PROJECT MONITORING AND MAINTENANCE PLAN.
- SANITARY SEWER TRENCH BACKFILL SHALL CONFORM TO CITY OF SANTA CRUZ SEWER PIPE TRENCH DETAIL.
- JETTING OF BACKFILL MATERIALS TO ACHIEVE COMPACTION IS NOT ALLOWED.
- ALL THE WATER PIPING SHALL BE AWWA CLASS 150 OR APPROVED EQUAL, ALL VALVES, ANGLES, AND THRUST BLOCKS SHALL BE INSTALLED PER CURRENT CPC SPECIFICATIONS.
- ALL FIRE SERVICE PIPING AND APPURTENANCES SHALL CONFORM TO NFPA STANDARDS AND SPECIFICATIONS
- ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE.

UNAUTHORIZED CHANGES AND USES

CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THE PLANS

THE WITHIN PLANS ARE COPYRIGHTED AS AN UNPUBLISHED WORK BY C2G/CIVIL CONSULTANTS GROUP, INC. ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY, AND THE PROPERTY OF C2G/CIVIL CONSULTANTS GROUP, INC. AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF C2G/CIVIL CONSULTANTS GROUP, INC.
©2020 TODD R. CREAMER, D.B.A. AS C2G/CIVIL CONSULTANTS GROUP, INC.

CONSTRUCTION SURVEYING / STAKING

CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL SURVEYING AND OR STAKING BY A LICENSED SURVEYOR FOR ALL CONSTRUCTION PURPOSES.

NOTE:

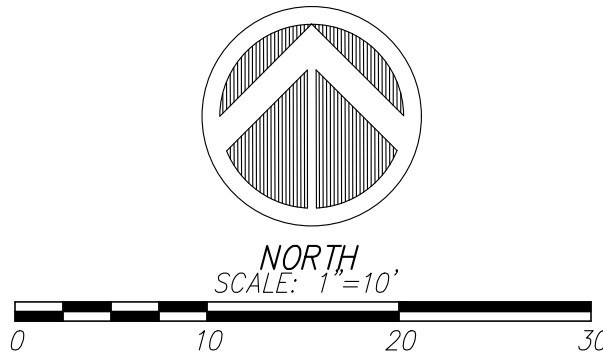
CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS. CALL USA (800) 227-2600. CONTRACTOR TO NOTIFY ENGINEER OF ANY APPARENT CONFLICTS FOR RESOLUTION PRIOR TO START OF CONSTRUCTION.

GENERAL NOTES

- NO CHANGE TO THE PLANS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL BY THE OWNER OR OWNERS REPRESENTATIVES AND THE CITY OF SCOTT'S VALLEY.
- CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS AND INVERTS OF EXISTING UTILITY PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY OWNER OR OWNERS REPRESENTATIVES OF VARIANCE FROM THOSE SHOWN ON THE PLANS.
- UNDERGROUND FACILITIES AND UTILITIES HAVE BEEN SHOWN BASED ON RECORD DRAWINGS AND VISIBLE EVIDENCE FOUND IN FIELD. NO WARRANTY IS MADE REGARDING THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. PRIOR TO CONSTRUCTION, DETERMINE THE EXACT LOCATION OF UNDERGROUND FACILITIES AND UTILITIES, AND PRESERVE SAME FROM DAMAGE. PRIOR TO CONSTRUCTION, VERIFY LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AT THE CROSSING POINTS WITH PROPOSED UTILITIES. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNERS REPRESENTATIVES IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE DRAWINGS AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITION HAS BEEN EVALUATED. CONTACT UNDERGROUND SERVICES ALERT (USA) (1-800-227-2600) TWO (2) WORKING DAYS PRIOR TO DIGGING. REPAIR UNDERGROUND UTILITIES DAMAGED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES ASSOCIATED WITH CONTRACTOR'S FAILURE TO EXACTLY LOCATED AND PRESERVE UNDERGROUND FACILITIES AND UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH THE APPROPRIATE UTILITY COMPANIES AND/OR AGENCIES TO VERIFY THE EXISTENCE AND/OR LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK. AND SHALL NOTIFY U.S.A. @ (800) 227-2600 AT LEAST 48-HOURS IN ADVANCE OF EXCAVATION.
- IF ANY INDICATIONS OF ARCHEOLOGICAL REMAINS ARE ENCOUNTERED DURING GRADING ACTIVITIES FOR ANY DEVELOPMENT WITHIN THE PROJECT SITE, ALL WORK SHALL BE HALTED WITHIN 200 FOOT RADIUS OF THE FIND. OWNER SHALL RETAIN A QUALIFIED ARCHEOLOGIST RETAINED TO DETERMINE THE NATURE OF THE DISCOVERY AND RECOMMEND APPROPRIATE EVALUATION PROCEDURES.



VICINITY MAP
USE QR SCANNER



REVISIONS	BY

COVER

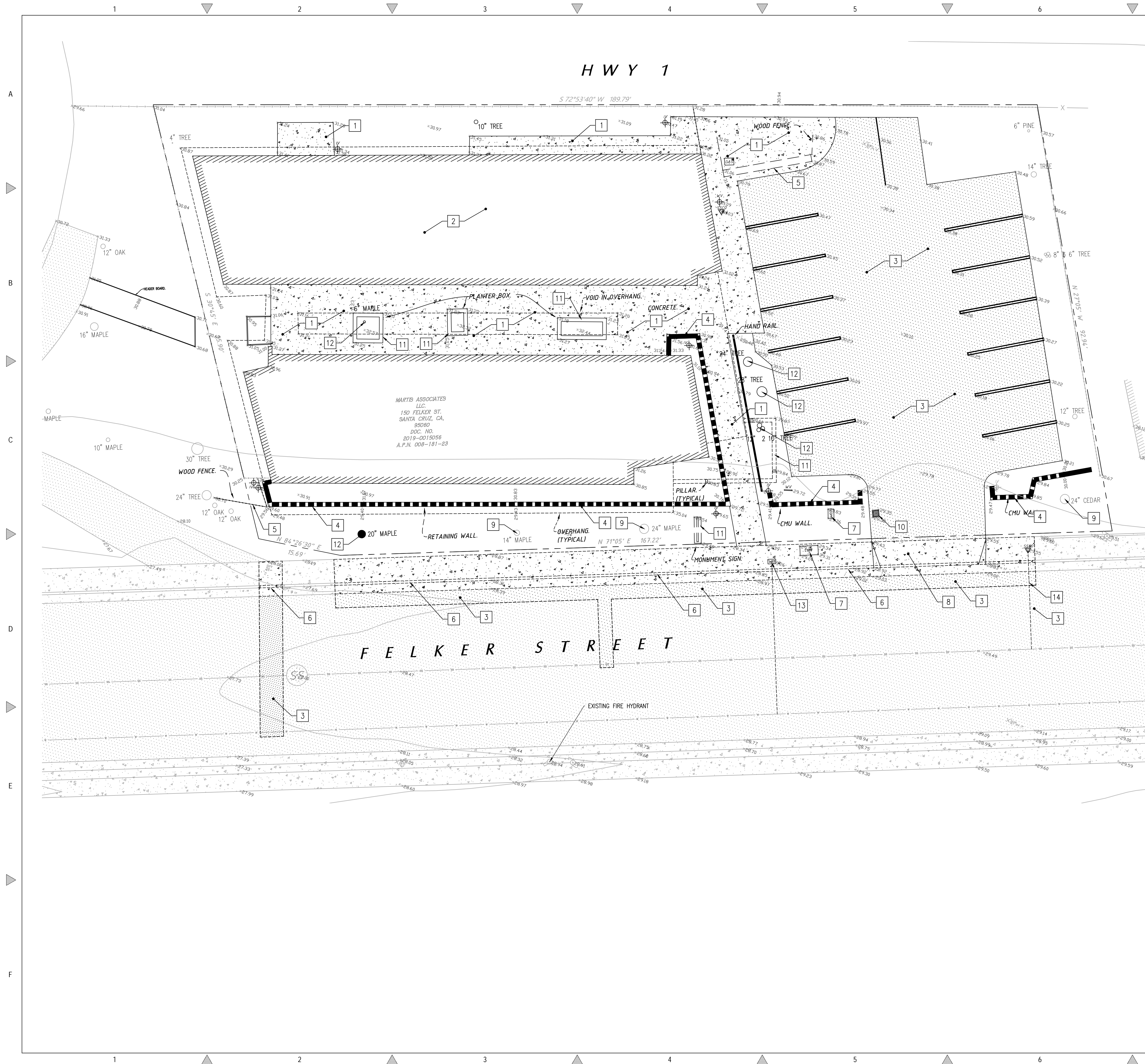
REGISTERED PROFESSIONAL ENGINEER
TODD R. CREAMER
No. C 64561
Exp. 6/30/23
CIVIL
STATE OF CALIFORNIA

C2G / CIVIL CONSULTANTS GROUP, INC.
Engineers/Planners
4444 Scotts Valley Drive / Suite 6
Scotts Valley, CA 95066
831.438.4420

SITE IMPROVEMENT PLANS
150 FELKER STREET
SANTA CRUZ, CALIFORNIA 95060

Date: 11.05.2021
Scale: 1" = 10'
Drawn: JB/DD
Job: 2013.01
Sheet: **C0.1**
of 10 Sheets

Drawing: Z:\Drawings\2013\01 - 150 Felker Street\Design\2013\01 - C0.1 - COVER.dwg
Layout: C0.1 - COVER
Last Saved: Tue May 10, 2022 - 7:12am
Last Plotted: Fri Jun 17, 2022 - 12:38pm
By: Dore







GENERAL NOTES

1. ALL EXISTING IRRIGATION LINES FOUND WITHIN AREAS OF IMPROVEMENT WILL NEED TO BE REMOVED AND RELOCATED.
2. ALL UTILITY VAULTS (NOT NOTED OTHERWISE) FOUND WITHIN AREAS OF IMPROVEMENT WILL NEED TO BE ADJUSTED TO MATCH PROPOSED FINISH SURFACE ELEVATIONS.
3. TREES NOT SHOWN FOR DEMOLITION ON THIS SHEET SHALL BE PROTECTED IN ACCORDANCE WITH THE PROJECT ARBORIST REPORT.

☒ DEMOLITION KEY NOTES

- 1 REMOVE EXISTING CONCRETE
- 2 REMOVE EXISTING BUILDING
- 3 SAWCUT/REMOVE EXISTING AC
- 4 REMOVE EXISTING WALL
- 5 REMOVE EXISTING FENCE
- 6 REMOVE EXISTING CURB AND GUTTER
- 7 REMOVE AND RELOCATE EXISTING ELECTRICAL BOX
- 8 REMOVE EXISTING DRIVEWAY
- 9 PROTECT EXISTING TREE
- 10 REMOVE EXISTING DRAINAGE STRUCTURE
- 11 REMOVE EXISTING MISCELLANEOUS STRUCTURES
- 12 REMOVE EXISTING TREE
- 13 CUT AND CAP EXISTING WATER SERVICE AT THE MAIN AND REMOVE EXISTING WATER METER
- 14 APPROXIMATE EXISTING SEWER LATERAL LOCATION - ABANDON EXISTING SEWER LATERAL CONNECTION(S) AT THE CITY MAIN BY METHOD OF MECHANICAL PLUG OR FRACTURE CAP

LEGEND:

	EXISTING AC TO REMAIN		EXISTING CONCRETE TO REMAIN
	EXISTING AC TO BE REMOVED		EXISTING CONCRETE TO BE REMOVED

DEMOLITION & SITE PREPARATION NOTES:

THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF REMOVING ANY EXISTING SITE FEATURES AND APPURTENANCES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO DETERMINE EXCAVATION, DEMOLITION AND TO DETERMINE THE LOCATION OF THE PROPOSED SITE IMPROVEMENTS.

THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS REMOVED OFF SITE AT NO ADDITIONAL COST.

UNLESS SPECIFICALLY NOTED TO BE SAVED / STOCKPILED (R&S) OR REUSED / RELOCATED (R&R), ALL SITE FEATURES CALLED FOR REMOVAL SHALL BE REMOVED WITH THEIR FOOTINGS, ATTACHMENTS, BASE MATERIAL, ETC, TRANSPORTED FROM THE SITE TO BE DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE AND AT NO COST TO THE OWNER.

ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST.

DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN, OUTSIDE THE LIMITS OF GRADING AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUBGRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.

IT SHALL BE THE CONTRACTOR'S OPTION, WITH CONCURRENCE OF THE OWNER, TO REUSE EXISTING GRAVEL IF IT MEETS THE REQUIREMENTS OF THE SPECIFICATIONS FOR GRAVEL BORROW.

ALL ITEMS CALLED FOR REMOVAL SHALL BE REMOVED TO FULL DEPTH INCLUDING ALL FOOTINGS, FOUNDATIONS, AND OTHER APPURTENANCES, EXCEPT AS SPECIFICALLY NOTED OTHERWISE.

'CLEAR AND GRUB VEGETATION' SHALL INCLUDE REMOVAL OF GRASS, SHRUBS, AND UNDERBRUSH, REMOVAL OF ROOTS, ROUGH GRADING, INSTALLATION OF LOAM (IF APPLICABLE), FINE GRADING, SEEDING AND TURF ESTABLISHMENT BY THE CONTRACTOR.

TREES DESIGNATED FOR REMOVAL SHALL BE TAGGED BY CONTRACTOR AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

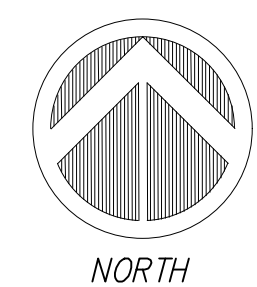
THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY OWNER OR OWNER'S REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

STRIP & STORE EXISTING TOPSOIL FOR LATER REUSE WHERE APPROPRIATE, AND AS NOTED ON PLAN, WITH APPROPRIATE EROSION AND SEDIMENT CONTROLS.

LOAM / TOP SOIL DESIGNATED FOR REUSE AS GENERAL FILL SHALL BE BLENDED WITH SUITABLE BORROW MATERIAL AS SPECIFIED.

THE CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, CONTRACTOR SHALL INSTALL TREE PROTECTION BARRIER AFTER CLEARING UNDERBRUSH AND TAKE DUE CARE TO PREVENT INJURY TO TREES DURING CLEARING OPERATIONS.

DESCRIPTION	AREA (SQ. FT.)	AREA (ACRES)
BUILDINGS	5,569	0.128
ASPHALT DRWY	4,404	0.101
CONCRETE PATIO/WALK	2,443	0.056
TOTAL IMPERVIOUS AREA	12416	0.285
TOTAL LOT AREA	17,436	0.400
IMPERVIOUS % OF TOTAL LOT	71.2%	




NORTH

SCALE: 1"=10'

REVISIONS	BY

EXISTING SITE AND DEMOLITION PLAN



C2G / CIVIL CONSULTANTS GROUP, INC.
Engineers/Planners
 4444 Scotts Valley Drive / Suite 6
 Scotts Valley, CA 95066

SITE IMPROVEMENT PLANS
150 FELKER STREET
SANTA CRUZ, CALIFORNIA 95060

Date: 11.05.2021

Scale: $1'' = 10'$

Drawn: JB/DD

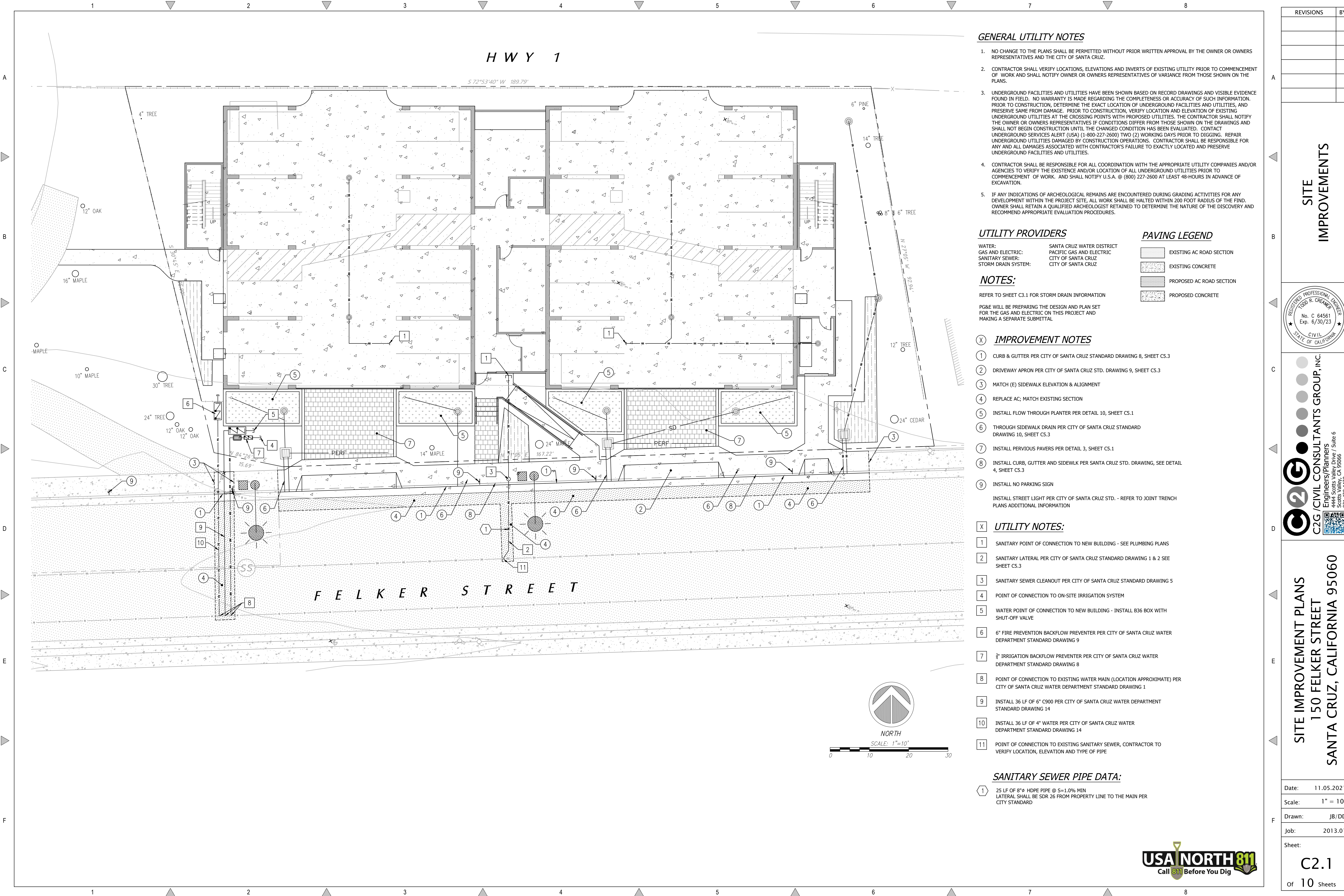
Job: 2013.01

Sheet:

C1.1

Of 10 Sheets

Drawing: Z:\Shared\CAD\2013.01 - 150 Felker Street\Design\CAD\Sheet\2013.01 - C1.1 - DEMO.dwg Layout: C1.1 - EX SITE - DEMO Last Saved: Wed Jun 08, 2022 - 4:16pm



GENERAL UTILITY NOTES

- 1. NO CHANGE TO THE PLANS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL BY THE OWNER OR OWNERS REPRESENTATIVES AND THE CITY OF SANTA CRUZ.
- 2. CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS AND INVERTS OF EXISTING UTILITY PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY OWNER OR OWNERS REPRESENTATIVES OF VARIANCE FROM THOSE SHOWN ON THE PLANS.
- 3. UNDERGROUND FACILITIES AND UTILITIES HAVE BEEN SHOWN BASED ON RECORD DRAWINGS AND VISIBLE EVIDENCE FOUND IN FIELD. NO WARRANTY IS MADE REGARDING THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. PRIOR TO CONSTRUCTION, DETERMINE THE EXACT LOCATION OF UNDERGROUND FACILITIES AND UTILITIES, AND PRESERVE SAME FROM DAMAGE. PRIOR TO CONSTRUCTION, VERIFY LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AT THE CROSSING POINTS WITH PROPOSED UTILITIES. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNERS REPRESENTATIVES IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE DRAWINGS AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITION HAS BEEN EVALUATED. CONTACT UNDERGROUND SERVICES ALERT (USA) (1-800-227-2600) TWO (2) WORKING DAYS PRIOR TO DIGGING. REPAIR UNDERGROUND UTILITIES DAMAGED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES ASSOCIATED WITH CONTRACTOR'S FAILURE TO EXACTLY LOCATED AND PRESERVE UNDERGROUND FACILITIES AND UTILITIES.
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH THE APPROPRIATE UTILITY COMPANIES AND/OR AGENCIES TO VERIFY THE EXISTENCE AND/OR LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK. AND SHALL NOTIFY U.S.A. @ (800) 227-2600 AT LEAST 48-HOURS IN ADVANCE OF EXCAVATION.
- 5. IF ANY INDICATIONS OF ARCHEOLOGICAL REMAINS ARE ENCOUNTERED DURING GRADING ACTIVITIES FOR ANY DEVELOPMENT WITHIN THE PROJECT SITE, ALL WORK SHALL BE HALTED WITHIN 200 FOOT RADIUS OF THE FIND. OWNER SHALL RETAIN A QUALIFIED ARCHEOLOGIST RETAINED TO DETERMINE THE NATURE OF THE DISCOVERY AND RECOMMEND APPROPRIATE EVALUATION PROCEDURES.

UTILITY PROVIDERS

WATER: SANTA CRUZ WATER DISTRICT
GAS AND ELECTRIC: PACIFIC GAS AND ELECTRIC
SANITARY SEWER: CITY OF SANTA CRUZ
STORM DRAIN SYSTEM: CITY OF SANTA CRUZ

PAVING LEGEND

- EXISTING AC ROAD SECTION
- EXISTING CONCRETE
- PROPOSED AC ROAD SECTION
- PROPOSED CONCRETE

NOTES:

REFER TO SHEET C3.1 FOR STORM DRAIN INFORMATION

PG&E WILL BE PREPARING THE DESIGN AND PLAN SET FOR THE GAS AND ELECTRIC ON THIS PROJECT AND MAKING A SEPARATE SUBMITTAL

IMPROVEMENT NOTES

- 1. CURB & GUTTER PER CITY OF SANTA CRUZ STANDARD DRAWING 8, SHEET C5.3
- 2. DRIVEWAY APRON PER CITY OF SANTA CRUZ STD. DRAWING 9, SHEET C5.3
- 3. MATCH (E) SIDEWALK ELEVATION & ALIGNMENT
- 4. REPLACE AC; MATCH EXISTING SECTION
- 5. INSTALL FLOW THROUGH PLANTER PER DETAIL 10, SHEET C5.1
- 6. THROUGH SIDEWALK DRAIN PER CITY OF SANTA CRUZ STANDARD DRAWING 10, SHEET C5.3
- 7. INSTALL PERVIOUS PAVERS PER DETAIL 3, SHEET C5.1
- 8. INSTALL CURB, GUTTER AND SIDEWALK PER SANTA CRUZ STD. DRAWING, SEE DETAIL 4, SHEET C5.3
- 9. INSTALL NO PARKING SIGN

INSTALL STREET LIGHT PER CITY OF SANTA CRUZ STD. - REFER TO JOINT TRENCH PLANS ADDITIONAL INFORMATION

UTILITY NOTES:

- 1. SANITARY POINT OF CONNECTION TO NEW BUILDING - SEE PLUMBING PLANS
- 2. SANITARY LATERAL PER CITY OF SANTA CRUZ STANDARD DRAWING 1 & 2 SEE SHEET C5.3
- 3. SANITARY SEWER CLEANOUT PER CITY OF SANTA CRUZ STANDARD DRAWING 5
- 4. POINT OF CONNECTION TO ON-SITE IRRIGATION SYSTEM
- 5. WATER POINT OF CONNECTION TO NEW BUILDING - INSTALL B36 BOX WITH SHUT-OFF VALVE
- 6. 6" FIRE PREVENTION BACKFLOW PREVENTER PER CITY OF SANTA CRUZ WATER DEPARTMENT STANDARD DRAWING 9
- 7. 3/4" IRRIGATION BACKFLOW PREVENTER PER CITY OF SANTA CRUZ WATER DEPARTMENT STANDARD DRAWING 8
- 8. POINT OF CONNECTION TO EXISTING WATER MAIN (LOCATION APPROXIMATE) PER CITY OF SANTA CRUZ WATER DEPARTMENT STANDARD DRAWING 1
- 9. INSTALL 36 LF OF 6" C900 PER CITY OF SANTA CRUZ WATER DEPARTMENT STANDARD DRAWING 14
- 10. INSTALL 36 LF OF 4" WATER PER CITY OF SANTA CRUZ WATER DEPARTMENT STANDARD DRAWING 14
- 11. POINT OF CONNECTION TO EXISTING SANITARY SEWER, CONTRACTOR TO VERIFY LOCATION, ELEVATION AND TYPE OF PIPE

SANITARY SEWER PIPE DATA:

- 1. 25 LF OF 8" HDPE PIPE @ S=1.0% MIN LATERAL SHALL BE SDR 26 FROM PROPERTY LINE TO THE MAIN PER CITY STANDARD

REVISIONS

BY

SITE IMPROVEMENT PLANS

150 FELKER STREET

SANTA CRUZ, CALIFORNIA 95060

USA NORTH 811

Call 811 Before You Dig

Date:

11.05.2021

Scale:

1" = 10'

Drawn:

JB/DD

Job:

2013.01

Sheet:

C2.1

Of

10

Sheets

REGISTERED PROFESSIONAL ENGINEER

NO. C 64561

EXP. 6/30/23

CIVIL

STATE OF CALIFORNIA

C2G / CIVIL CONSULTANTS GROUP, INC.

Engineers/Planners

4444 Scotts Valley Drive / Suite 6

Scotts Valley, CA 95066

831.438.4420

East Street: Fri Jun 17, 2021 - 12:35pm

Layout: C2.1 - SITE IMP

Drawn: JB/DD

H W Y 1

GENERAL GRADING NOTES

- ALL AREAS TO RECEIVE FILL SHALL BE STRIPPED TO A DEPTH TO BE DETERMINED BY THE SOILS ENGINEER. ANY (E) A.C. OR P.C.C. PAVING SHALL BE SCARIFIED & REMOVED & SUBGRADE PREPARED & COMPACTED AS SHOWN IN THESE PLANS.
- ALL MATERIAL TO BE USED AS FILL WITHIN BUILDING PAD AREAS & PARKING OR DRIVEWAY AREAS TO BE FREE OF ALL VEGETATION & FOREIGN MATTER AND SHALL BE APPROVED BY THE SOILS ENGINEER.
- ALL BUILDING PADS TO BE COMPACTED TO 95% RELATIVE COMPACTION; DRIVEWAY & STREET AREAS TO BE COMPACTED TO 95% RELATIVE COMPACTION PER ASTM D1557-91.
- BUILDING PADS TO BE LEVEL SIDE-TO-SIDE, FRONT-TO-REAR, UNLESS OTHERWISE SHOWN.
- STRIPPINGS MAY BE PLACED IN PLANTING AREAS; ALL EXCESS STRIPPING SHALL BE HAULED OFF. PAVING DEBRIS SHALL BE HAULED OFF TO AN APPROVED DISPOSAL SITE.
- ALL WORK SHOWN OR NOTED IN THESE PLANS SHALL BE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER, ALL LOCAL, STATE AND FEDERAL MINIMUM STANDARDS AND THE LATEST ADDITION OF THE UNIFORM BUILDING CODE.
- CONTRACTOR SHALL PROTECT ALL EXISTING SITE IMPROVEMENTS NOT IDENTIFIED FOR REMOVAL DURING CONSTRUCTION AND SHALL REPAIR ANY DAMAGE TO NEW CONDITION AT THEIR EXPENSE.
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, SITE DIMENSIONS AND GRADES PRIOR TO THE START OF CONSTRUCTION.
- ALL GRADING AND RELATED WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD REQUIREMENTS OF THE CITY OF SANTA CRUZ AND THE PROJECT'S CONDITIONS OF APPROVAL.
- GRADING SLOPES FOR BOTH CUT AND FILL SHALL NOT EXCEED 2(H):1(V) UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER
- ALL SOFTSCAPE GRADES ADJACENT TO (N) BUILDINGS SHALL BE 8" (MIN.) BELOW FINISH FLOOR.
- CONTRACTOR SHALL GRADE TO ENSURE DRAINAGE FLOWS AWAY FROM NEW BUILDINGS

ABBREVIATIONS

AB AGGREGATE BASE
AC ASPHALT CONCRETE
B/ BOTTOM OF ...
BLDG BUILDING
BS BOTTOM OF STAIR
BW BACK OF WALK
CONC CONCRETE
DWY DRIVEWAY
EC EDGE OF CONCRETE
EP EDGE OF PAVEMENT
EL ELEVATION
FF FINISH FLOOR
FL FLOWLINE
G GROUND
HP HIGH POINT
INV INVERT ELEVATION
LP LOW POINT
NG NATURAL GROUND
P.O.T. PATH OF TRAVEL
PL PROPERTY LINE
PVR PERVIOUS PAVR

SD STORM DRAIN
SDAD STORM DRAIN AREA
DRAIN
SDDI STORM DRAIN DROP
INLET
SDMH STORM DRAIN
MANHOLE
T/ TOP OF ...
TG TOP OF GRATE
TS TOP OF STAIR
TW TOP OF WALL
UG UNDERGROUND
W/ WITH

LEGEND

● STORM DRAIN AREA DRAIN
■ STORM DRAIN DROP INLET
T POINT OF CONNECTION
○ SANITARY SEWER CLEAN OUT

STORM DRAIN NOTES:

- CURB DRAIN PER CITY OF SANTA CRUZ STD DRAWING 10
- V64 DROP INLET WITH OPEN BOTTOM
- 10" AREA DRAIN

STORM DRAIN PIPE DATA:

- 45 LF OF 4" PERF PIPE @ 0.0% SLOPE
- 7 LF OF 6" HDPE PIPE @ 1.0% SLOPE
- 30 LF OF 6" HDPE PIPE @ 1.0% SLOPE
- 38 LF OF 6" HDPE PIPE @ 1.0% SLOPE

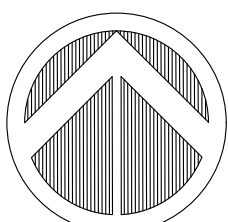
EARTHWORK QUANTITIES

NOTE: THE EARTHWORK QUANTITIES SHOWN HEREON ARE EXCLUSIVE OF WALL FOOTINGS, EXISTING PAVEMENT REMOVAL AND OVER EXCAVATION AND RECOMPACTION, UTILITY TRENCH SPOILS & SOIL EXPANSION AND CONTRACTION FACTORS.

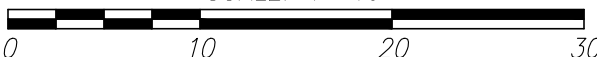
ITEM	DESCRIPTION	CUT (cu.yds)	FILL (cu.yds)
1	EG VS. FG	60	375

NET VOLUME =
315 CU.YDS. OF FILL

THE ABOVE QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE NECESSARY CUT AND FILL TO ACCOMPLISH FINISH GRADE SHOWN ON THESE PLANS.



SCALE: 1"=10'



REVISIONS	BY

GRADING
AND
DRAINAGE

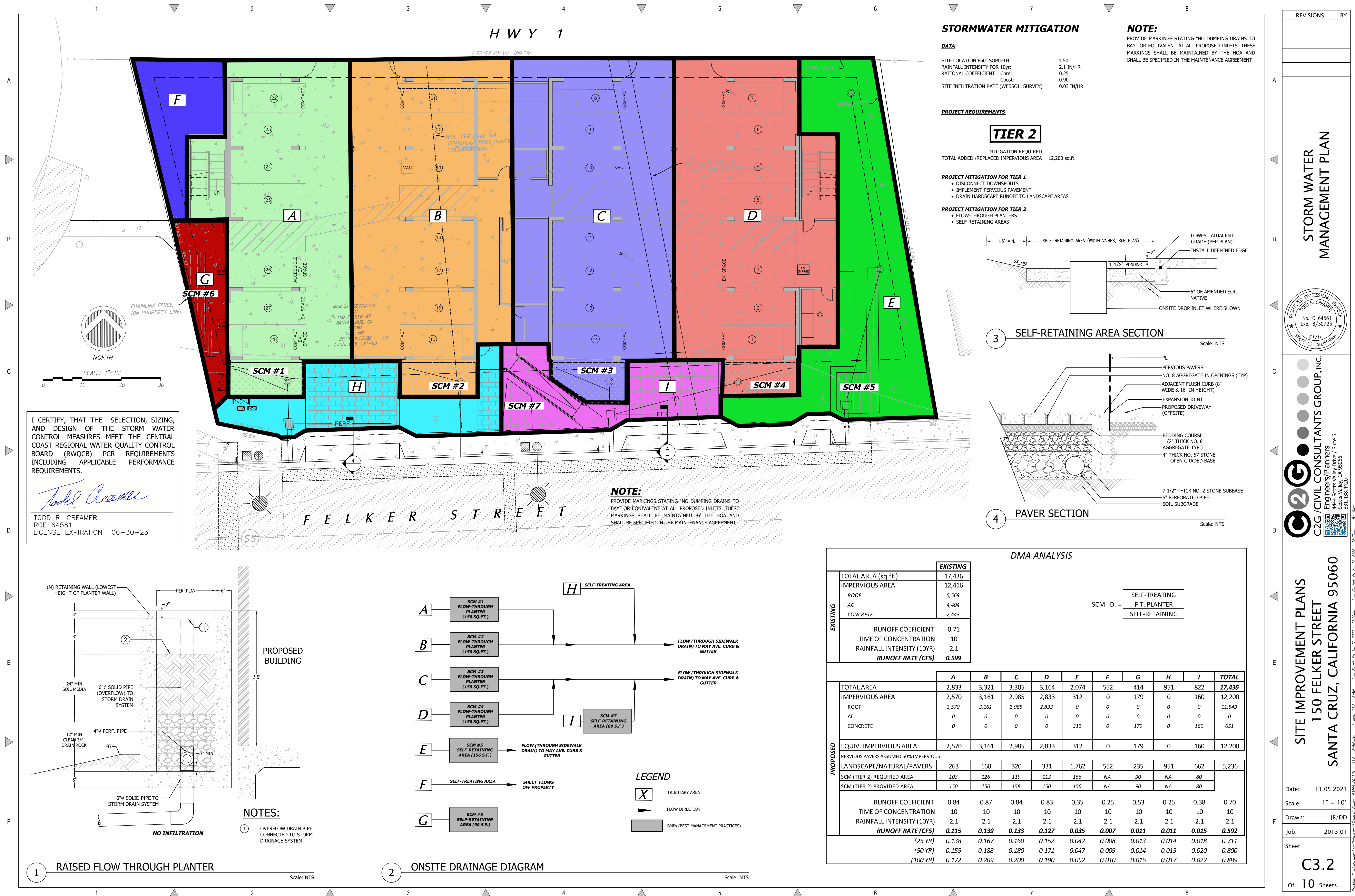


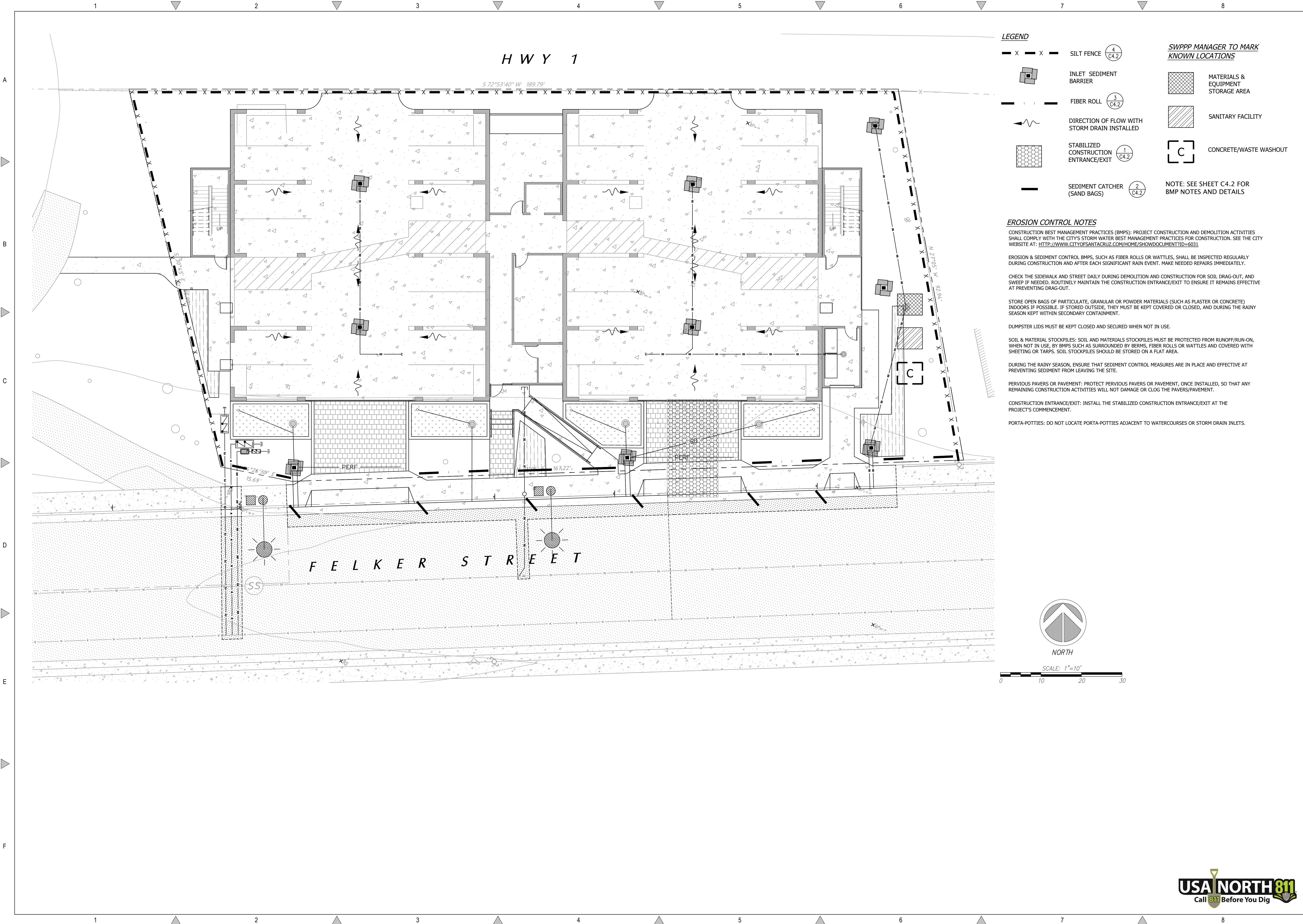
SITE IMPROVEMENT PLANS
150 FELKER STREET
SANTA CRUZ, CALIFORNIA 95060

Date: 11.05.2021
Scale: 1" = 10'
Drawn: JB/DD
Job: 2013.01
Sheet:

C3.1

Of 10 Sheets





LEGEND

	SILT FENCE		INLET SEDIMENT BARRIER
	FIBER ROLL		MATERIALS & EQUIPMENT STORAGE AREA
	DIRECTION OF FLOW WITH STORM DRAIN INSTALLED		SANITARY FACILITY
	STABILIZED CONSTRUCTION ENTRANCE/EXIT		CONCRETE/WASTE WASHOUT
	SEDIMENT CATCHER (SAND BAGS)	NOTE: SEE SHEET C4.2 FOR BMP NOTES AND DETAILS	

EROSION CONTROL NOTES

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs): PROJECT CONSTRUCTION AND DEMOLITION ACTIVITIES SHALL COMPLY WITH THE CITY'S STORM WATER BEST MANAGEMENT PRACTICES FOR CONSTRUCTION. SEE THE CITY WEBSITE AT: [HTTP://WWW.CITYOFSANTACRUZ.COM/HOME/SHOWDOCUMENT?ID=6031](http://www.cityofsantacruz.com/home/showdocument?id=6031)

EROSION & SEDIMENT CONTROL BMPs, SUCH AS FIBER ROLLS OR WATTLES, SHALL BE INSPECTED REGULARLY DURING CONSTRUCTION AND AFTER EACH SIGNIFICANT RAIN EVENT. MAKE NEEDED REPAIRS IMMEDIATELY.

CHECK THE SIDEWALK AND STREET DAILY DURING DEMOLITION AND CONSTRUCTION FOR SOIL DRAG-OUT, AND SWEEP IF NEEDED. ROUTINELY MAINTAIN THE CONSTRUCTION ENTRANCE/EXIT TO ENSURE IT REMAINS EFFECTIVE AT PREVENTING DRAG-OUT.

STORE OPEN BAGS OF PARTICULATE, GRANULAR OR POWDER MATERIALS (SUCH AS PLASTER OR CONCRETE) Indoors IF POSSIBLE. IF STORED OUTSIDE, THEY MUST BE KEPT COVERED OR CLOSED, AND DURING THE RAINY SEASON KEPT WITHIN SECONDARY CONTAINMENT.

DUMPSTER LIDS MUST BE KEPT CLOSED AND SECURED WHEN NOT IN USE.

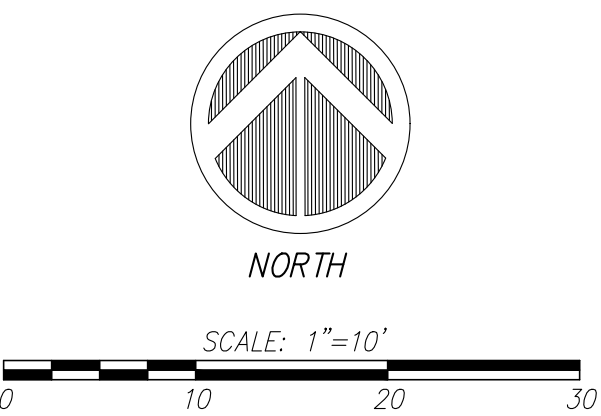
SOIL & MATERIAL STOCKPILES: SOIL AND MATERIALS STOCKPILES MUST BE PROTECTED FROM RUNOFF/RUN-ON, WHEN NOT IN USE, BY BMPs SUCH AS SURROUNDED BY BERMS, FIBER ROLLS OR WATTLES AND COVERED WITH SHEETING OR TARPS. SOIL STOCKPILES SHOULD BE STORED ON A FLAT AREA.

DURING THE RAINY SEASON, ENSURE THAT SEDIMENT CONTROL MEASURES ARE IN PLACE AND EFFECTIVE AT PREVENTING SEDIMENT FROM LEAVING THE SITE.

PERVIOUS PAVERS OR PAVEMENT: PROTECT PERVIOUS PAVERS OR PAVEMENT, ONCE INSTALLED, SO THAT ANY REMAINING CONSTRUCTION ACTIVITIES WILL NOT DAMAGE OR CLOG THE PAVERS/PAVEMENT.

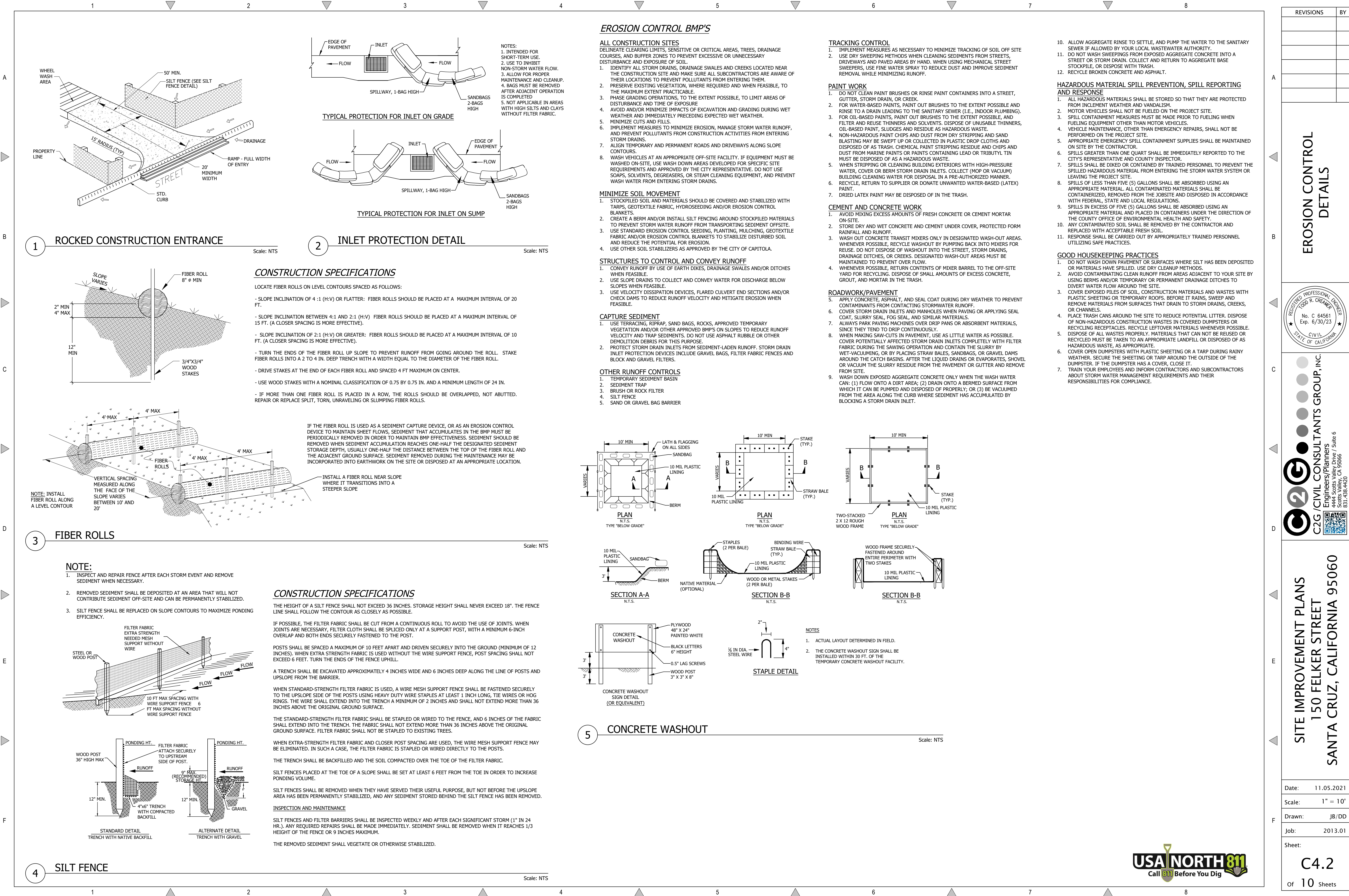
CONSTRUCTION ENTRANCE/EXIT: INSTALL THE STABILIZED CONSTRUCTION ENTRANCE/EXIT AT THE PROJECT'S COMMENCEMENT.

PORTA-POTTIES: DO NOT LOCATE PORTA-POTTIES ADJACENT TO WATERCOURSES OR STORM DRAIN INLETS.



REVISIONS	BY
EROSION CONTROL PLAN	
SITE IMPROVEMENT PLANS 150 FELKER STREET SANTA CRUZ, CALIFORNIA 95060	
Date:	11.05.2021
Scale:	1" = 10'
Drawn:	JB/DD
Job:	2013.01
Sheet:	C4.1
Of 10 Sheets	

USA NORTH 811
Call 811 Before You Dig



REVISIONS	BY

EROSION CONTROL
DETAILS

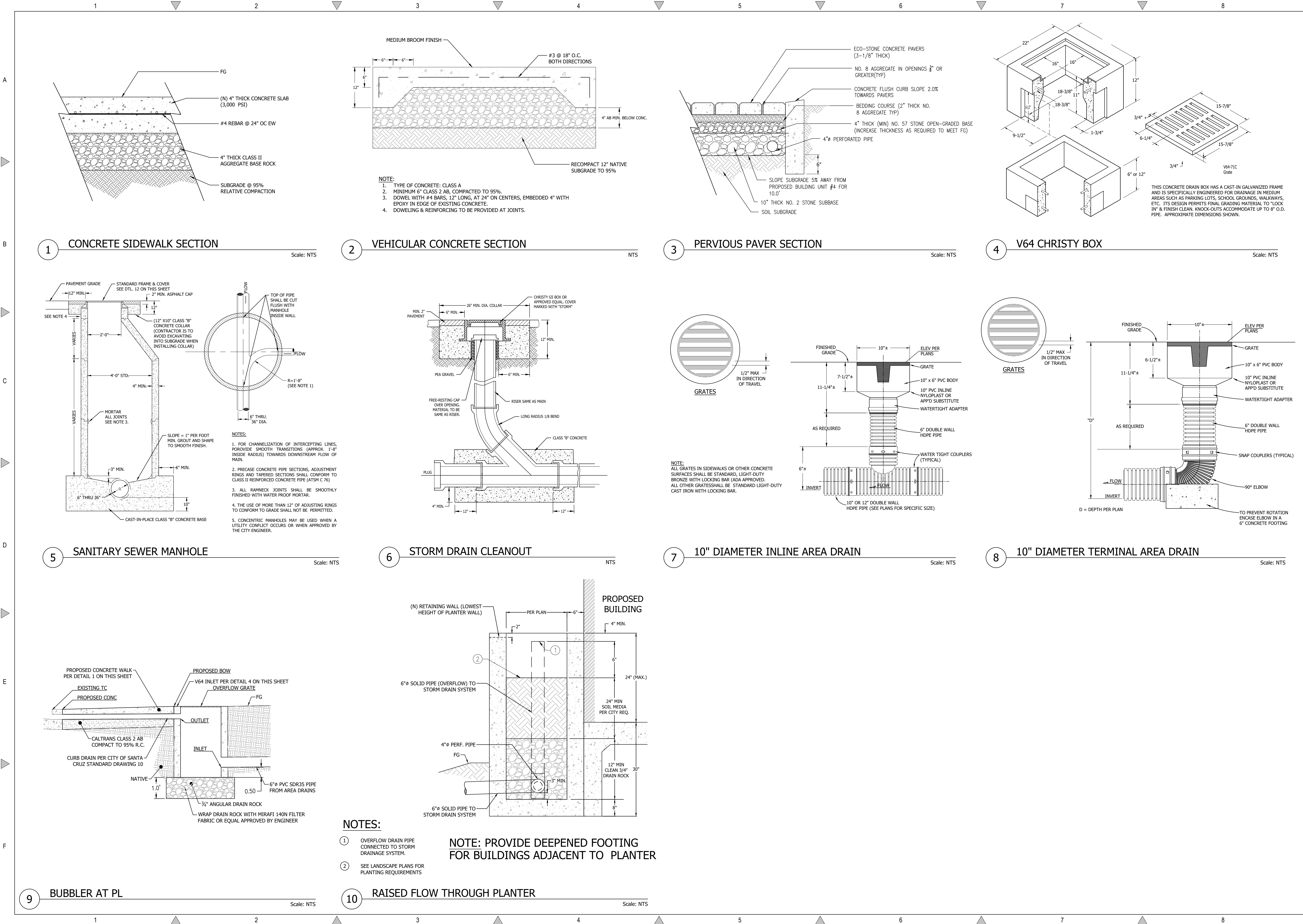


C2G / CIVIL CONSULTANTS GROUP, INC.
Engineers/Planners
4444 Scots Valley Drive / Suite 6
Scots Valley, CA 95066
831.439.4420

SITE IMPROVEMENT PLANS
150 FELKER STREET
SANTA CRUZ, CALIFORNIA 95060

Date:	11.05.2021
Scale:	1" = 10'
Drawn:	JB/DD
Job:	2013.01
Sheet:	





REVISIONS	BY

CONSTRUCTION
DETAILS



C2G / CIVIL CONSULTANTS GROUP, INC.
Engineers/Planners
4444 Scots Valley Drive / Suite 6
Scots Valley, CA 95066
831.438.4420

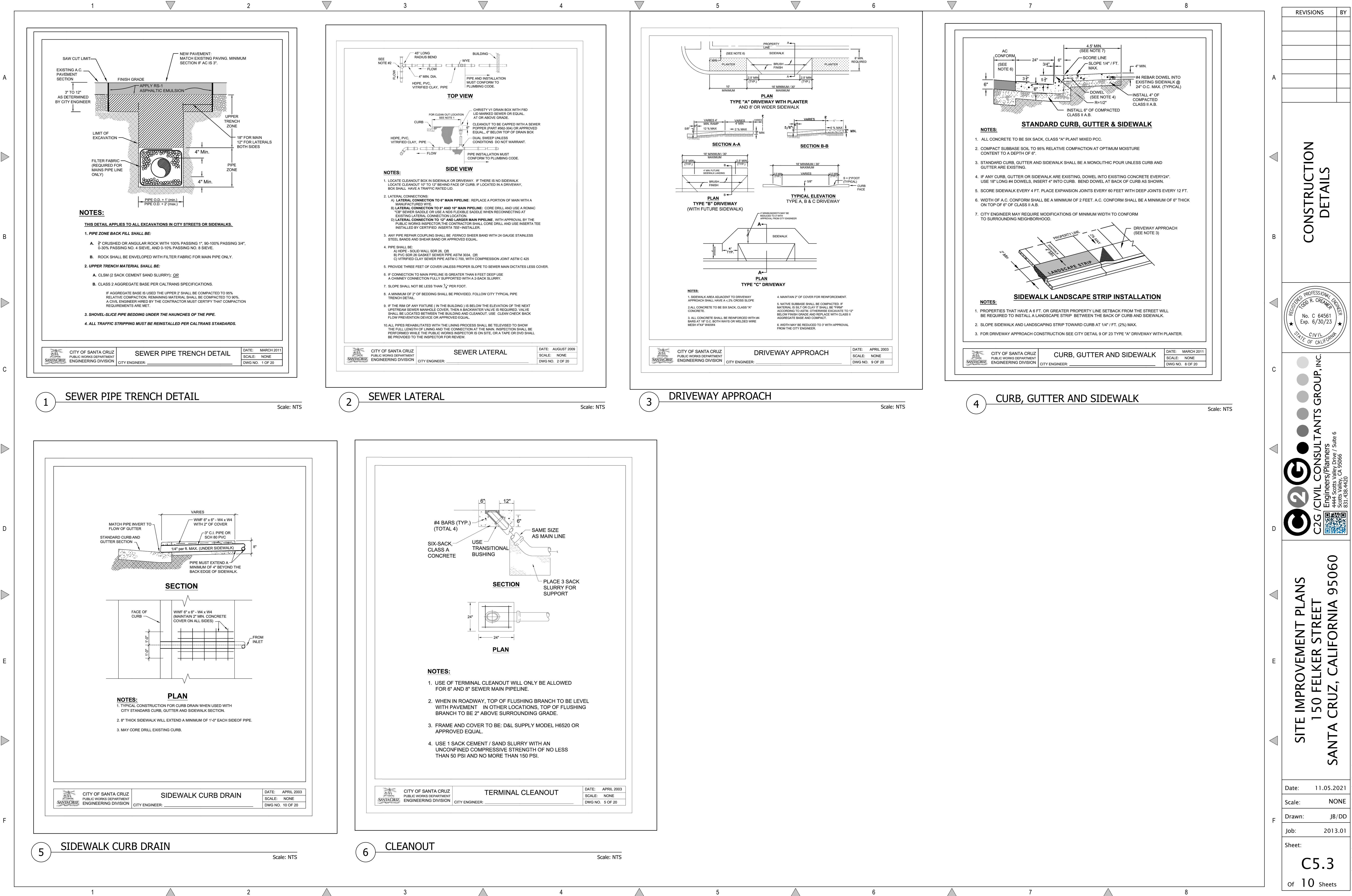
2

SITE IMPROVEMENT PLANS
150 FELKER STREET
SANTA CRUZ, CALIFORNIA 95060

Date:	11.05.2021
Scale:	NONE
Drawn:	JB/DD
Job:	2013.01
Sheet:	

C5.1
Of 10 Sheets





REVISIONS

BY

CONSTRUCTION DETAILS

REGISTERED PROFESSIONAL ENGINEER

FOR THE STATE OF CALIFORNIA

No. C 64561

Exp. 8/30/23

C2G / CIVIL CONSULTANTS GROUP, INC.

Engineers/Planners

4444 Scotts Valley Drive / Suite 6

Scotts Valley, CA 95066

831.438.4420

SITE IMPROVEMENT PLANS

150 FELKER STREET

SANTA CRUZ, CALIFORNIA 95060

Date:

11.05.2021

Scale:

NONE

Drawn:

JB/DD

Job:

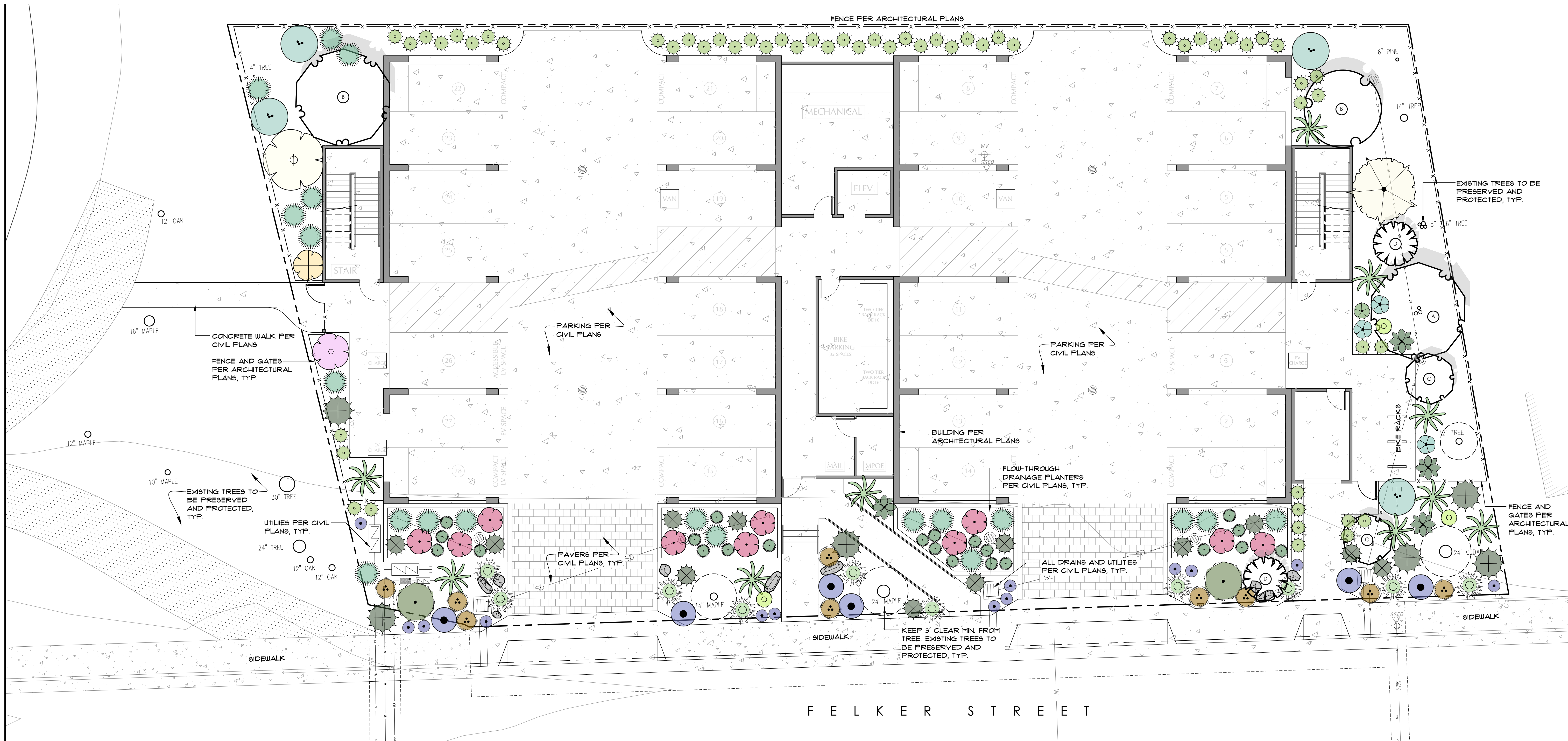
2013.01

Sheet:

C5.3

Of 10 Sheets

Drawing: Z:\Drawings\CAD\2013\01 - 150 Felker Street\Design\CAD Sheets\2013.01 - C5.3 - DETAILS.dwg Layout: C5.3 - DETAILS Last Saved: Mon Mar 17, 2020 - 12:38pm By: Jone



PLANTING LEGEND

TREES					SHRUBS AND PERENNIALS				
BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS
ACER JAPONICUM 'ACONITIFOLIUM' / FERNLEAF FULL-MOON MAPLE	5 GAL	2	10' x 1' M		PENSTEMON HETEROPHYLLUS x 'MARGARITA BOY' / PENSTEMON	1 GAL	13	2' x 2' L	
ACER PALMATUM 'AOTAGI' / AOTAGI JAPANESE MAPLE	15 GAL	2	15' x 8' M		PITIOSPORUM TENUIFOLIUM 'SILVER MAGIC' / SILVER MAGIC KOUHUI	5 GAL	1	10' x 8' M	
ACER PALMATUM VAR. ATROPURPUREUM 'BLOODGOOD' / BLOODGOOD JAPANESE MAPLE	15 GAL	2	15' x 15' M		PRUNUS LAUROCERASUS 'OTTO LUYKEN' / ENGLISH LAUREL	1 GAL	4	3' x 6' L	
ACER PALMATUM 'WOLFF' / EMPEROR JAPANESE MAPLE	15 GAL	1	12' x 12' M		ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY	1 GAL	5	18" x 4' L	
ABUTILON 'ALBUS' / WHITE FLOWERING MAPLE	5 GAL	1	10' x 10' M		SALVIA SPATHACEA / HUMMINGBIRD SAGE	1 GAL	11	2' x 3' L	
ABUTILON 'CAPELLA' / YELLOW FLOWERING MAPLE	1 GAL	1	1' x 5' M		VIBURNUM OPULUS 'STERILE' / EASTERN SNOWBALL	5 GAL	1	12' x 10' M	
ABUTILON 'ROSALE' / FLOWERING MAPLE	1 GAL	1	8' x 8' M		WOODWARDIA FIMBRIATA / GIANT CHAIN FERN	1 GAL	5	4' x 4' M	
ACACIA COGNATA 'COUSIN ITT' / COUSIN ITT ACACIA	1 GAL	10	2.5' x 5' L		ANEMANTHESS LESSONIANA / NEW ZEALAND WIND GRASS	1 GAL	10	3' x 3' L	
ARALIA CORDATA 'SUN KING' / GOLDEN JAPANESE SPIKENARD	1 GAL	5	2.5' x 2.5' M		CAREX DIVULSA / BERKELEY SEDGE	1 GAL	16	1.5' x 1.5' L	
ASPIDISTRA ELATOR / CAST IRON PLANT	1 GAL	60	2' x 2' M		CHONDROPETALUM ELEPHANTINUM / LARGE CAPE RUSH	5 GAL	6	4' x 5' L	
CYRTOMIUM FALCATUM 'ROCHFORDIANUM' / JAPANESE HOLLY FERN	1 GAL	3	2' x 3' M		CHONDROPETALUM TECTORIUM / CAPE RUSH	1 GAL	12	2' x 3' L	
FATSIA JAPONICA / JAPANESE ARALIA	1 GAL	10	6' x 6' M		MUHLENBERGIA RIGENS / DEERGRASS	1 GAL	18	4' x 4' L	
HOSTA x 'HALCYON' / HALCYON HOSTA	1 GAL	3	18" x 3' M						
HOSTA x 'PATRIOT' / PATRIOT HOSTA	1 GAL	1	18" x 2' M						
HOSTA x 'WIDE BRIM' / WIDE BRIM HOSTA	1 GAL	1	1.5' x 2' M						

WUCOLS WATER USE CLASSIFICATION			
H - HIGH WATER USE	L - LOW WATER USE	M - MODERATE WATER USE	VL - VERY LOW WATER USE

PLANTING NOTES

- TOTAL PLANTED AREA = 2,300 SF
- SOIL TO BE TESTED BY ACCREDITED SOIL TESTING LABORATORY. CONTRACTOR SHALL THOROUGHLY INCORPORATE SOIL ADDITIVES AND FERTILIZERS IN ALL PLANTING AND TURF AREAS AT RATES AND DEPTHS RECOMMENDED BY SOILS LAB. SOIL ADDITIVES SHALL BE THOROUGHLY MIXED INTO EXISTING SOILS IN PLANTING PITS ONLY. ALL SOIL SHALL BE CLEAR OF DEBRIS AND CONSTRUCTION SPILLS.
- SOIL SHALL BE TILLED TO A DEPTH OF 6" AND AMENDED WITH 6 CY OF ORGANIC MATERIAL PER 1,000 SF TO PROMOTE INFILTRATION AND WATER RETENTION.
- ALL PLANTING AND EXPOSED SOIL AREAS ON SITE TO RECEIVE A 3" THICK LAYER OF BARK MULCH EQUAL TO REDWOOD, FIR, CEDAR, OR A COMBINATION OF THESE. THE COMPOSITION OF THE MULCH SHALL BE A MIX OF SHREDDED BARK, WOOD AND SAWDUST, 0-4". NO GORILLA HAIR SHALL BE USED.
- ALL PLANT MATERIAL IN FLOW-THROUGH PLANTERS PER CENTRAL CALIFORNIA COAST, TECHNICAL ASSISTANCE MEMO (TAM) LID PLANT GUIDANCE FOR BIORETENTION. SOIL MIXTURE PER CIVIL PLANS. MULCH LAYER TO BE 1" THICK AND PRODUCT PER NOTE #5.
- THE INSTALLED LANDSCAPE SHALL BE MAINTAINED FREE OF INVASIVE PLANTS.

PRELIMINARY IRRIGATION NOTES

- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- ALL NEW TREES TO RECEIVE TWO (2) TREE BUBBLERS TO BE EQUAL TO: HUNTER RZWS-18-50-CV (0.5 GPM) TREE ROOT BUBBLERS 18" DEEP
- ALL NEW PERENNIALS AND SHRUBS TO RECEIVE DRIP (POINT-SOURCE) EMITTERS EQUAL TO: HUNTER HE-B SINGLE OUTLET WITH SCREEN
- WHERE NEW VALVES ARE NECESSARY, DRIP VALVES SHOULD BE EQUAL TO HUNTER ICZ-101 - BELOW GRADE IN VALVE BOXES FOUR IN ONE VALVE BOX.
- CONTRACTOR SHALL USE EXTREME CARE WHERE IT IS NECESSARY TO TRENCH NEAR EXISTING TREES. EXCAVATION IN AREAS EXHIBITING ROOTS 2" AND LARGER SHALL BE DONE BY HAND. ROOTS 1" OR LARGER IN DIAMETER DAMAGED IN CONSTRUCTION SHALL BE CLEANLY CUT AND NOT LEFT IN A RAGGED CONDITION. TREE ROOTS SHALL BE COVERED WITH WET BURLAP WHILE EXPOSED.
- NO POTABLE WATER SHALL BE APPLIED DURING AND WITHIN 48 HOURS FOLLOWING MEASURABLE RAINFALL
- IRRIGATION SYSTEM SHALL BE INSPECTED REGULARLY FOR LEAKS, MISALIGNED HEADS AND BAD VALVES. BROKEN EQUIPMENT SHALL BE REPAIRED PROMPTLY WITH IDENTICAL OR EQUIVALENT EQUIPMENT, AND WATERING SCHEDULES SHALL BE ADJUSTED TO REFLECT VARIATIONS IN WATER NEED BASED ON SEASON OR PLANT MATURITY.
- LOCATE EQUIPMENT IN NEAREST ADJACENT PLANTERS AS FEASIBLE AND INDICATE EXACT LOCATION ON RECORD DRAWINGS.

WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANCE
UPON BUILDING DEPARTMENT SUBMITTAL, THE PLANTING AND IRRIGATION PLANS SHALL COMPLY WITH THE COUNTY OF SANTA CRUZ WATER EFFICIENT LANDSCAPE ORDINANCE, CHAPTER 13.13.

mbLA
megan bishop
LANDSCAPE ARCHITECTURE
po box 328 aptos, ca 95001
(831) 818-9227
www.mb-landarch.com

LICENSED LANDSCAPE ARCHITECT
MEGAN BLENCOWE BISHOP
No. 5706
Exp. 4/11/24
STATE OF CALIFORNIA

THIS SHEET TO BE PRINTED AT 24" X 36"

NEW APARTMENT BUILDING

150 FELKER STREET
SANTA CRUZ, CA 95060

NORTH

SCALE: 1/8" = 1'-0"

PLAN REVISIONS

DATE	03/24/2022
JOB	2117

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L1.0