



AERIAL VIEW

VICINITY MAP



PROJECT DESCRIPTION

The project site is located at 119 Coral Street, bounded by River Street, Highway 1, SCBT&P Railroad, and Seaberg Metal Fabricators at 125 Coral Street. The proposed project would construct 120 supportive SRO units and one manager's unit in 4-stories of factory-built modular wood construction over one level of site-built concrete construction. The ground level provides on-site management and support offices, a common room with kitchen, and a laundry room. Additional resident support facilities include the Recuperative Care Center and a behavioral health clinic.

180 SANTA CRUZ - PERMANENT SUPPORTIVE HOUSING ENTITLEMENT SET

PROJECT TEAM

OWNER
New Way Homes
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T. 831.419.4091
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sibley@newwayhomes.org

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OPERATOR/SITE OWNER
Housing Matters
115 Coral Street
Santa Cruz, CA 95060

DEVELOPER
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CIVIL ENGINEER
C2G/Civil Consultants Group, Inc.
4444 Scotts Valley Drive, Suite 6
Scotts Valley, CA 95066
T 831.438.4420
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todd@c2gengrs.com

SITE INFORMATION

APN: 008-171-31
Address: 119 Coral St., Santa Cruz, CA 95060
Existing Use: Homeless Shelters & Services
Lot Area: 33,672 SF (0.77 acres)

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PROJECT INFORMATION

CONSTRUCTION TYPE

4 STORIES OF V/A OVER 1 STORY OF I/A

GROSS FLOOR AREA

FLOOR	AREA
LEVEL 1	10,442 SF
LEVEL 2	12,143 SF
LEVEL 3	12,143 SF
LEVEL 4	12,143 SF
LEVEL 5	9,941 SF

TOTAL: 56,812 SF

UNIT MIX AND COUNT

UNIT TYPE	DIMENSIONS	NET AREA	COUNT
STUDIO A/A2:	~25'-0" X 11'-10"	263-277 SF	121

PARKING

CAR		BICYCLE	
STANDARD	21	CLASS I	64
COMPACT	7	CLASS II	20
ADA	2		
TOTAL:	30	TOTAL:	84

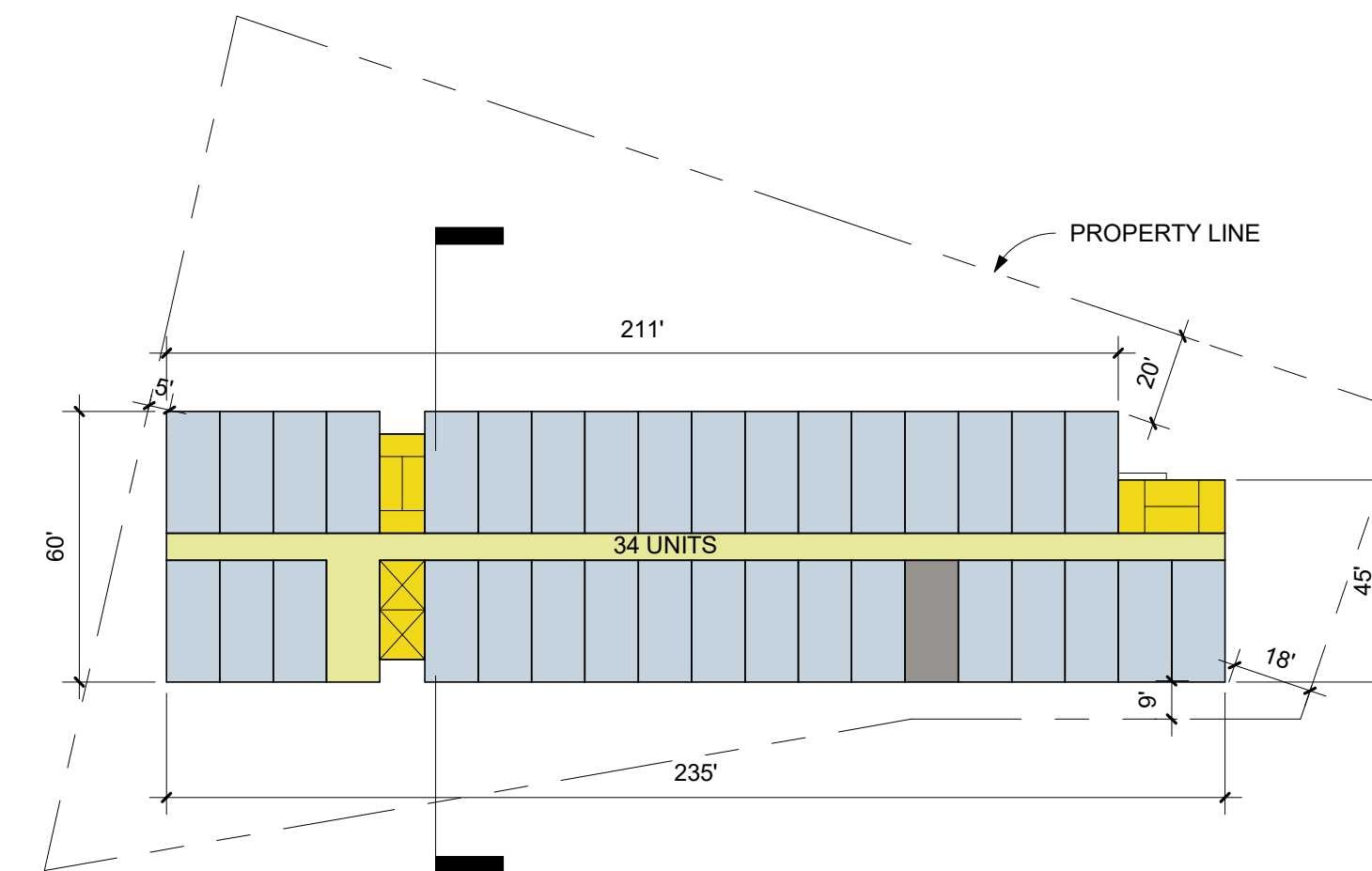
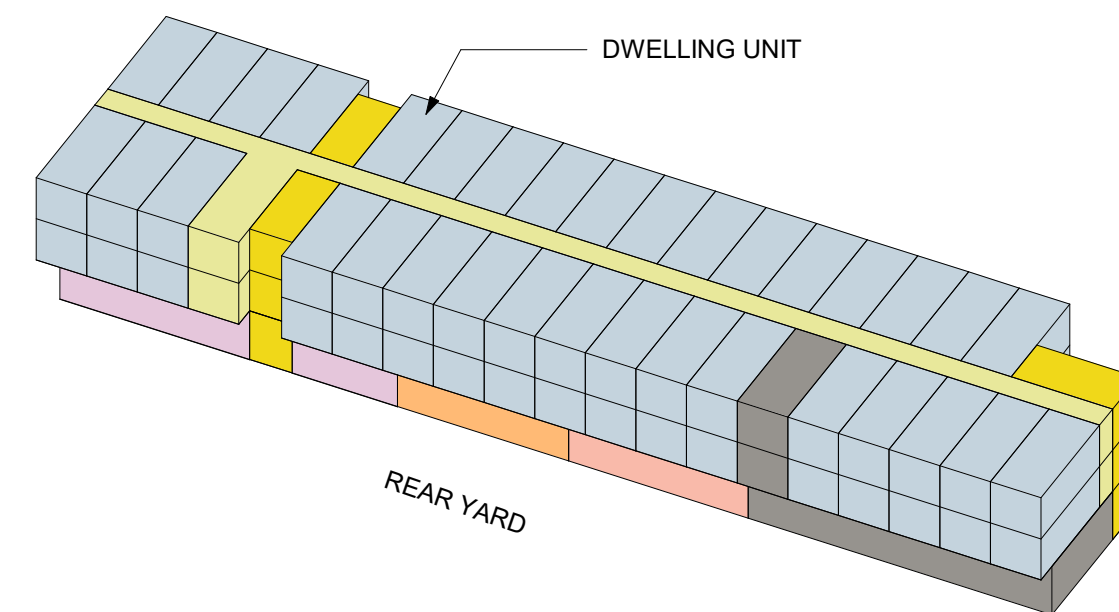
180 Santa Cruz - Permanent Supportive Housing

PROJECT INFORMATION

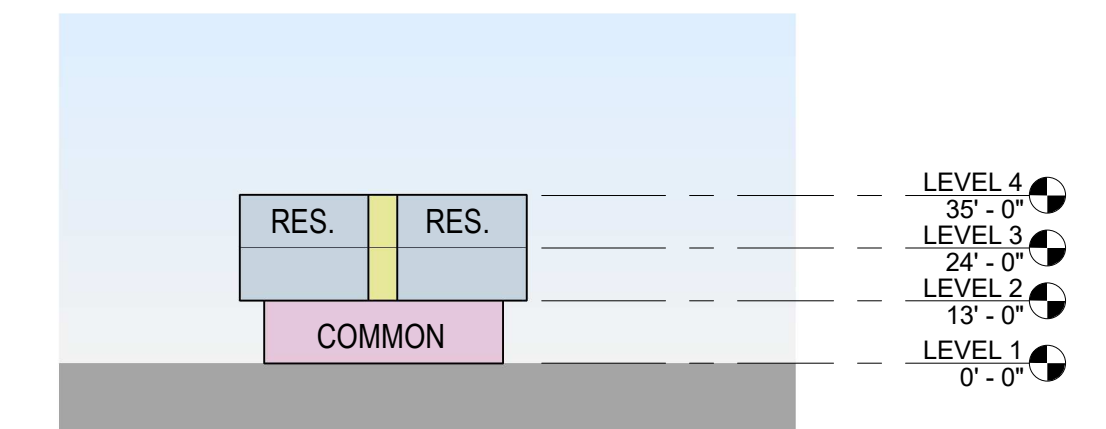
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BASE CASE - CODE COMPLIANT

HEIGHT
MAX. 3 STORIES & 40 FT HT PER SEC. 24.10.750
BASE CASE SF (LEVEL 2 + LEVEL 3) = 27,260 SF



BASE CASE PLAN (LEVEL 2-3)



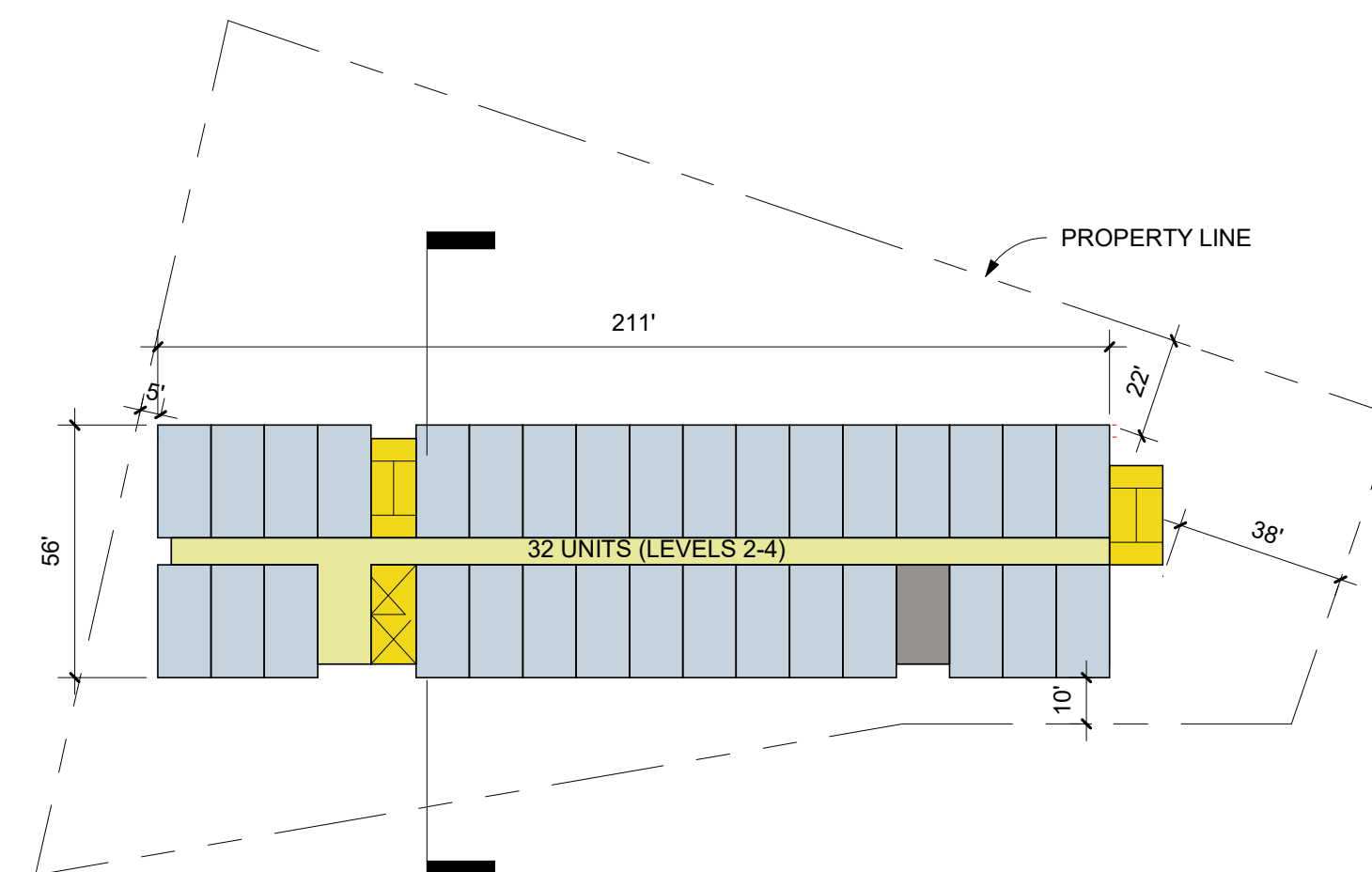
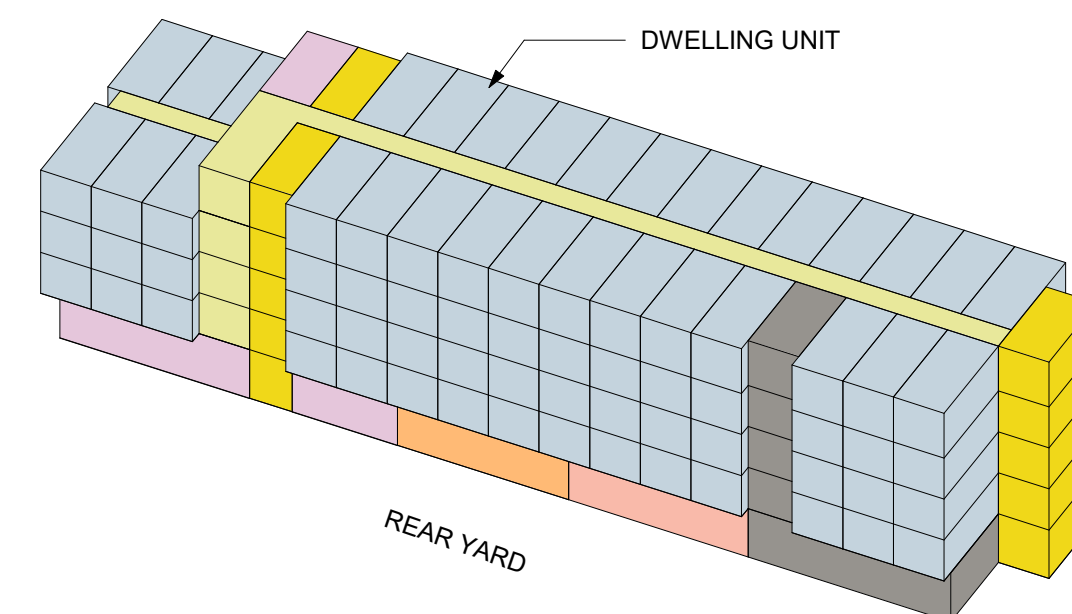
BASE CASE SECTION

PROPOSED BONUS (AB 1763)

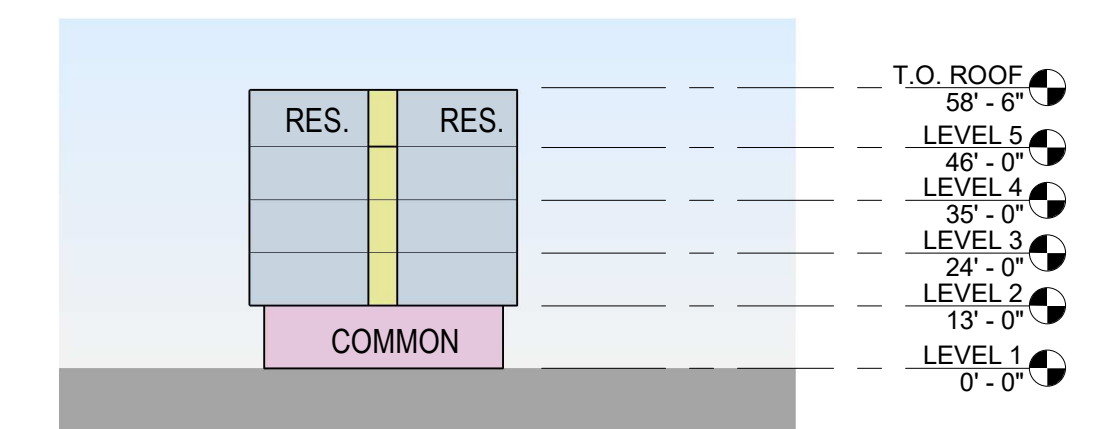
- 80% DENSITY BONUS FOR AN 100% AFFORDABLE HOUSING DEVELOPMENT
- NO MINIMUM RESIDENTIAL VEHICLE PARKING REQUIREMENT FOR SUPPORTIVE HOUSING DEVELOPMENT WITH RENTAL UNITS

80% SF INCREASE ABOVE BASE
BASE CASE SF = 27,260 SF
27,260 SF x 0.8 = 21,808 SF
27,260 SF + 21,808 SF = 49,068 SF
MAXIMUM DENSITY = 49,068 SF

PROVIDED 46,370 SF (LEVELS 2-5)



PROPOSED PLAN (LEVELS 2-4)

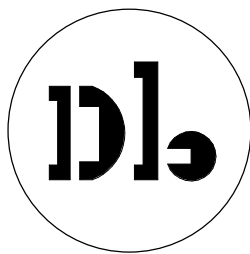


PROPOSED SECTION

SITE

ITEM	REQUIREMENT	SECTION	PROPOSED	STATUS
Land Use District	C-C Community Commercial.	24.10.730	Mixed residential and commercial/office development, with ten or more multiple dwellings or condominiums, either above commercial uses or units on the same lot 121 SRO Units above non-residential ground floor	complying
	Single-room occupancy (SRO) - housing sixteen units or more SRO permitted with conditional use permit	24.10.730		complying
Height	Santa Cruz Municipal Code: Max. 3 stories & 40 ft height	24.10.750	Maximum Proposed Height = 58' 6" ft	Concession #1 (see G.10)
	AB 1763: Density bonus of 80% to be provided to a developer who agrees to construct a housing development in which 100% of the total units, exclusive of managers' units, are for lower income households.	AB 1763		
Lot Area	Min. 5000 sf (commercial/residential) and 8000 sf (mixed use)	24.10.750	33,672 sf	complying
Setbacks - Front Yard - Rear Yard	0'	24.10.750	22' - 0" Minimum	complying
	0'	24.10.750	7' - 0" Minimum	complying
Open Space	SRO projects shall have at least 10 sf of common usable open space per unit however no SRO project shall provide less than 200 sf of common outdoor open space and 200 sf of common indoor open space . 121 SRO Units x 10 sf = 1210 sf with min. 200 sf common outdoor & 200 sf common indoor	24.12.1030	9463 sf common usable outdoor open space 914 sf common usable indoor open space	complying (see G.12)
Parking	AB 1763 eliminates minimum vehicular parking requirement for a development that consists solely of rental units, exclusive of a manager's unit or units, with an affordable housing cost to lower income families and is either a special needs housing development or a supportive housing development. The City code applied to the non-residential and staff uses generates a minimum parking requirement of 22 spaces.	AB 1763	30 Spaces	complying
Bicycle Parking	1 Class I Space/DU x121 = 121 C I spaces req. / .25 spaces/DU Class II Spaces x 121 = 30 CII spaces required	24.12.250	64 (53%) Class I + 20 Class II	Concession #2
Unit Size	The net area of a SRO unit may range from a minimum of one hundred fifty square feet to a maximum of four hundred square feet, with the average unit size being no greater than three hundred forty-five square feet.	24.12.1010	263-277 sf	complying
Private Facilities	SRO Units of 220 square feet or more are required to have a kitchen and a full bathroom.	24.12.1020	Kitchen and full bathroom provided	complying
Common Facilities	Laundry facilities that have a minimum of two washers and two dryers must be provided in a separate room. Additional washers and dryers must be provided for any development that has more than twenty units at the ratio of one washer and one dryer for every additional twenty units. 121 SRO Units/20 = 6 washers & 6 dryers	24.12.1030	Laundry room provided. 6 washers, 6 dryers	complying
Storage	All SRO units must have access to a separate usable storage space within the project	24.12.1030	No separate usable storage space provided.	Concession #3
Management	An SRO project with twelve or more units shall provide twenty-four-hour on-site management, and include a dwelling unit designated for the manager	24.12.1040	On-site management + 1 manager dwelling unit provided	complying

RESIDENTIAL



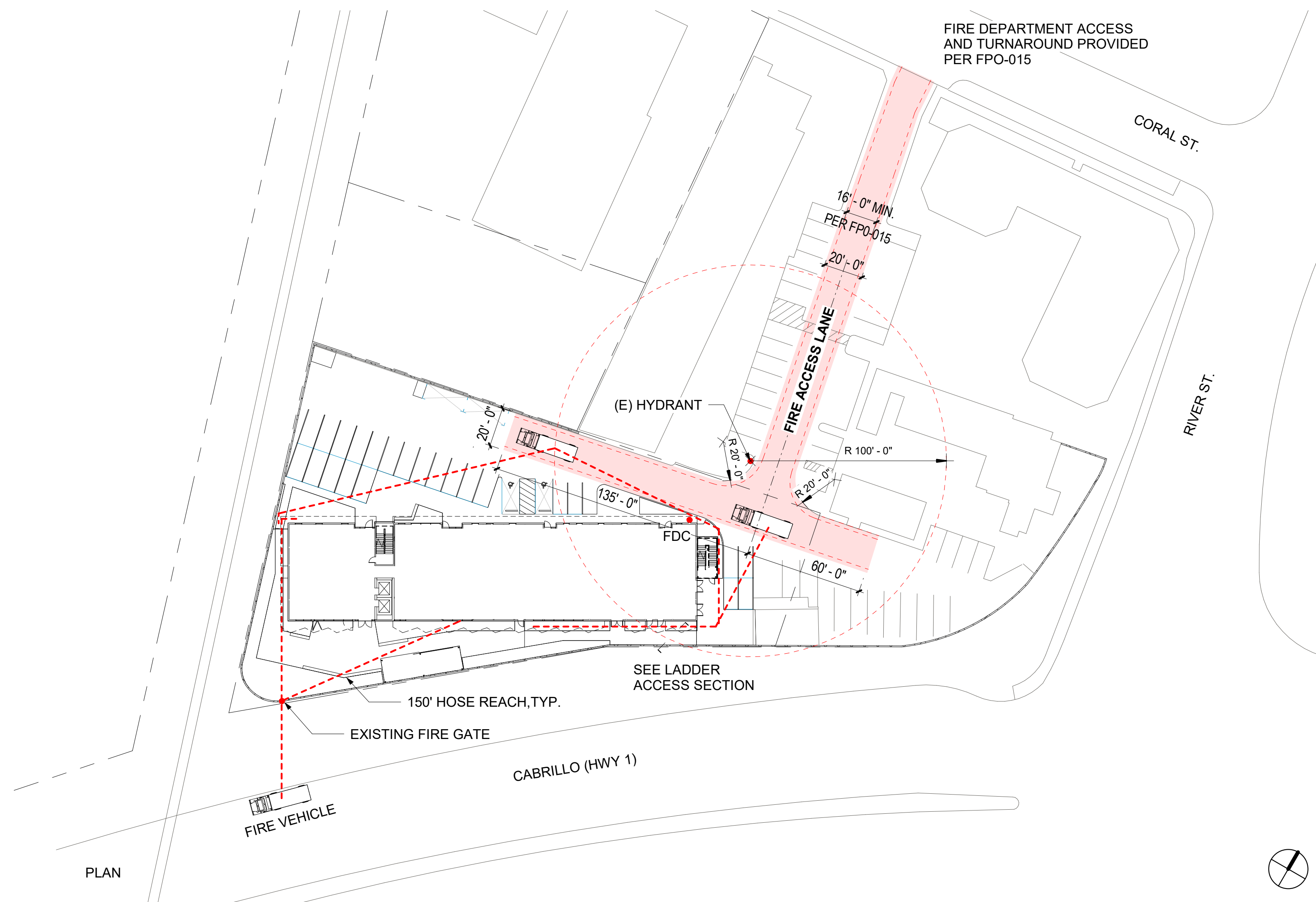
David Baker Architects



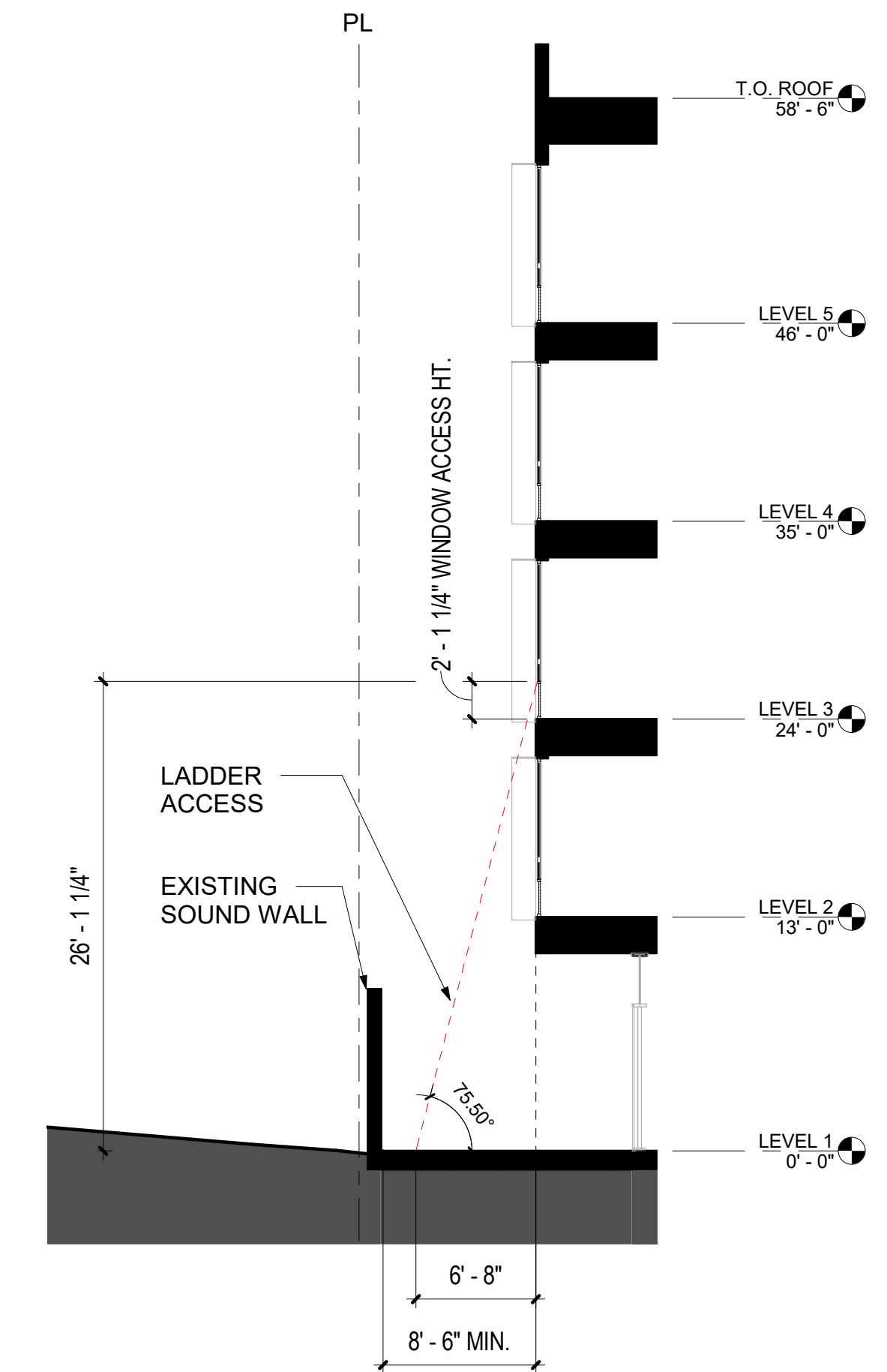
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Permanent Supportive Housing

ZONING MATRIX

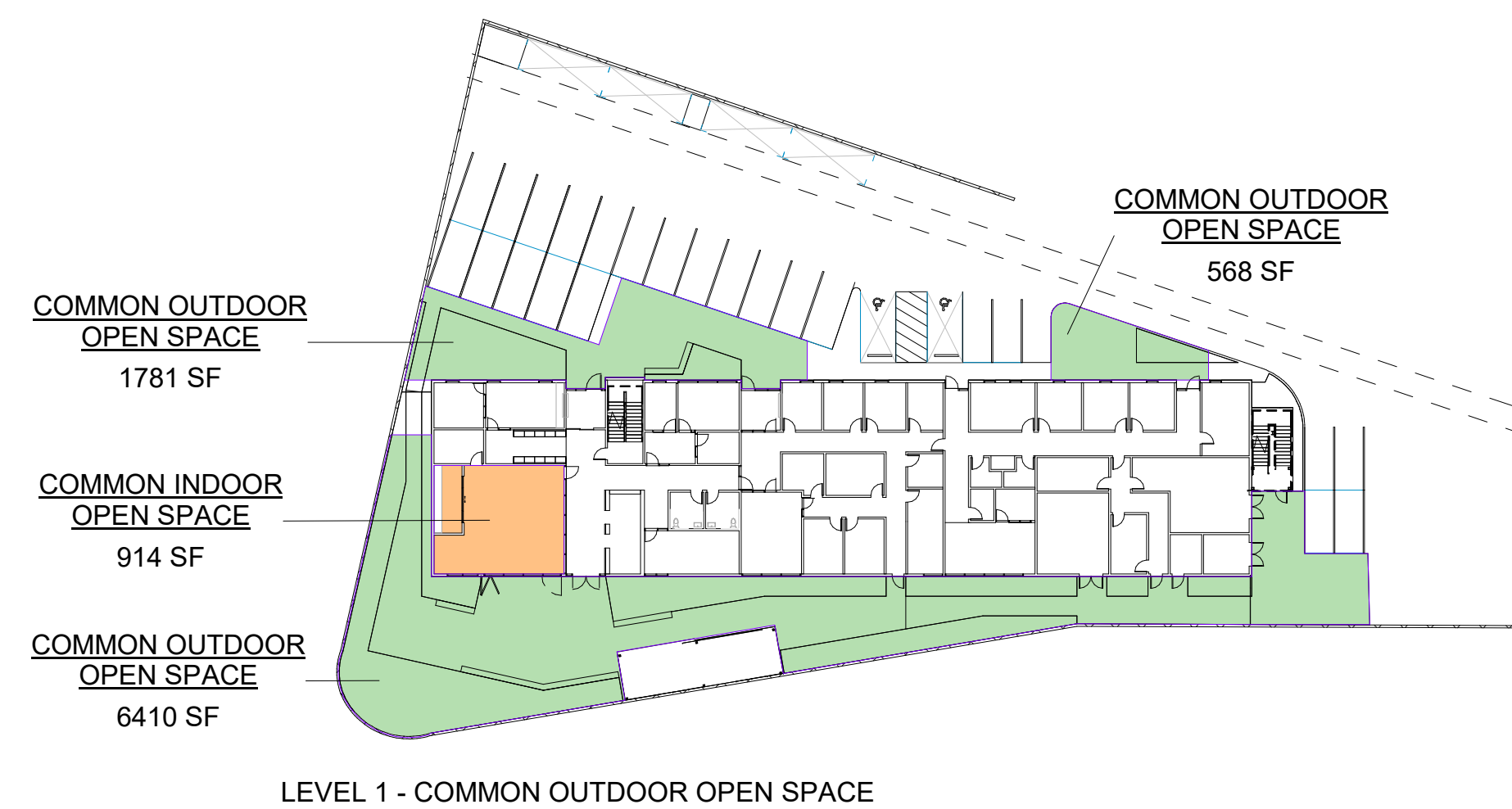
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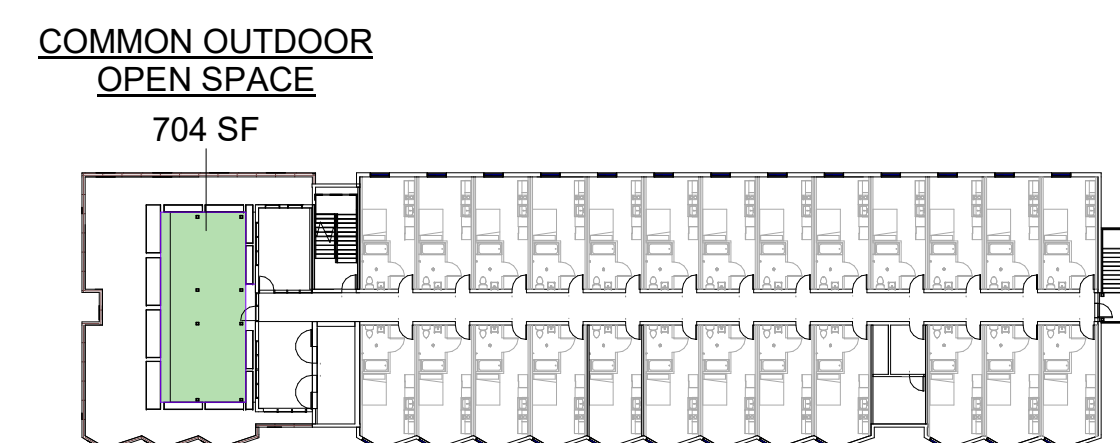
FIRE ACCESS



SECTION - LADDER ACCESS



COMMON OPEN SPACE

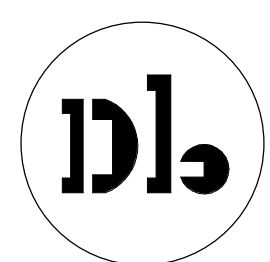


LEVEL 5 - COMMON OUTDOOR OPEN SPACE

COMMON OPEN SPACE

COMMON INDOOR OPEN SPACE	914 SF
COMMON OUTDOOR OPEN SPACE	9463 SF
	10377 SF

OPEN SPACE, USABLE (PER 24.22.586)
No dimension less than ten feet.



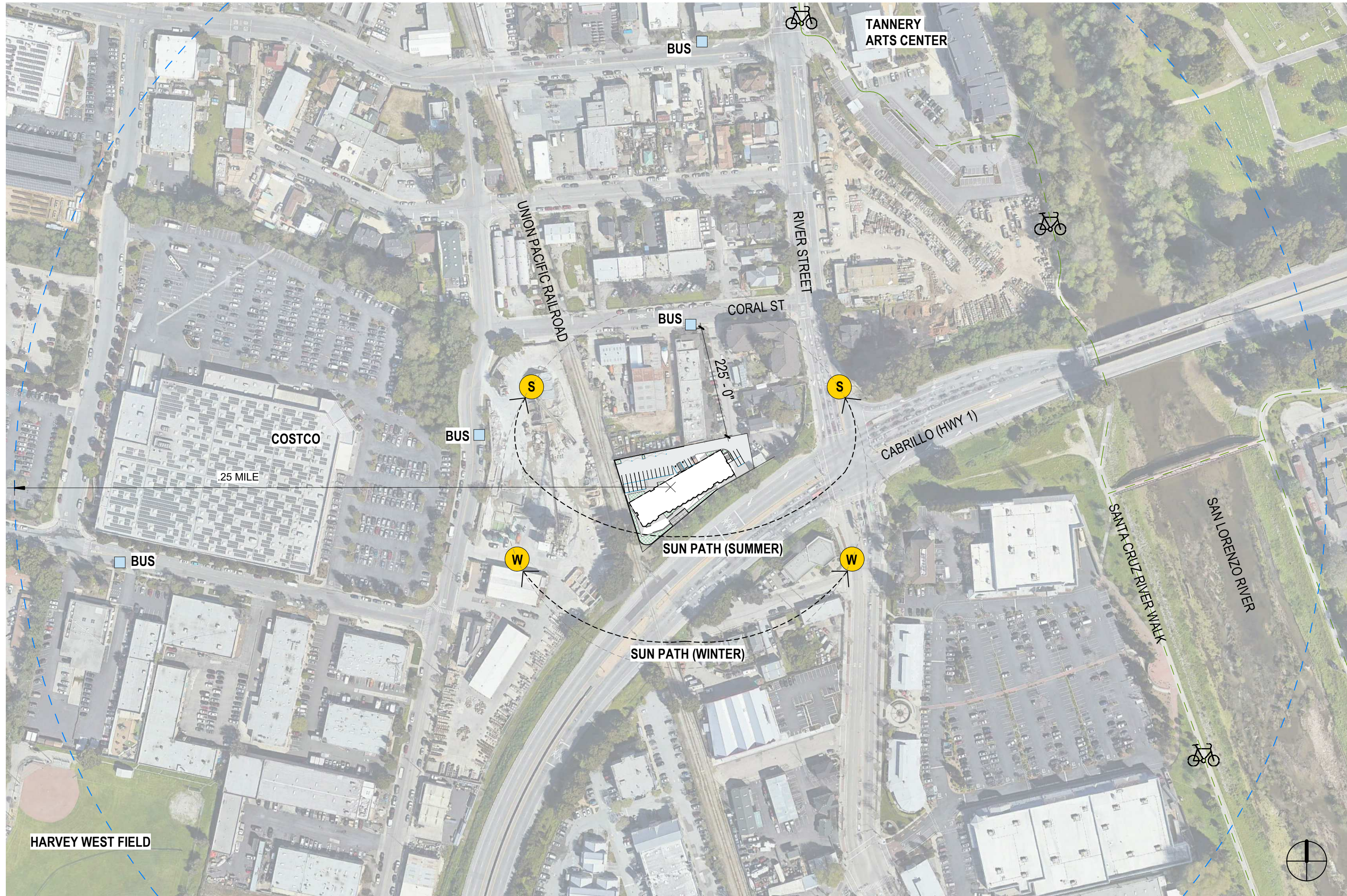
David Baker Architects



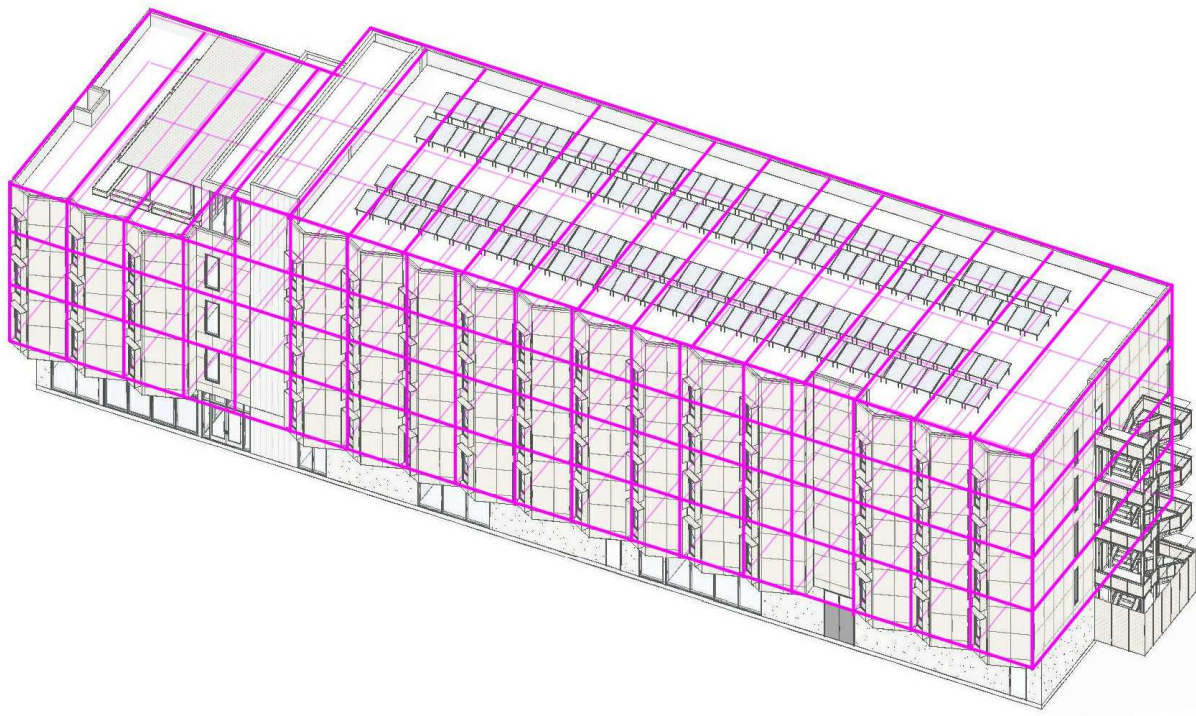
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DIAGRAMS - FIRE & OPEN SPACE

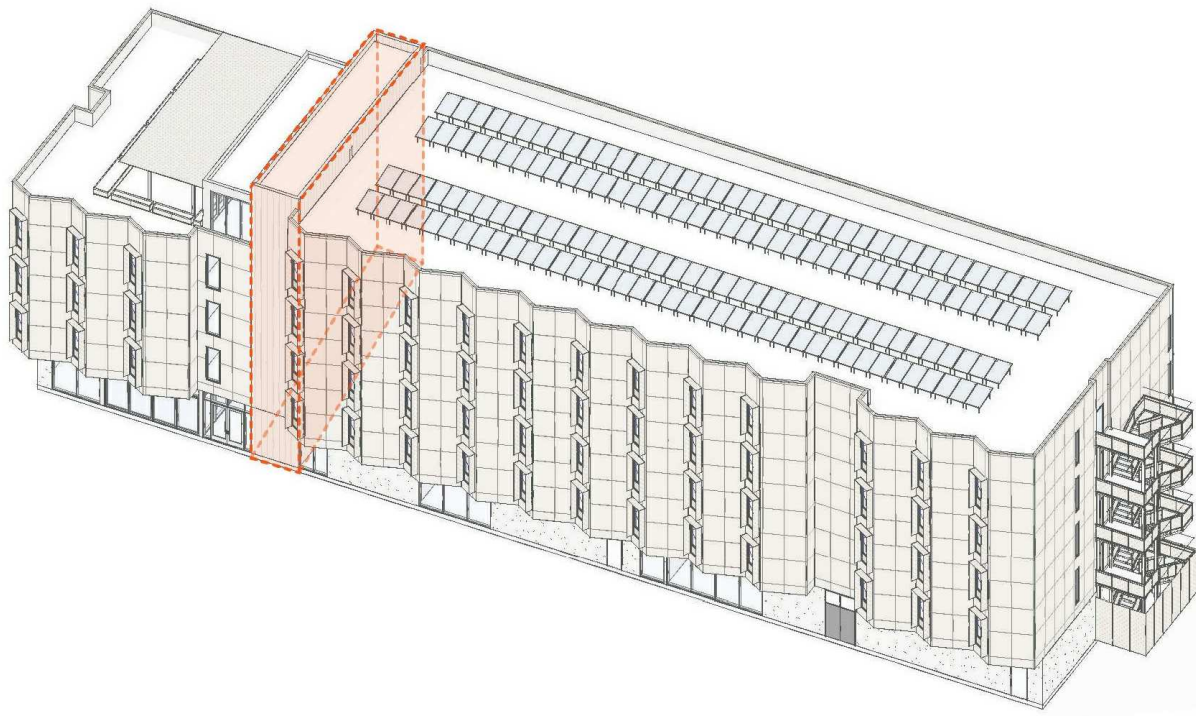
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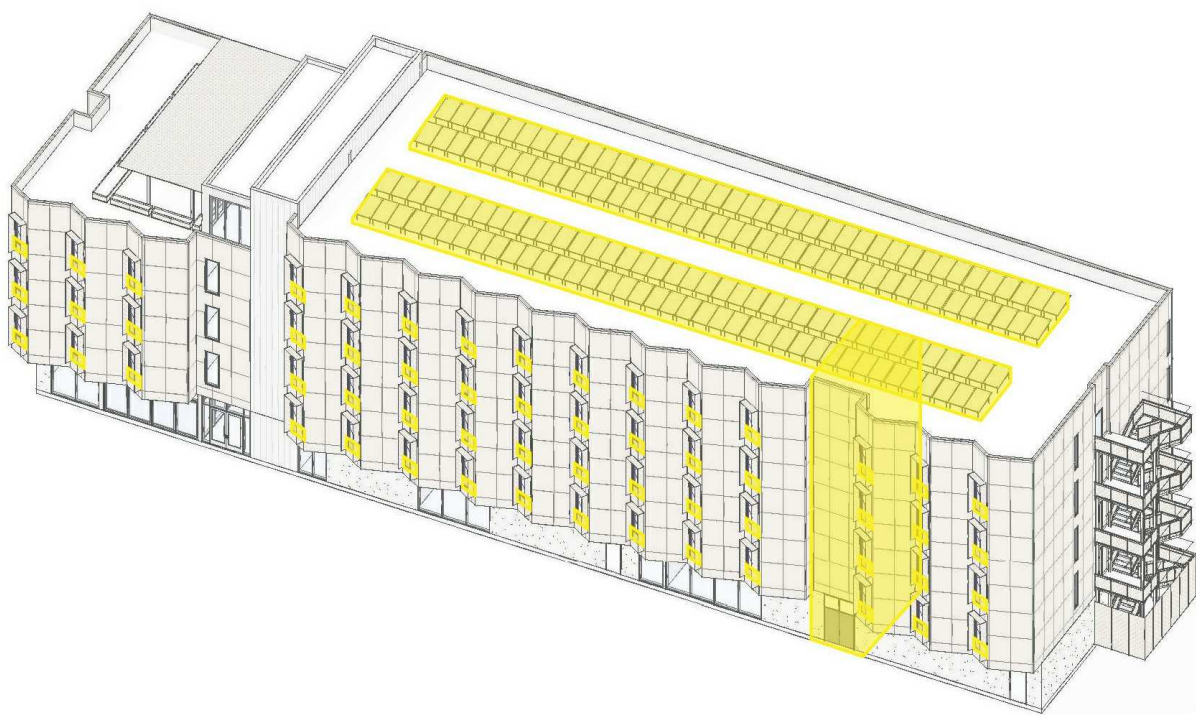
SITE



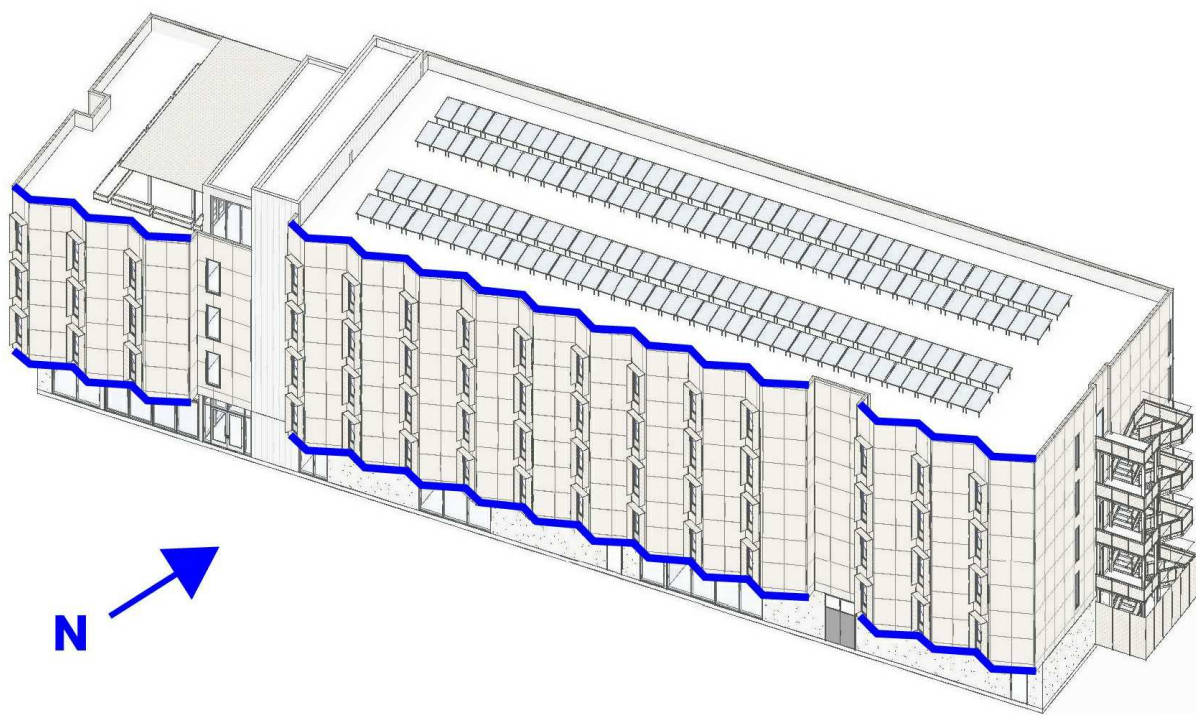
MODULAR-BASED DESIGN



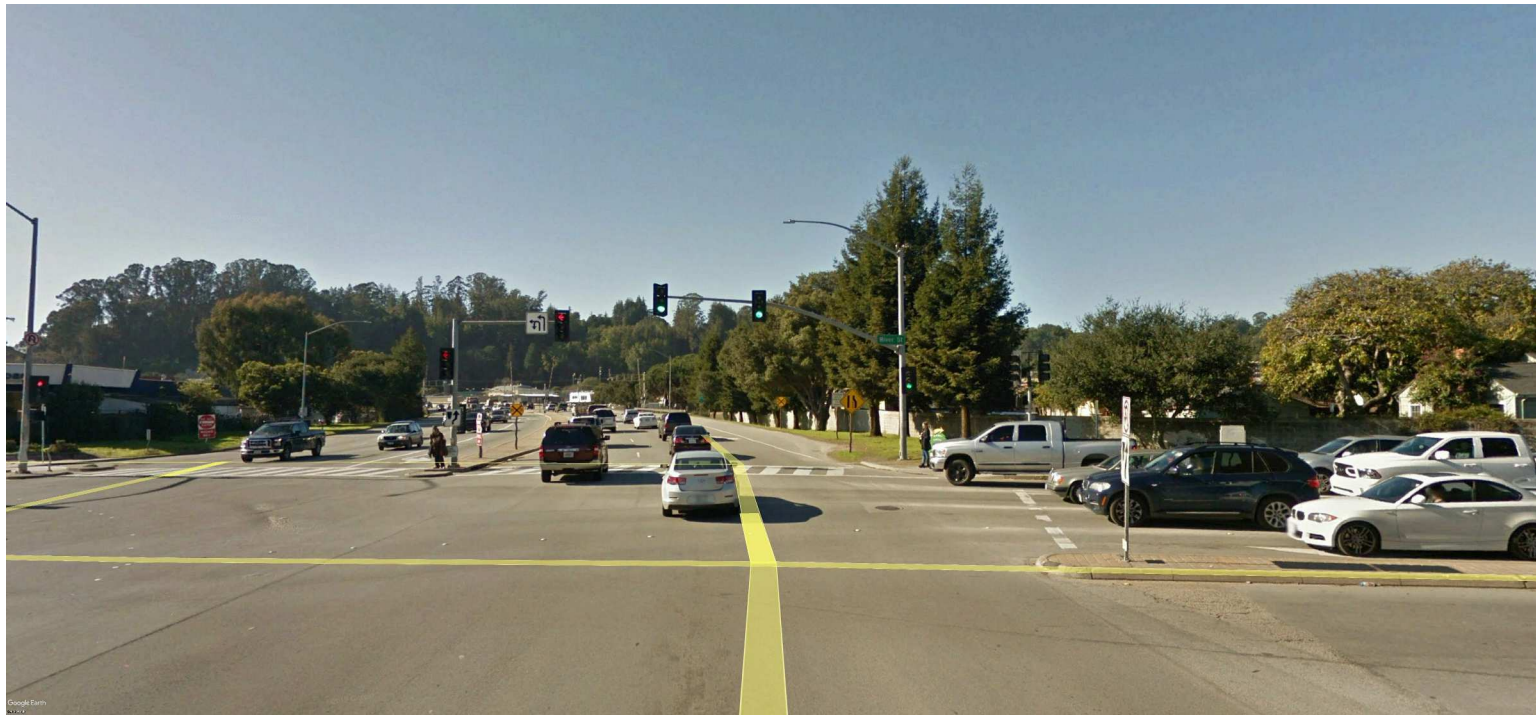
CIRCULATION CORE



ALL-ELECTRIC DESIGN



SOUTH-FACING ORIENTATION FOR
SOLAR / NOISE / VIEW



1



2



3



4



5



6



7



8



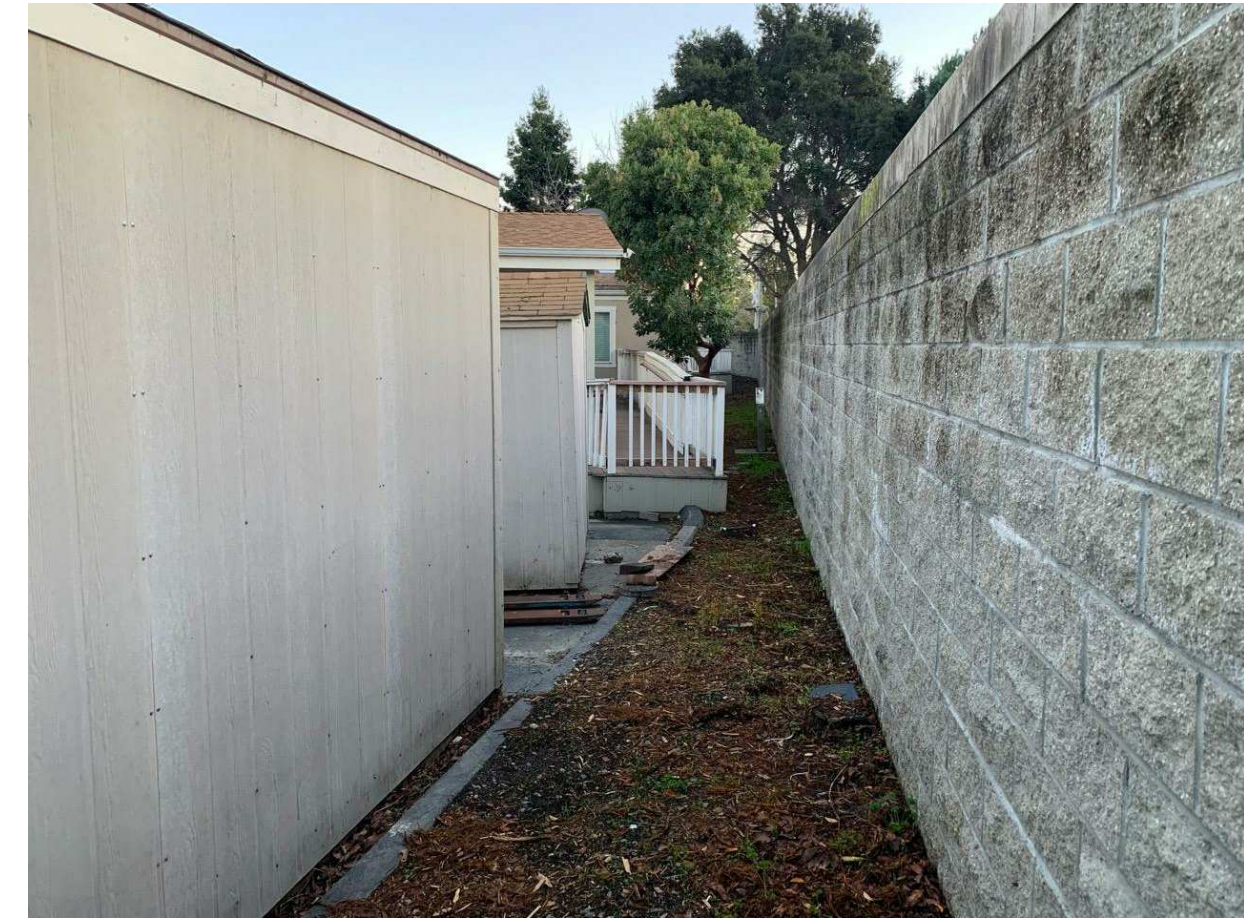
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10



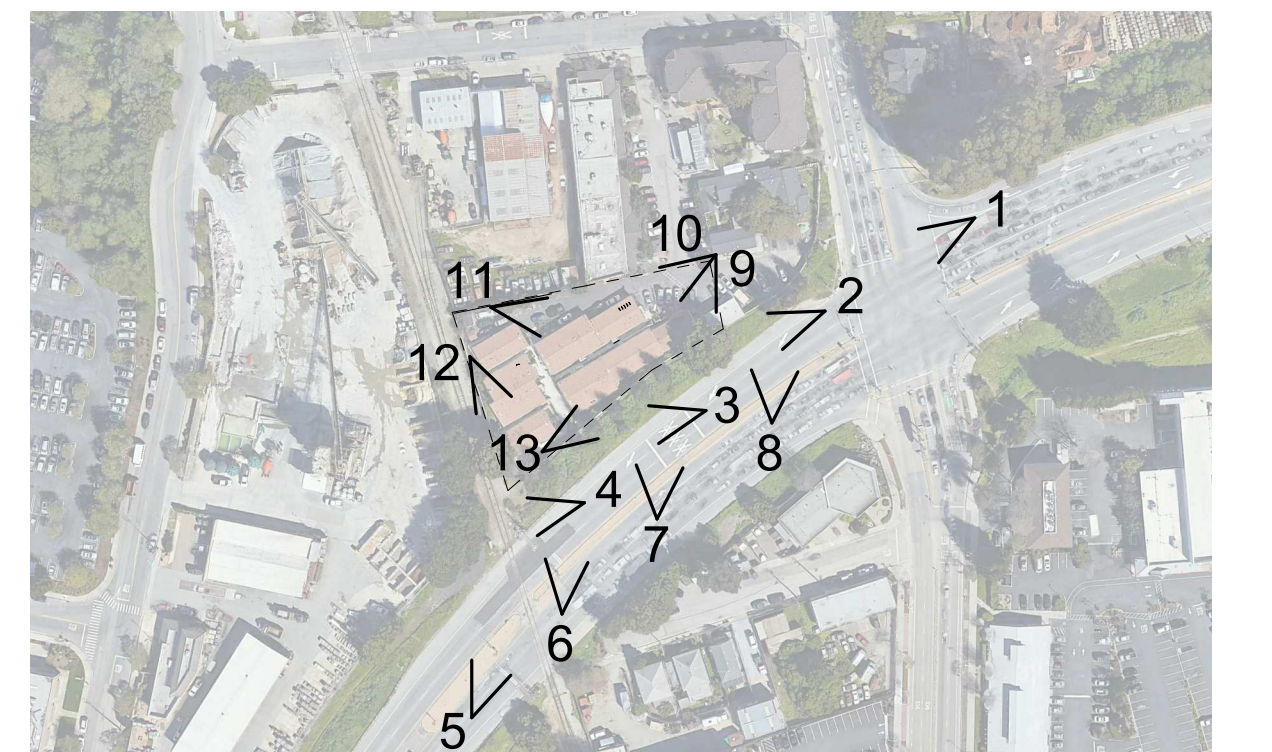
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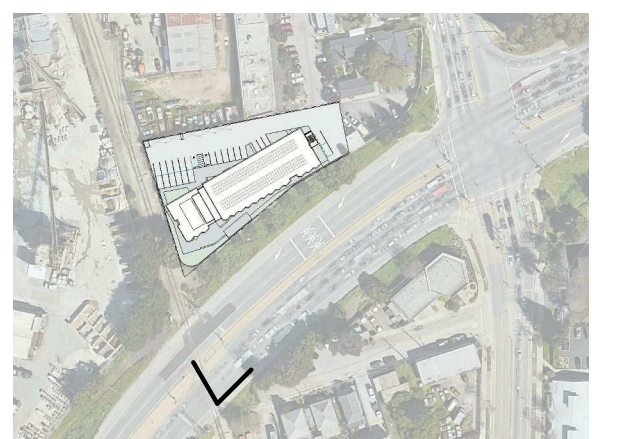


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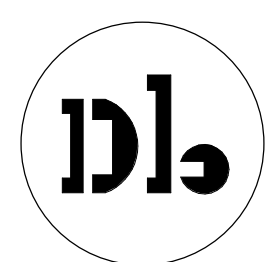


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KEY



David Baker Architects

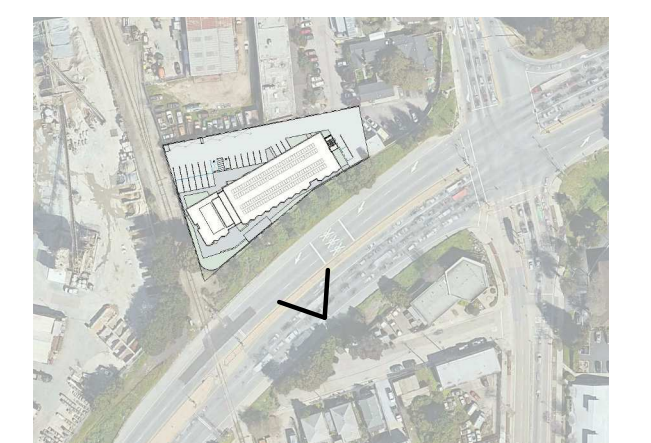


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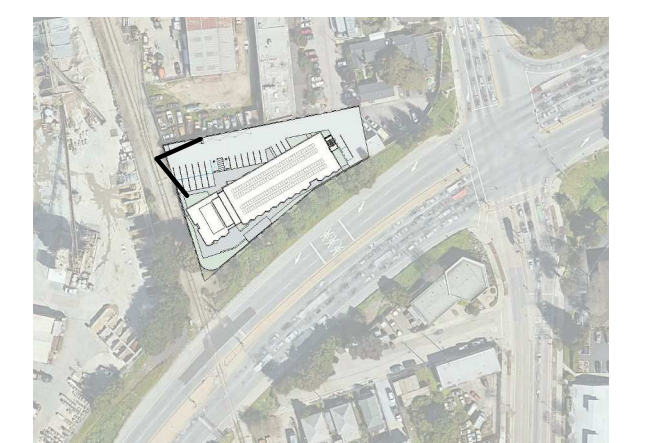
HIGHWAY VIEW

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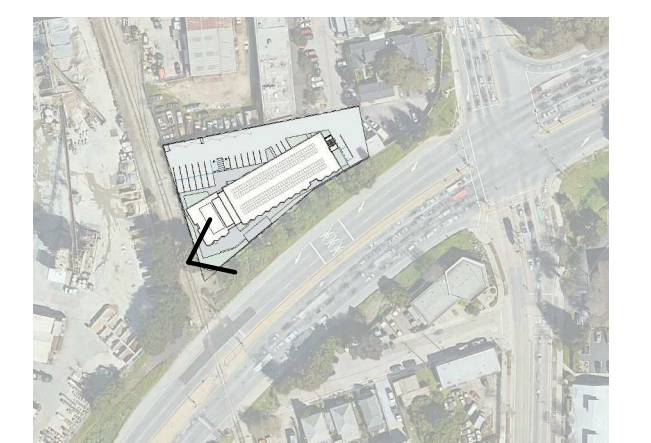
G.21



KEY



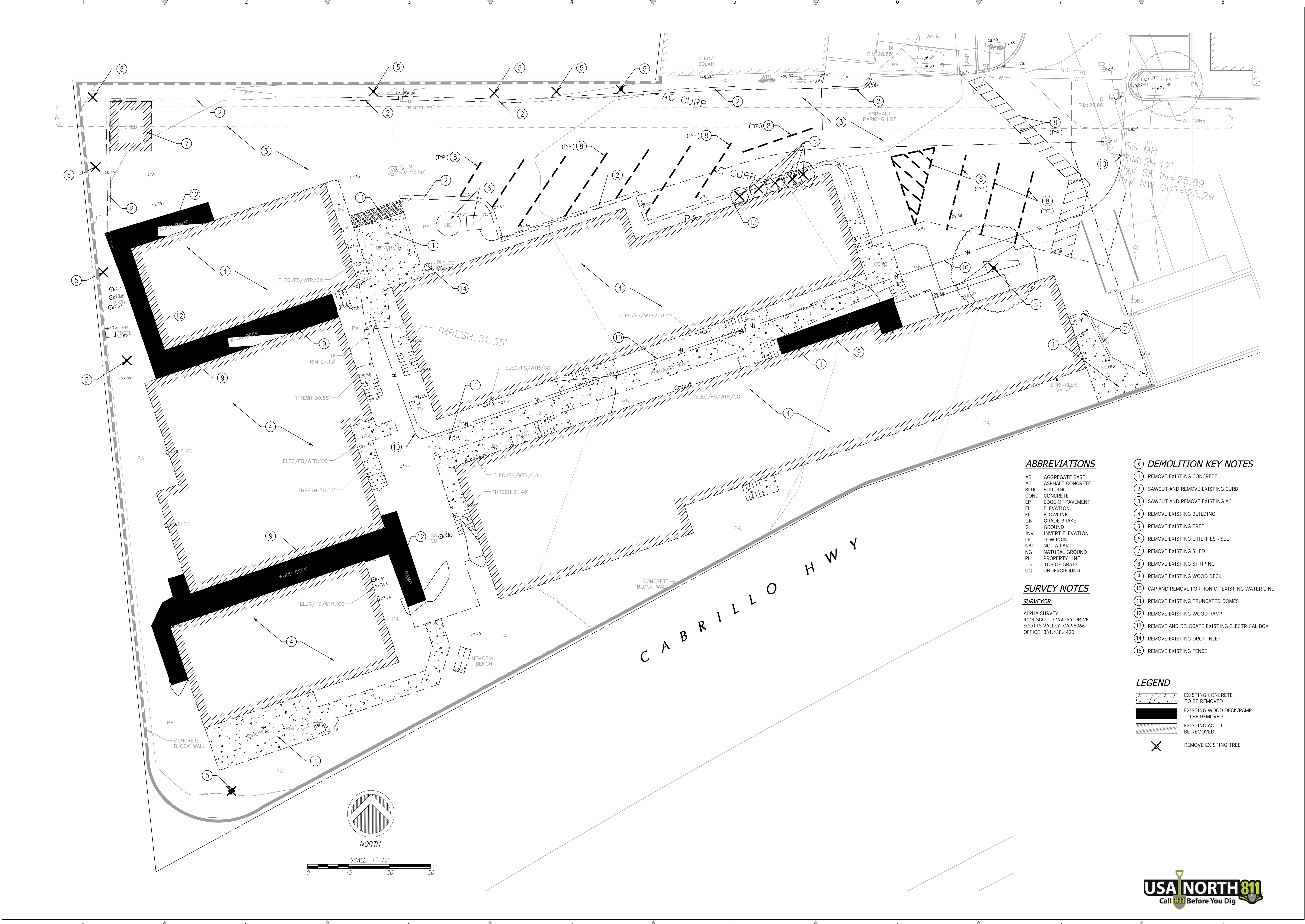
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KEY

The site plan illustrates the proposed new building, a large, multi-winged structure with various rooms, corridors, and outdoor spaces. The building is situated on a hillside, with a parking lot to the north and a road labeled 'CABRILLO HWY' to the south. A north arrow and a scale bar (1 inch = 20 feet) are provided for orientation and measurement.

Of 8 Sheets



ABBREVIATIONS

- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- BLDG BUILDING
- CONC CONCRETE
- EP EDGE OF PAVEMENT
- EL ELEVATION
- FL FLOWLINE
- GB GRADE BRAKE
- G GROUND
- INV INVERT ELEVATION
- LP LOW POINT
- NAP NOT A PART
- NG NATURAL GROUND
- PL PROPERTY LINE
- TG TOP OF GATE
- UG UNDERGROUND

SURVEY NOTES

SURVEYOR:
ALPHA SURVEY
4444 SCOTT'S VALLEY DRIVE
SCOTT'S VALLEY, CA 95066
OFFICE: 831.438.4420

DEMOLITION KEY NOTES

- 1 REMOVE EXISTING CONCRETE
- 2 SAWCUT AND REMOVE EXISTING CURB
- 3 SAWCUT AND REMOVE EXISTING AC
- 4 REMOVE EXISTING BUILDING
- 5 REMOVE EXISTING TREE
- 6 REMOVE EXISTING UTILITIES - SEE
- 7 REMOVE EXISTING SHED
- 8 REMOVE EXISTING STRIPING
- 9 REMOVE EXISTING WOOD DECK
- 10 CAP AND REMOVE PORTION OF EXISTING WATER LINE
- 11 REMOVE EXISTING TRUNCATED DOMES
- 12 REMOVE EXISTING WOOD RAMP
- 13 REMOVE AND RELOCATE EXISTING ELECTRICAL BOX
- 14 REMOVE EXISTING DROP INLET
- 15 REMOVE EXISTING FENCE

LEGEND

- EXISTING CONCRETE TO BE REMOVED
- EXISTING WOOD DECK/RAMP TO BE REMOVED
- EXISTING AC TO BE REMOVED
- REMOVE EXISTING TREE

REVISIONS

BY

EXISTING SITE AND DEMOLITION PLAN

REGISTERED PROFESSIONAL ENGINEER

TODD R. CREAGER

No. C 64561

Exp. 6/30/21

CIVIL

STATE OF CALIFORNIA

C2G

C2G CIVIL CONSULTANTS GROUP, INC.

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180 SANTA CRUZ

PERMANENT SUPPORTIVE HOUSING

115 CORAL STREET

SANTA CRUZ, CALIFORNIA

Date:

02.07.20

Scale:

1" = 10'

Drawn:

TC/JB

Job:

498-00

Sheet:

C1.1

Of

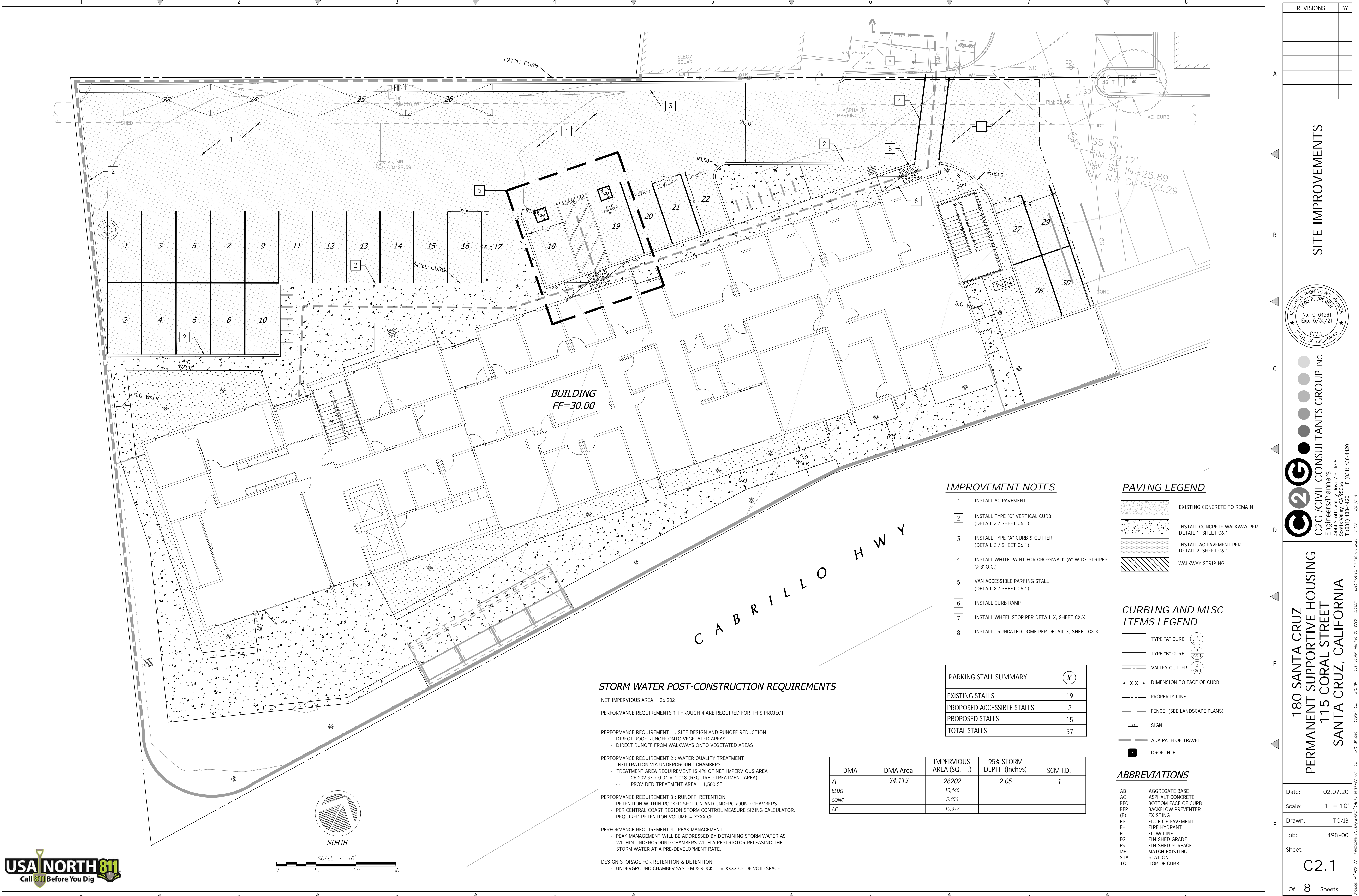
8

Sheets

USA NORTH 811

Call 811 Before You Dig

Drawing: 18-1488-00 - Permanent Supportive Housing [CAG] Sheet 1 of 8 - C1.1 - EX SITE - 02/07/2020 - 2:12pm
Last Printed: Fri Feb 07, 2020 - 2:11pm
By: jmc



STORM WATER POST-CONSTRUCTION REQUIREMENTS

NET IMPERVIOUS AREA = 26,202

PERFORMANCE REQUIREMENTS 1 THROUGH 4 ARE REQUIRED FOR THIS PROJECT

PERFORMANCE REQUIREMENT 1 : SITE DESIGN AND RUNOFF REDUCTION

- DIRECT ROOF RUNOFF ONTO VEGETATED AREAS
- DIRECT RUNOFF FROM WALKWAYS ONTO VEGETATED AREAS

PERFORMANCE REQUIREMENT 2 : WATER QUALITY TREATMENT

- INFILTRATION VIA UNDERGROUND CHAMBERS
- TREATMENT AREA REQUIREMENT IS 4% OF NET IMPERVIOUS AREA
 - 26,202 SF x 0.04 = 1,048 (REQUIRED TREATMENT AREA)
 - PROVIDED TREATMENT AREA = 1,500 SF

PERFORMANCE REQUIREMENT 3 : RUNOFF RETENTION

- RETENTION WITHIN ROCKED SECTION AND UNDERGROUND CHAMBERS
- PER CENTRAL COAST REGION STORM CONTROL MEASURE SIZING CALCULATOR, REQUIRED RETENTION VOLUME = XXXX CF

PERFORMANCE REQUIREMENT 4 : PEAK MANAGEMENT

- PEAK MANAGEMENT WILL BE ADDRESSED BY DETAINING STORM WATER AS WITHIN UNDERGROUND CHAMBERS WITH A RESTRICTOR RELEASING THE STORM WATER AT A PRE-DEVELOPMENT RATE.

DESIGN STORAGE FOR RETENTION & DETENTION

- UNDERGROUND CHAMBER SYSTEM & ROCK = XXXX CF OF VOID SPACE

IMPROVEMENT NOTES

1. INSTALL AC PAVEMENT
2. INSTALL TYPE "C" VERTICAL CURB (DETAIL 3 / SHEET C6.1)
3. INSTALL TYPE "A" CURB & GUTTER (DETAIL 3 / SHEET C6.1)
4. INSTALL WHITE PAINT FOR CROSSWALK (6'-WIDE STRIPES @ 8' O.C.)
5. VAN ACCESSIBLE PARKING STALL (DETAIL 8 / SHEET C6.1)
6. INSTALL CURB RAMP
7. INSTALL WHEEL STOP PER DETAIL X, SHEET CX.X
8. INSTALL TRUNCATED DOME PER DETAIL X, SHEET CX.X

PARKING STALL SUMMARY	
EXISTING STALLS	19
PROPOSED ACCESSIBLE STALLS	2
PROPOSED STALLS	15
TOTAL STALLS	57

DMA	DMA Area	IMPERVIOUS AREA (SQ.FT.)	95% STORM DEPTH (Inches)	SCM I.D.
A	34,113	26,202	2.05	1
BLDG		10,440		
CONC		5,450		
AC		10,312		

PAVING LEGEND

- EXISTING CONCRETE TO REMAIN
- INSTALL CONCRETE WALKWAY PER DETAIL 1, SHEET C6.1
- INSTALL AC PAVEMENT PER DETAIL 2, SHEET C6.1
- WALKWAY STRIPING

CURBING AND MISC ITEMS LEGEND

- TYPE "A" CURB (C6.1)
- TYPE "B" CURB (C6.1)
- VALLEY GUTTER (C6.1)
- X-X DIMENSION TO FACE OF CURB
- PROPERTY LINE
- FENCE (SEE LANDSCAPE PLANS)
- SIGN
- ADA PATH OF TRAVEL
- DROP INLET

ABBREVIATIONS

- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- BFC BOTTOM FACE OF CURB
- BFP BACKFLOW PREVENTER
- (E) EXISTING
- EP EDGE OF PAVEMENT
- FH FIRE HYDRANT
- FL FLOW LINE
- FG FINISHED GRADE
- FS FINISHED SURFACE
- ME MATCH EXISTING
- STA STATION
- TC TOP OF CURB

REVISIONS

BY

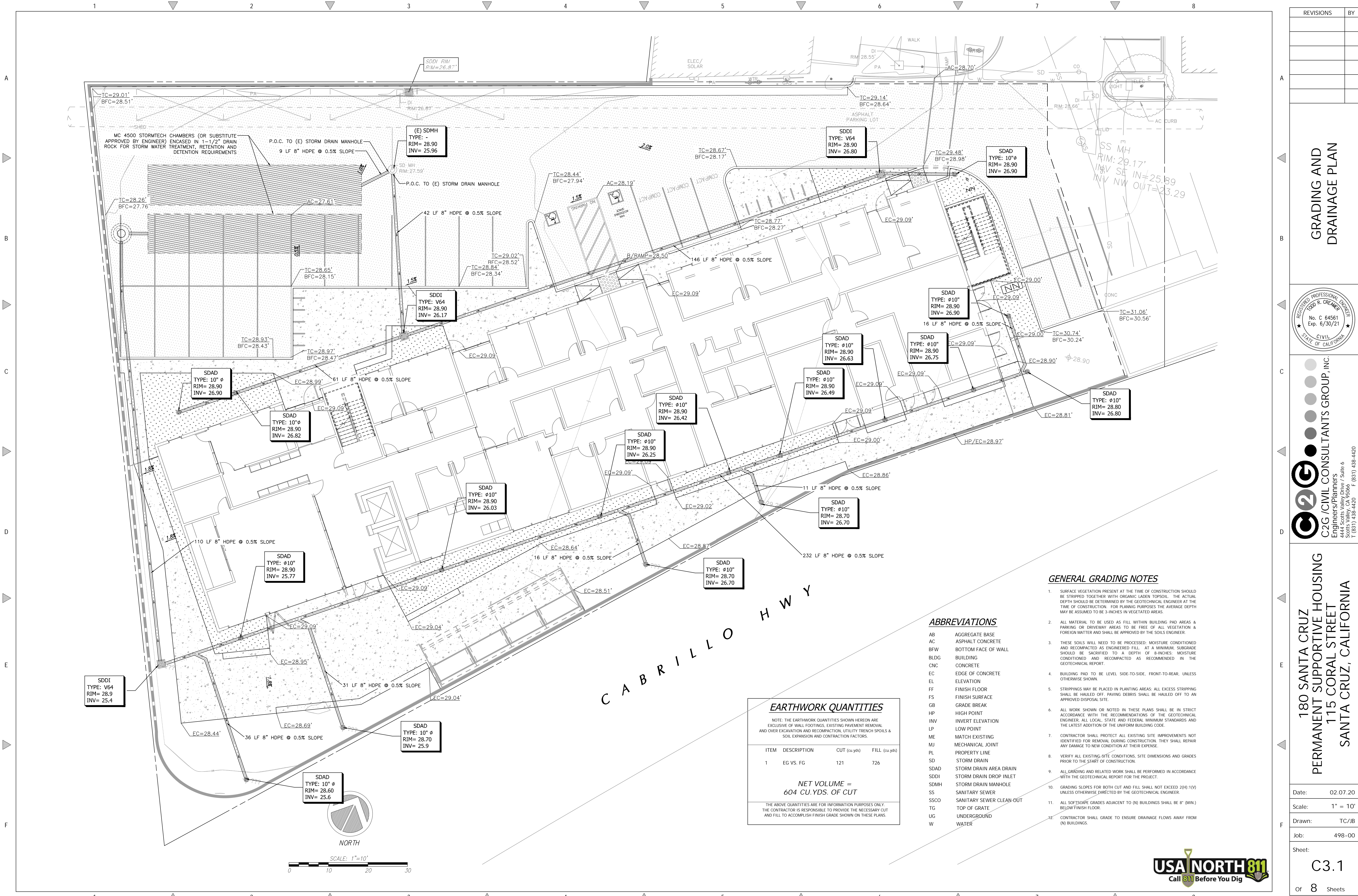
SITE IMPROVEMENTS

REGISTERED PROFESSIONAL ENGINEER
TODD R. CREAGER
No. C 64561
Exp. 6/30/21
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180 SANTA CRUZ
PERMANENT SUPPORTIVE HOUSING
115 CORAL STREET
SANTA CRUZ, CALIFORNIA

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GRADING AND DRAINAGE PLAN

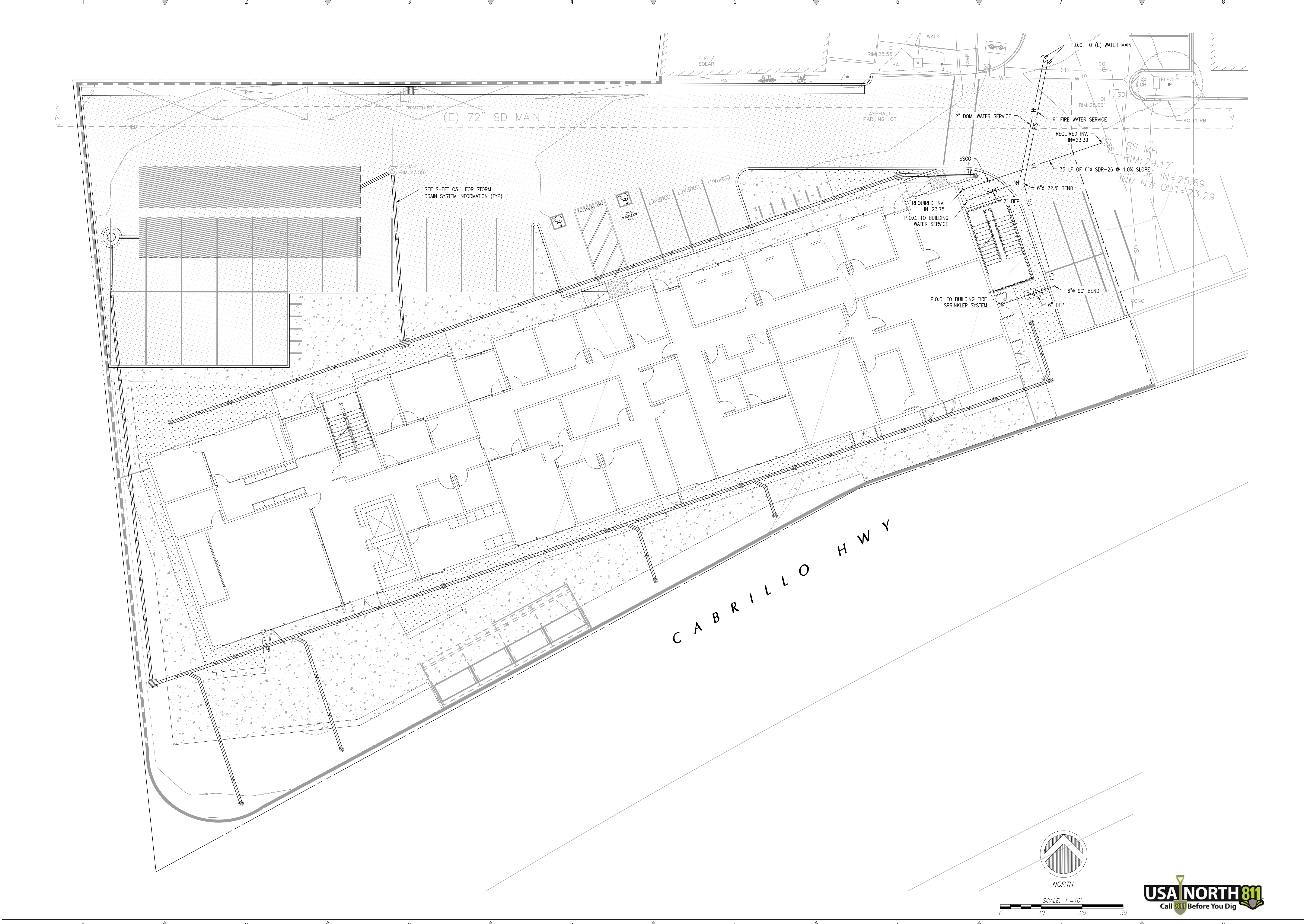


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115 CORAL STREET
SANTA CRUZ, CALIFORNIA

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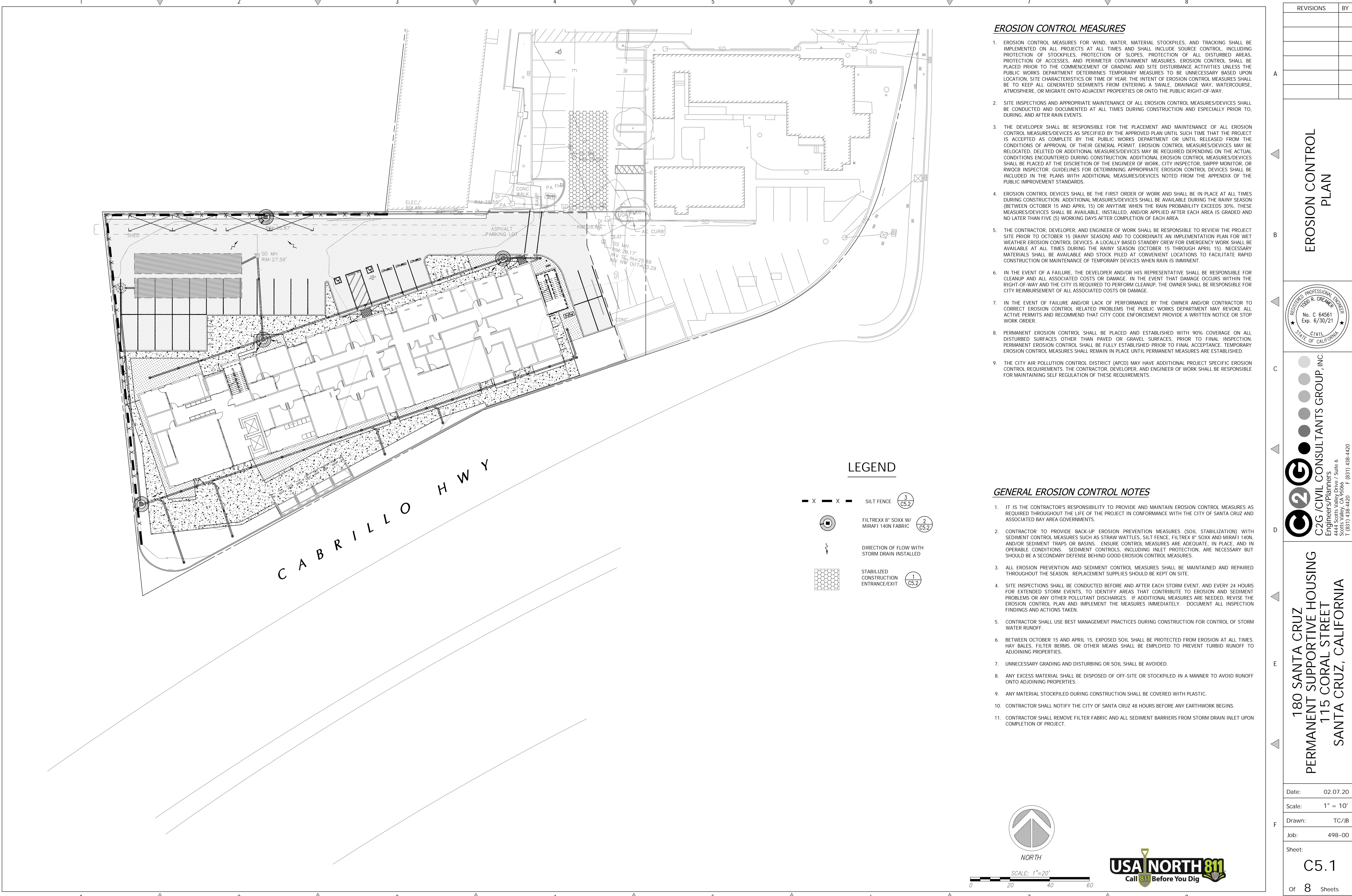
UTILITY PLAN

REGISTERED PROFESSIONAL ENGINEER
TODD R. CREAGER
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Exp. 6/30/21
CIVIL
STATE OF CALIFORNIA

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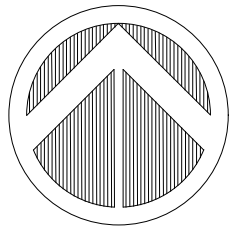


EROSION CONTROL MEASURES

- 1. EROSION CONTROL MEASURES FOR WIND, WATER, MATERIAL STOCKPILES, AND TRACKING SHALL BE IMPLEMENTED ON ALL PROJECTS AT ALL TIMES AND SHALL INCLUDE SOURCE CONTROL, INCLUDING PROTECTION OF STOCKPILES, PROTECTION OF SLOPES, PROTECTION OF ALL DISTURBED AREAS, PROTECTION OF ACCESSES, AND PERIMETER CONTAINMENT MEASURES. EROSION CONTROL SHALL BE PLACED PRIOR TO THE COMMENCEMENT OF GRADING AND SITE DISTURBANCE ACTIVITIES UNLESS THE PUBLIC WORKS DEPARTMENT DETERMINES TEMPORARY MEASURES TO BE UNNECESSARY BASED UPON LOCATION, SITE CHARACTERISTICS OR TIME OF YEAR. THE INTENT OF EROSION CONTROL MEASURES SHALL BE TO KEEP ALL GENERATED SEDIMENTS FROM ENTERING A SWALE, DRAINAGE WAY, WATERCOURSE, ATMOSPHERE, OR MIGRATE ONTO ADJACENT PROPERTIES OR ONTO THE PUBLIC RIGHT-OF-WAY.
- 2. SITE INSPECTIONS AND APPROPRIATE MAINTENANCE OF ALL EROSION CONTROL MEASURES/DEVICES SHALL BE CONDUCTED AND DOCUMENTED AT ALL TIMES DURING CONSTRUCTION AND ESPECIALLY PRIOR TO, DURING, AND AFTER RAIN EVENTS.
- 3. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PLACEMENT AND MAINTENANCE OF ALL EROSION CONTROL MEASURES/DEVICES AS SPECIFIED BY THE APPROVED PLAN UNTIL SUCH TIME THAT THE PROJECT IS ACCEPTED AS COMPLETE BY THE PUBLIC WORKS DEPARTMENT OR UNTIL RELEASED FROM THE CONDITIONS OF APPROVAL OF THEIR GENERAL PERMIT. EROSION CONTROL MEASURES/DEVICES MAY BE RELOCATED, DELETED OR ADDITIONAL MEASURES/DEVICES MAY BE REQUIRED DEPENDING ON THE ACTUAL CONDITIONS ENCOUNTERED DURING CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES/DEVICES SHALL BE PLACED AT THE DISCRETION OF THE ENGINEER OF WORK, CITY INSPECTOR, SWPPP MONITOR, OR RWOCB INSPECTOR. GUIDELINES FOR DETERMINING APPROPRIATE EROSION CONTROL DEVICES SHALL BE INCLUDED IN THE PLANS WITH ADDITIONAL MEASURES/DEVICES NOTED FROM THE APPENDIX OF THE PUBLIC IMPROVEMENT STANDARDS.
- 4. EROSION CONTROL DEVICES SHALL BE THE FIRST ORDER OF WORK AND SHALL BE IN PLACE AT ALL TIMES DURING CONSTRUCTION. ADDITIONAL MEASURES/DEVICES SHALL BE AVAILABLE DURING THE RAINY SEASON (BETWEEN OCTOBER 15 AND APRIL 15) OR ANYTIME WHEN THE RAIN PROBABILITY EXCEEDS 30%. THESE MEASURES/DEVICES SHALL BE AVAILABLE, INSTALLED, AND/OR APPLIED AFTER EACH AREA IS GRADED AND NO LATER THAN FIVE (5) WORKING DAYS AFTER COMPLETION OF EACH AREA.
- 5. THE CONTRACTOR, DEVELOPER, AND ENGINEER OF WORK SHALL BE RESPONSIBLE TO REVIEW THE PROJECT SITE PRIOR TO OCTOBER 15 (RAINY SEASON) AND TO COORDINATE AN IMPLEMENTATION PLAN FOR WET WEATHER EROSION CONTROL DEVICES. A LOCALLY BASED STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 15 THROUGH APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE AND STOCK PILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OR MAINTENANCE OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- 6. IN THE EVENT OF A FAILURE, THE DEVELOPER AND/OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR CLEANUP AND ALL ASSOCIATED COSTS OR DAMAGE. IN THE EVENT THAT DAMAGE OCCURS WITHIN THE RIGHT-OF-WAY AND THE CITY IS REQUIRED TO PERFORM CLEANUP, THE OWNER SHALL BE RESPONSIBLE FOR CITY REIMBURSEMENT OF ALL ASSOCIATED COSTS OR DAMAGE.
- 7. IN THE EVENT OF FAILURE AND/OR LACK OF PERFORMANCE BY THE OWNER AND/OR CONTRACTOR TO CORRECT EROSION CONTROL RELATED PROBLEMS THE PUBLIC WORKS DEPARTMENT MAY REVOKE ALL ACTIVE PERMITS AND RECOMMEND THAT CITY CODE ENFORCEMENT PROVIDE A WRITTEN NOTICE OR STOP WORK ORDER.
- 8. PERMANENT EROSION CONTROL SHALL BE PLACED AND ESTABLISHED WITH 90% COVERAGE ON ALL DISTURBED SURFACES OTHER THAN PAVED OR GRAVEL SURFACES, PRIOR TO FINAL INSPECTION. PERMANENT EROSION CONTROL SHALL BE FULLY ESTABLISHED PRIOR TO FINAL ACCEPTANCE. TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL PERMANENT MEASURES ARE ESTABLISHED.
- 9. THE CITY AIR POLLUTION CONTROL DISTRICT (APCD) MAY HAVE ADDITIONAL PROJECT SPECIFIC EROSION CONTROL REQUIREMENTS. THE CONTRACTOR, DEVELOPER, AND ENGINEER OF WORK SHALL BE RESPONSIBLE FOR MAINTAINING SELF REGULATION OF THESE REQUIREMENTS.

GENERAL EROSION CONTROL NOTES

- 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND MAINTAIN EROSION CONTROL MEASURES AS REQUIRED THROUGHOUT THE LIFE OF THE PROJECT IN CONFORMANCE WITH THE CITY OF SANTA CRUZ AND ASSOCIATED BAY AREA GOVERNMENTS.
- 2. CONTRACTOR TO PROVIDE BACK-UP EROSION PREVENTION MEASURES (SOIL STABILIZATION) WITH SEDIMENT CONTROL MEASURES SUCH AS STRAW WATTLES, SILT FENCE, FILTREX 8" SOXX AND MIRAFI 140N, AND/OR SEDIMENT TRAPS OR BASINS. ENSURE CONTROL MEASURES ARE ADEQUATE, IN PLACE, AND IN OPERABLE CONDITIONS. SEDIMENT CONTROLS, INCLUDING INLET PROTECTION, ARE NECESSARY BUT SHOULD BE A SECONDARY DEFENSE BEHIND GOOD EROSION CONTROL MEASURES.
- 3. ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED THROUGHOUT THE SEASON. REPLACEMENT SUPPLIES SHOULD BE KEPT ON SITE.
- 4. SITE INSPECTIONS SHALL BE CONDUCTED BEFORE AND AFTER EACH STORM EVENT, AND EVERY 24 HOURS FOR EXTENDED STORM EVENTS, TO IDENTIFY AREAS THAT CONTRIBUTE TO EROSION AND SEDIMENT PROBLEMS OR ANY OTHER POLLUTANT DISCHARGES. IF ADDITIONAL MEASURES ARE NEEDED, REVISE THE EROSION CONTROL PLAN AND IMPLEMENT THE MEASURES IMMEDIATELY. DOCUMENT ALL INSPECTION FINDINGS AND ACTIONS TAKEN.
- 5. CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION FOR CONTROL OF STORM WATER RUNOFF.
- 6. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. HAY BALES, FILTER BERMS, OR OTHER MEANS SHALL BE EMPLOYED TO PREVENT TURBID RUNOFF TO ADJOINING PROPERTIES.
- 7. UNNECESSARY GRADING AND DISTURBING OR SOIL SHALL BE AVOIDED.
- 8. ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJOINING PROPERTIES.
- 9. ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
- 10. CONTRACTOR SHALL NOTIFY THE CITY OF SANTA CRUZ 48 HOURS BEFORE ANY EARTHWORK BEGINS.
- 11. CONTRACTOR SHALL REMOVE FILTER FABRIC AND ALL SEDIMENT BARRIERS FROM STORM DRAIN INLET UPON COMPLETION OF PROJECT.



NORTH

SCALE: 1"=20'



REVISIONS	BY

EROSION CONTROL PLAN



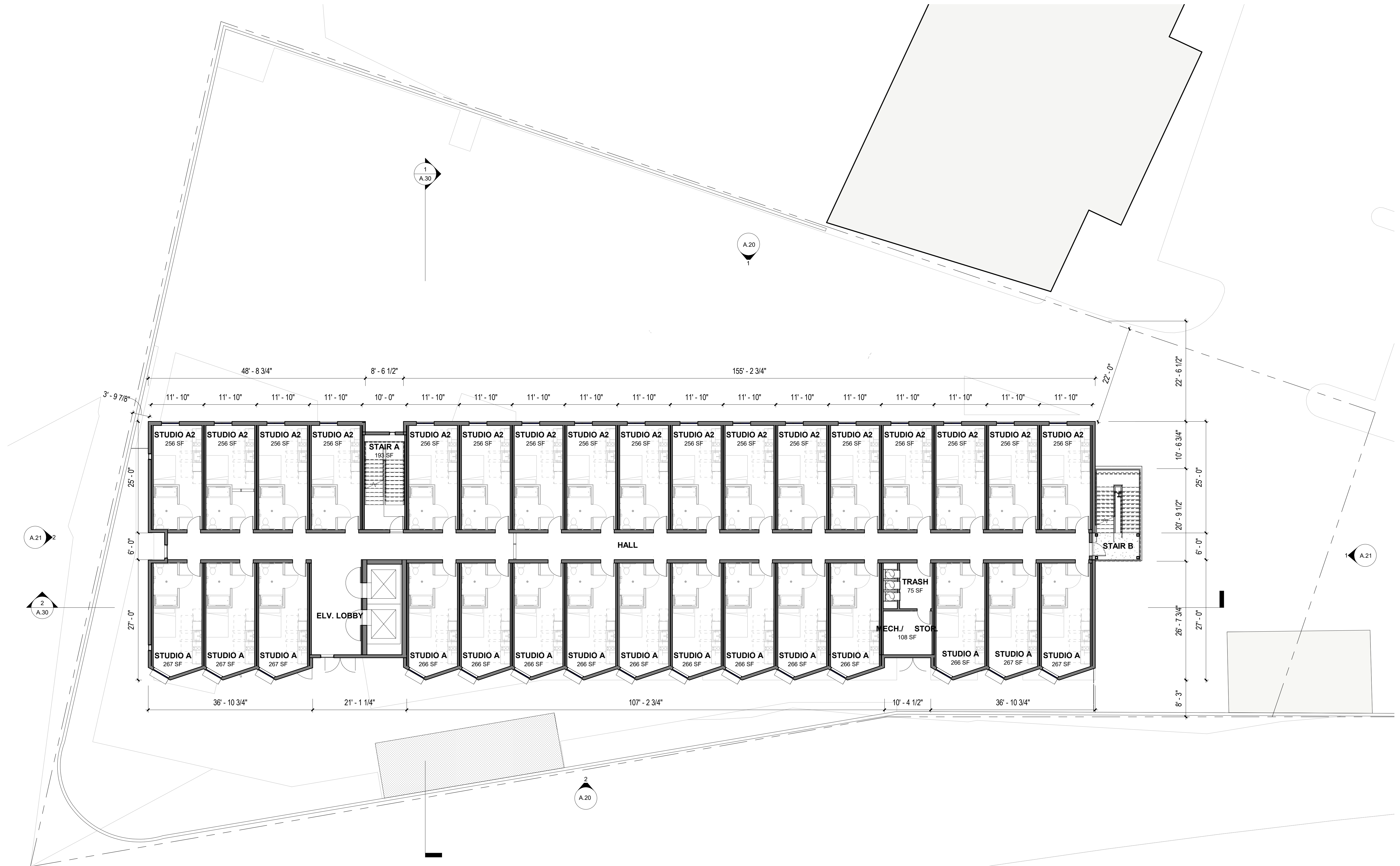
C2G CIVIL CONSULTANTS GROUP, INC.
Engineers/Planners
4400 Elgin Road, Suite 6
Santa Cruz, CA 95066
T (831) 438-4420 F (831) 438-4420

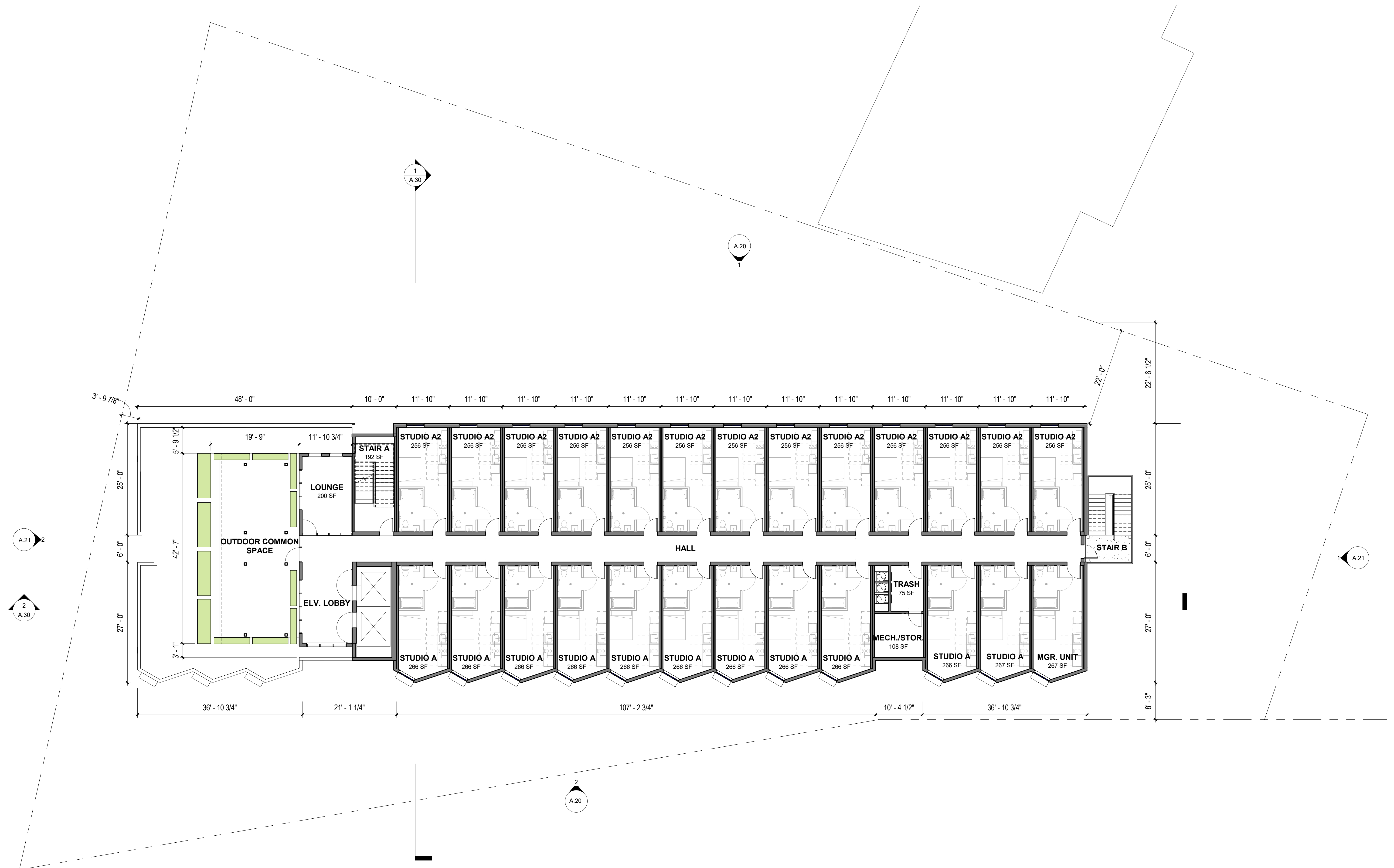
180 SANTA CRUZ
PERMANENT SUPPORTIVE HOUSING
115 CORAL STREET
SANTA CRUZ, CALIFORNIA

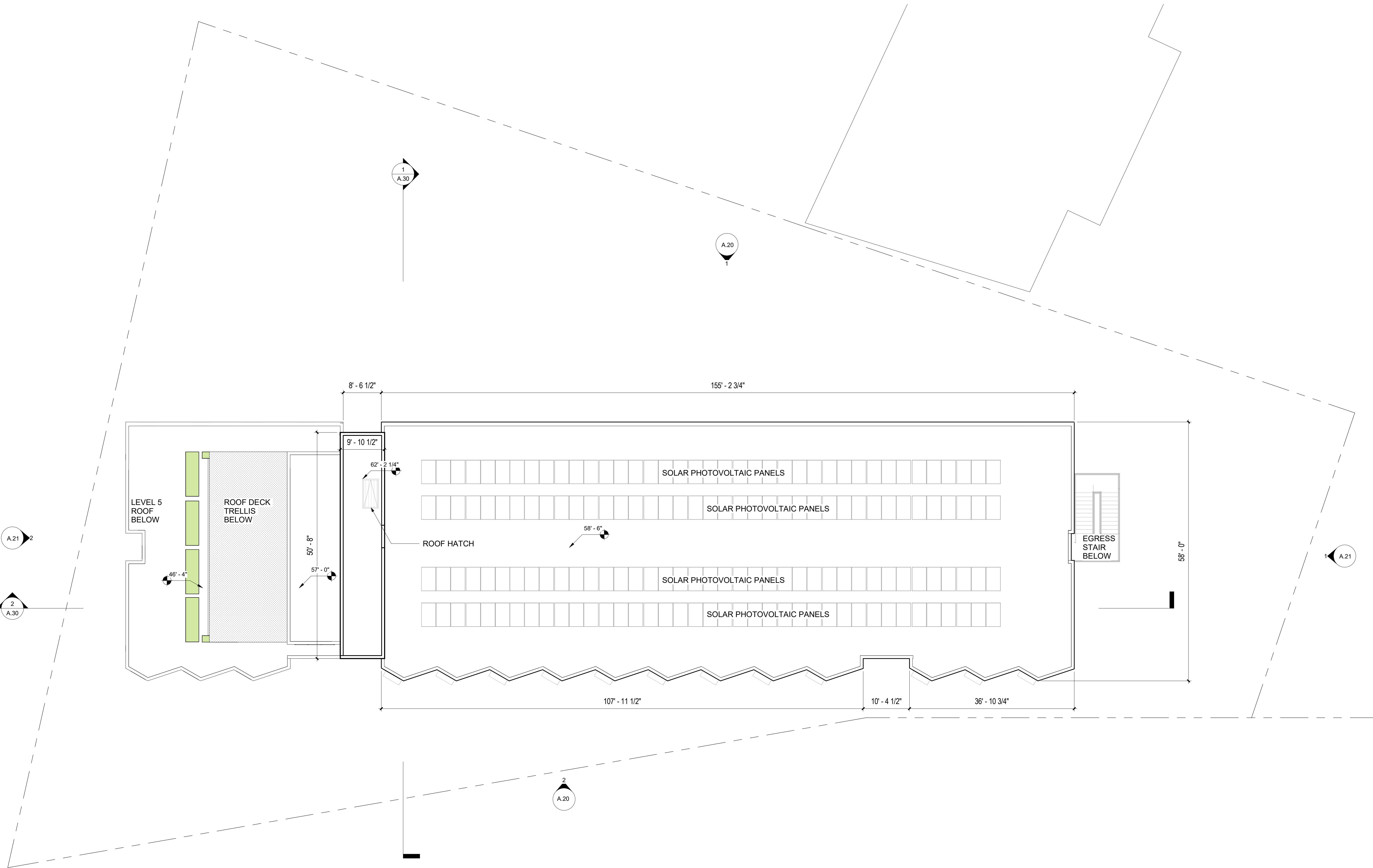
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Of	8 Sheets











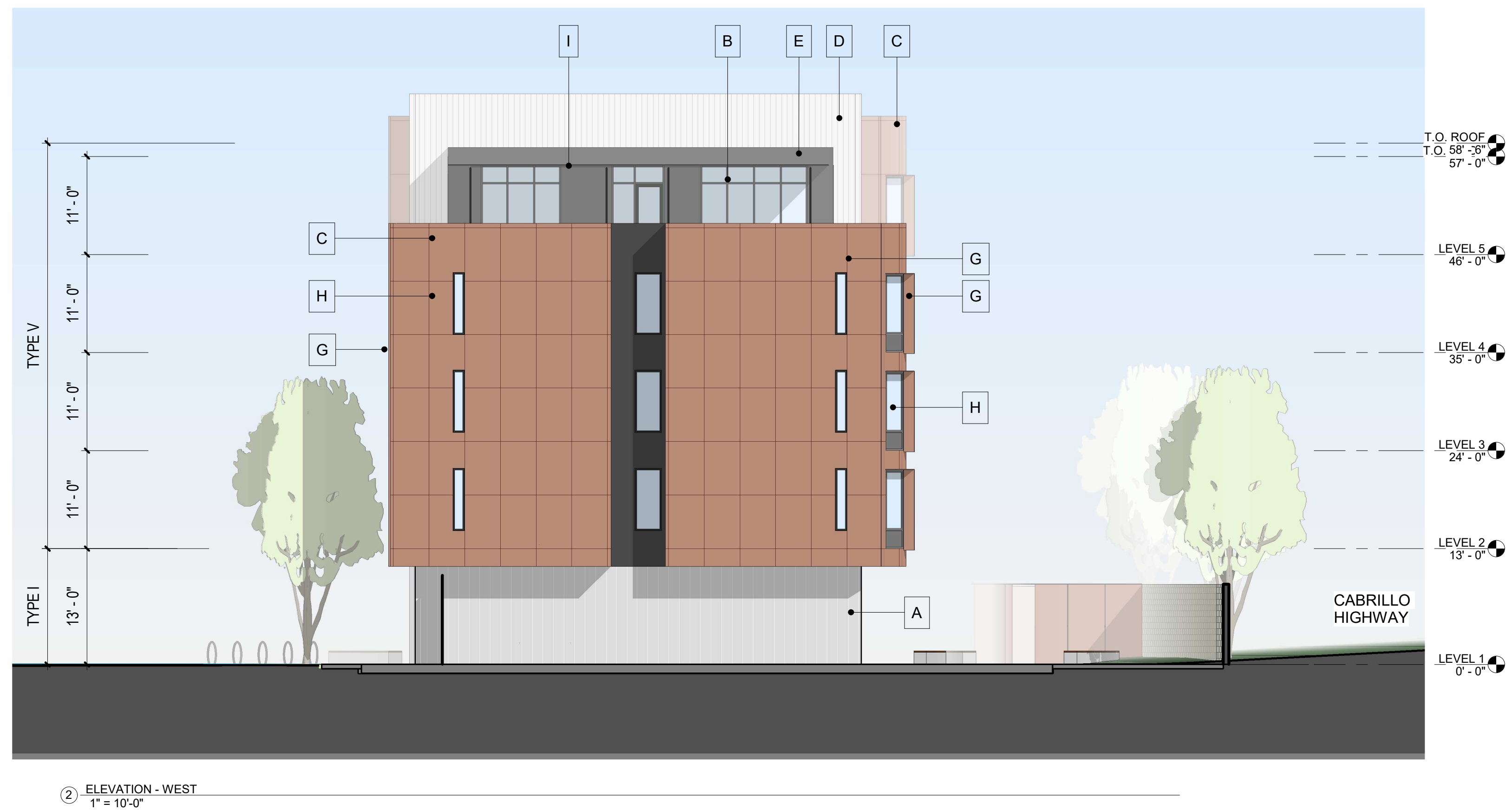
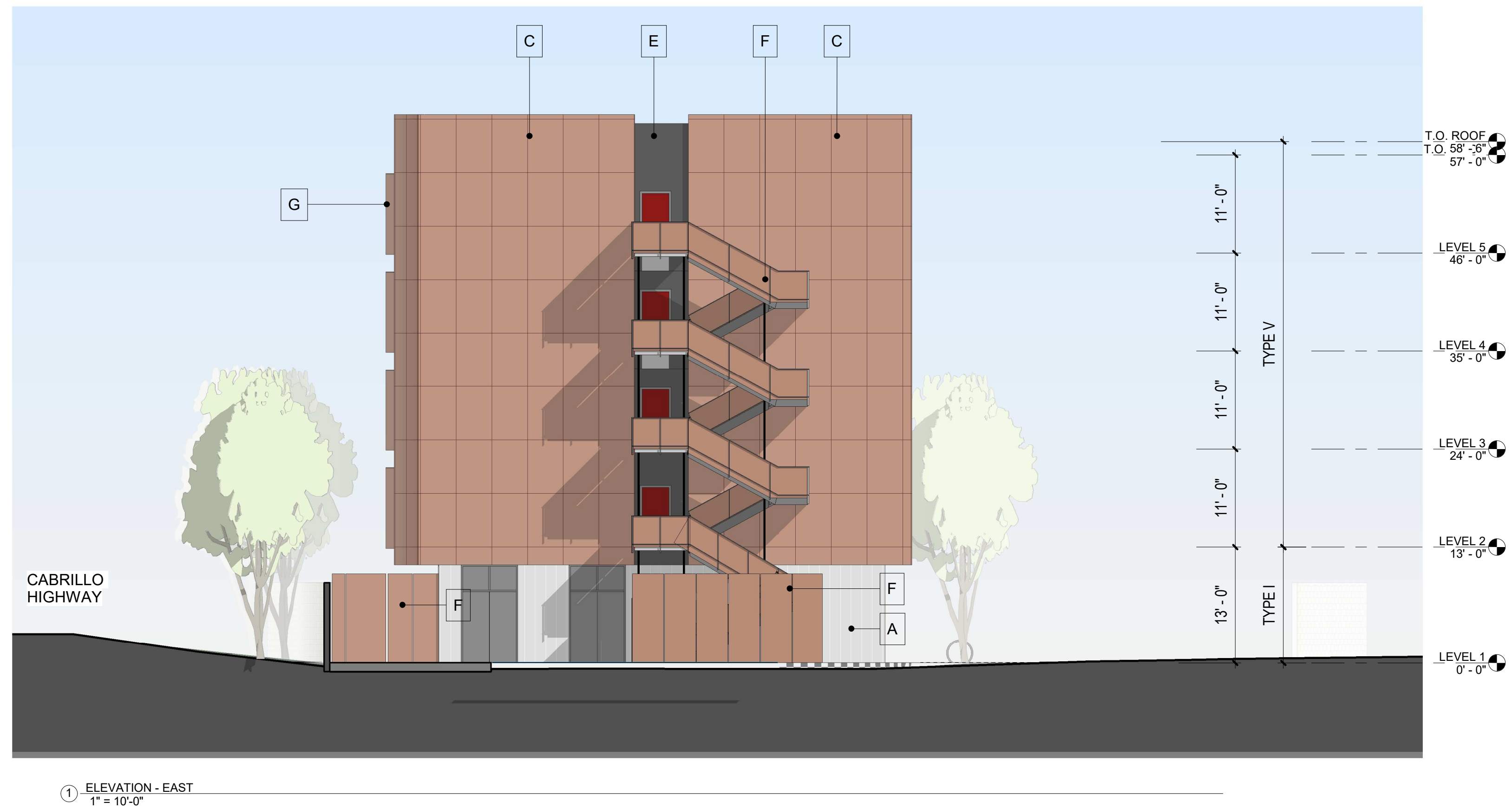


① ELEVATION - NORTH
1" = 10'-0"

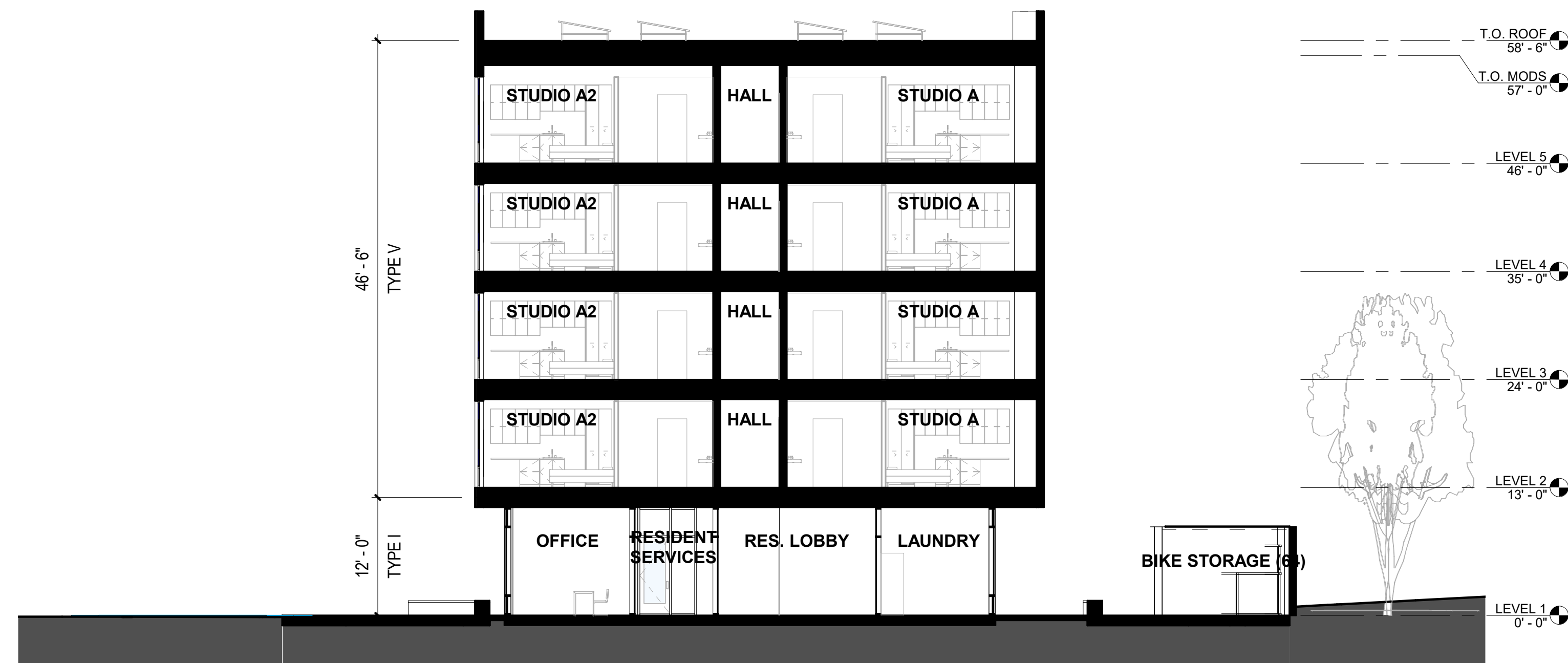


② ELEVATION - SOUTH
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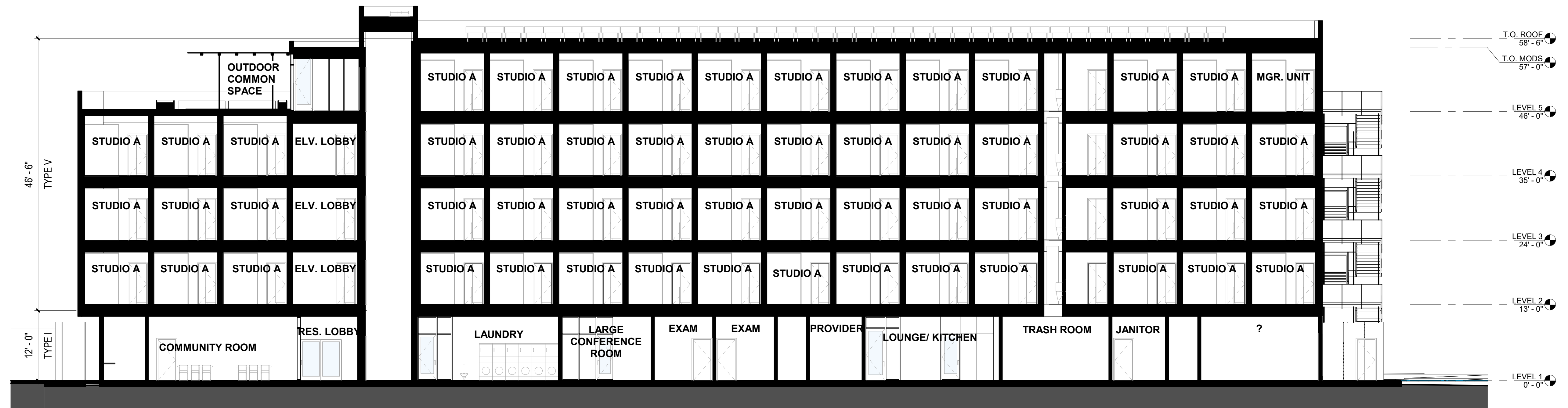
- A BOARD TEXTURED CONCRETE
- B STOREFRONT
- C PANELIZED METAL WALL CLADDING
- D PANELIZED METAL WALL CLADDING 2
- E PANELIZED METAL WALL CLADDING 3
- F PERFORATED METAL PANEL
- G SUNSHADE
- H WINDOW
- I STEEL TRELLIS



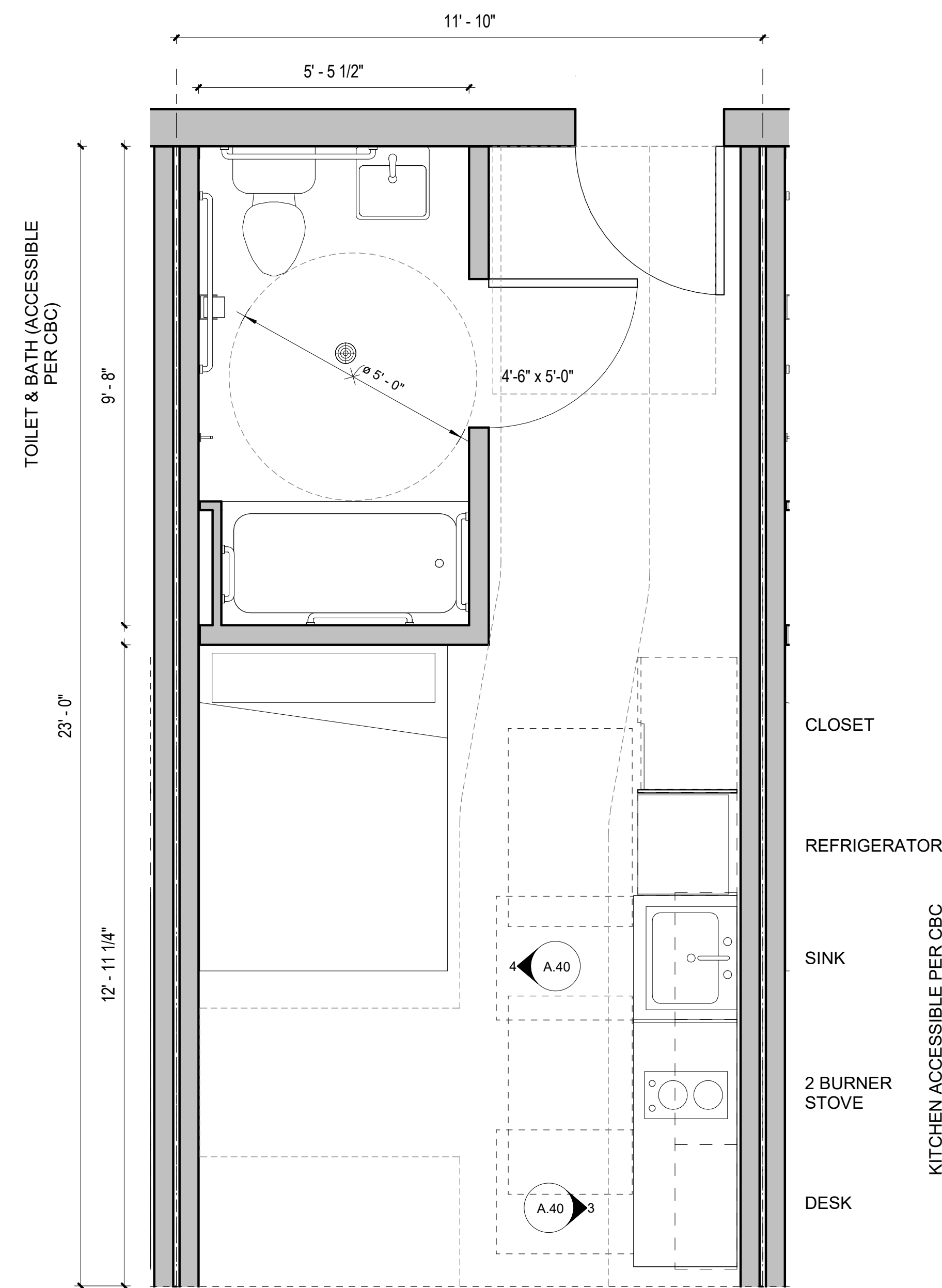
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- B STOREFRONT
- C PANELIZED METAL WALL CLADDING
- D PANELIZED METAL WALL CLADDING 2
- E PANELIZED METAL WALL CLADDING 3
- F PERFORATED METAL PANEL
- G SUNSHADE
- H WINDOW
- I STEEL TRELLIS



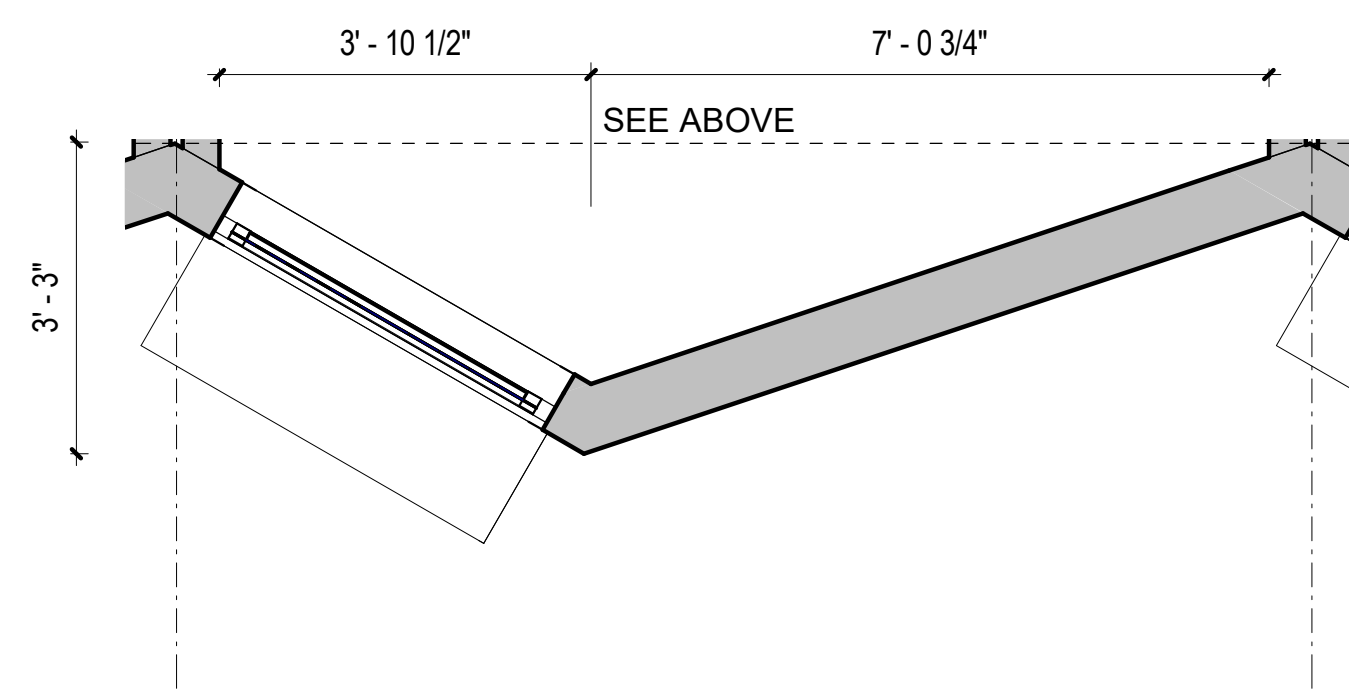
① SECTION NORTH/SOUTH
1" = 10'-0"



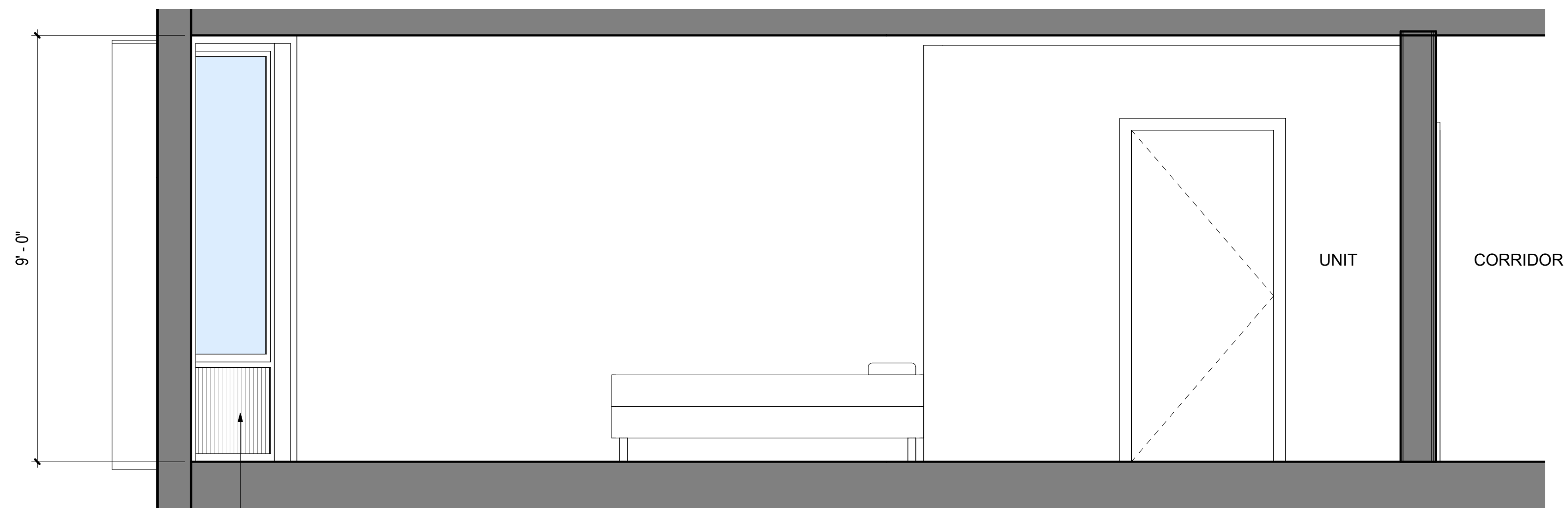
② SECTION EAST/WEST
1" = 10'-0"



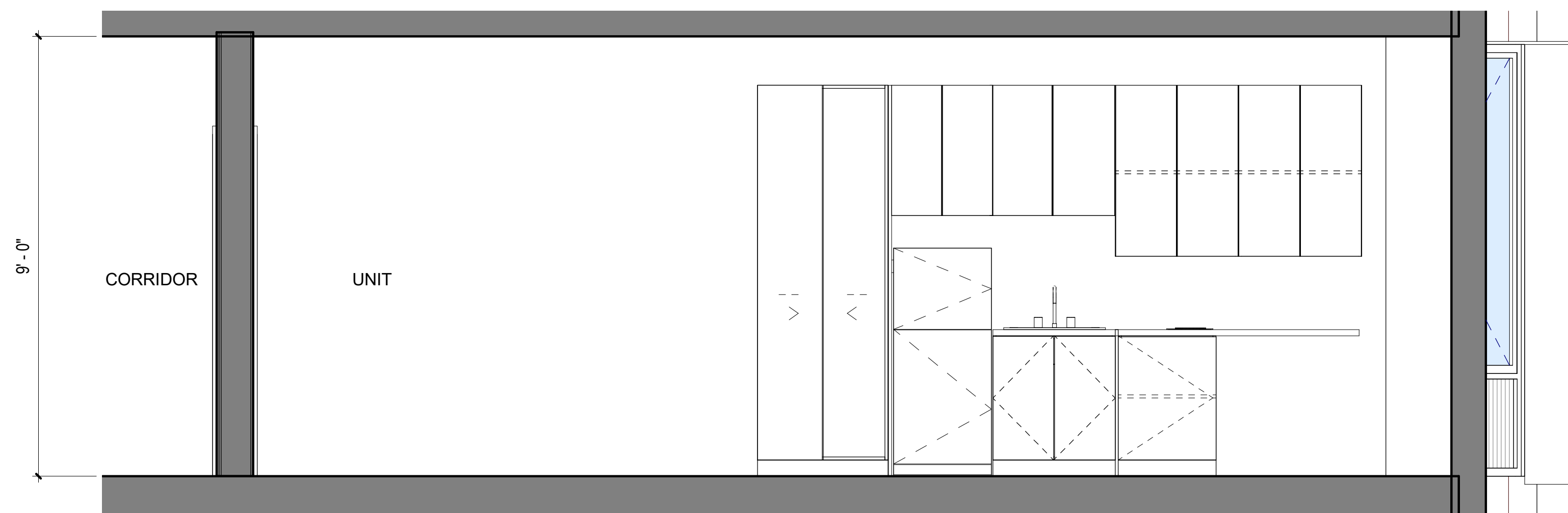
② STUDIO A2 UNIT PLAN
1/2" = 1'-0"



① STUDIO A UNIT PLAN
1/2" = 1'-0"



④ UNIT ELEVATION 2
1/2" = 1'-0"



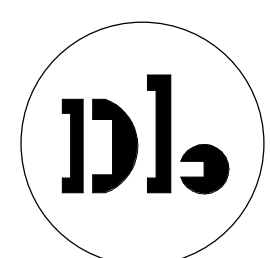
③ UNIT ELEVATION 1
1/2" = 1'-0"



CONCEPTUAL INTERIOR VIEW

SINGLE-ROOM OCCUPANCY (PER 24.12.1010 AND 24.12.1020)

1. SRO Units of 220 square feet or more are required to have a kitchen and a full bathroom.
2. Areas used for food preparation must be defined in building plans and meet the requirements of the State of California Health and Safety Code.
3. A full bathroom shall contain at least a toilet, sink and bathtub, shower or bath/shower combination.
4. All SRO units must have a closet.



David Baker Architects



**180 Santa Cruz -
Permanent Supportive Housing**

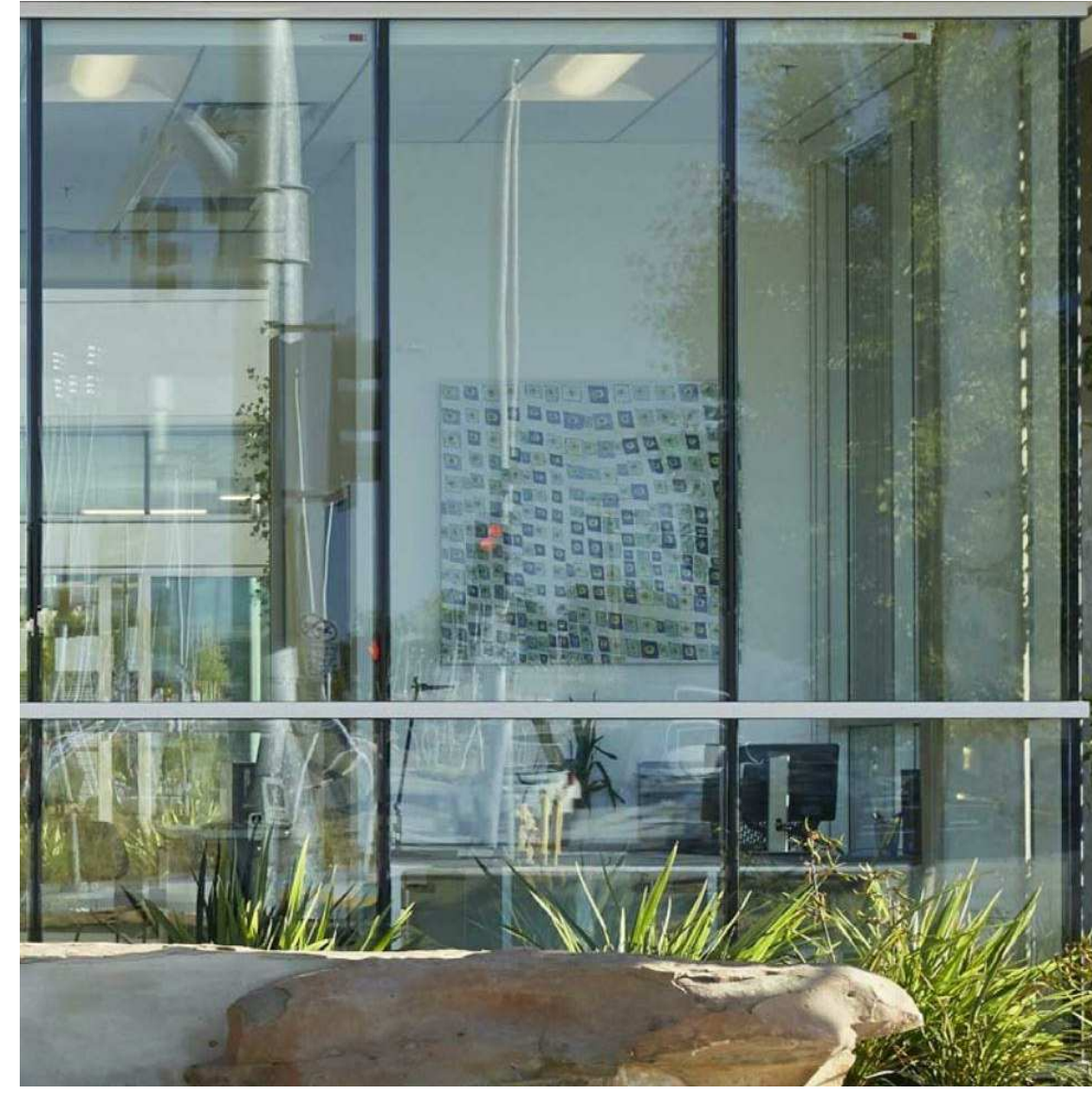
TYPICAL UNITS

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when printed on 24X36

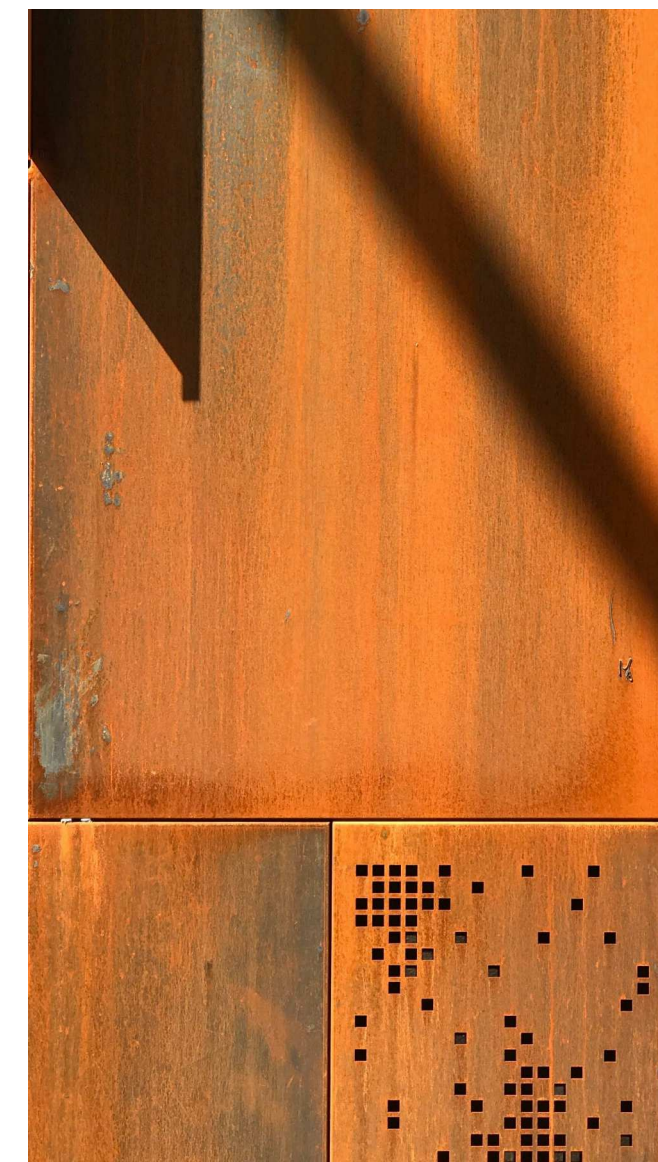
A.40



A. BOARD FORM CONCRETE



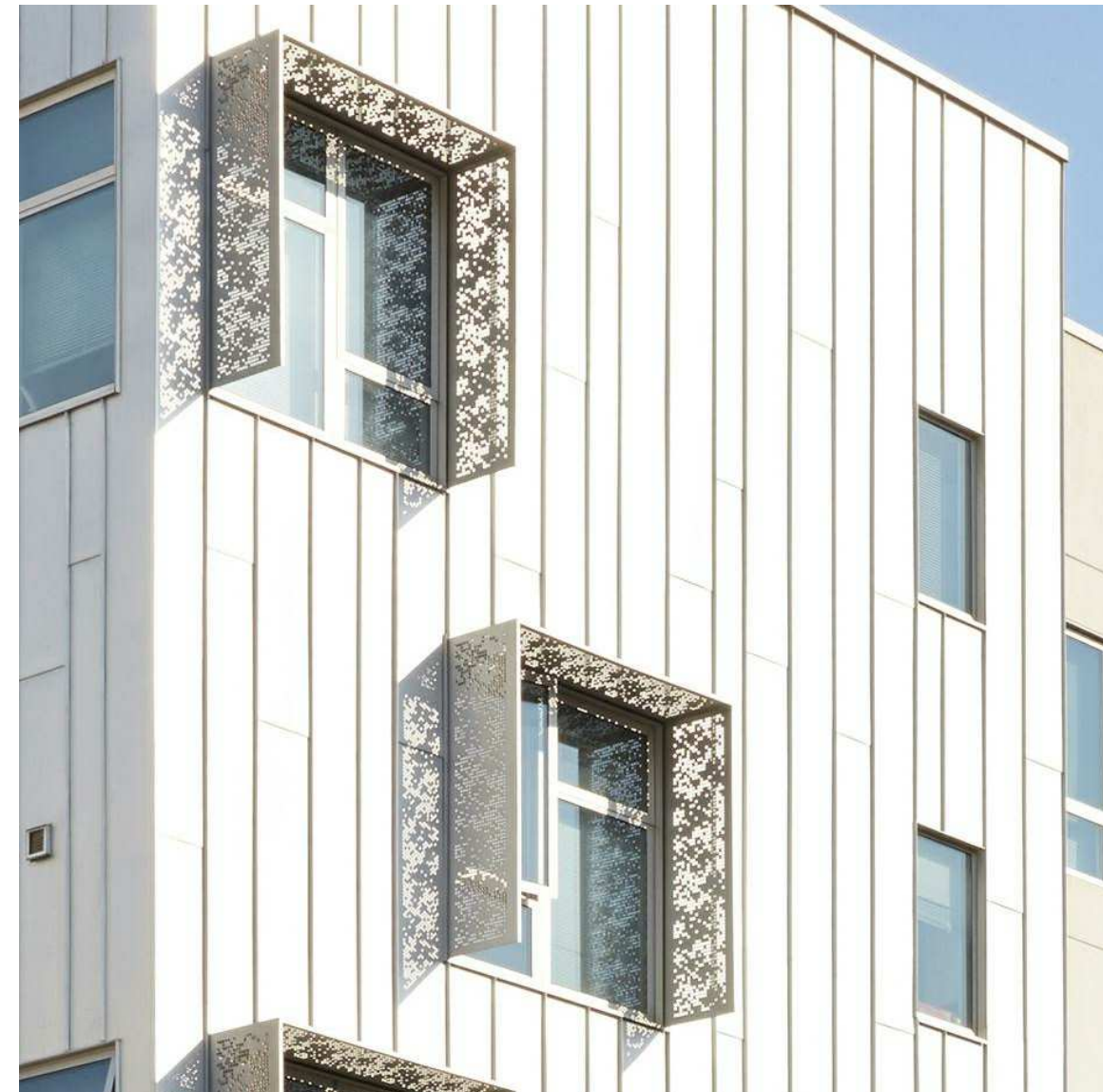
B. STOREFRONT



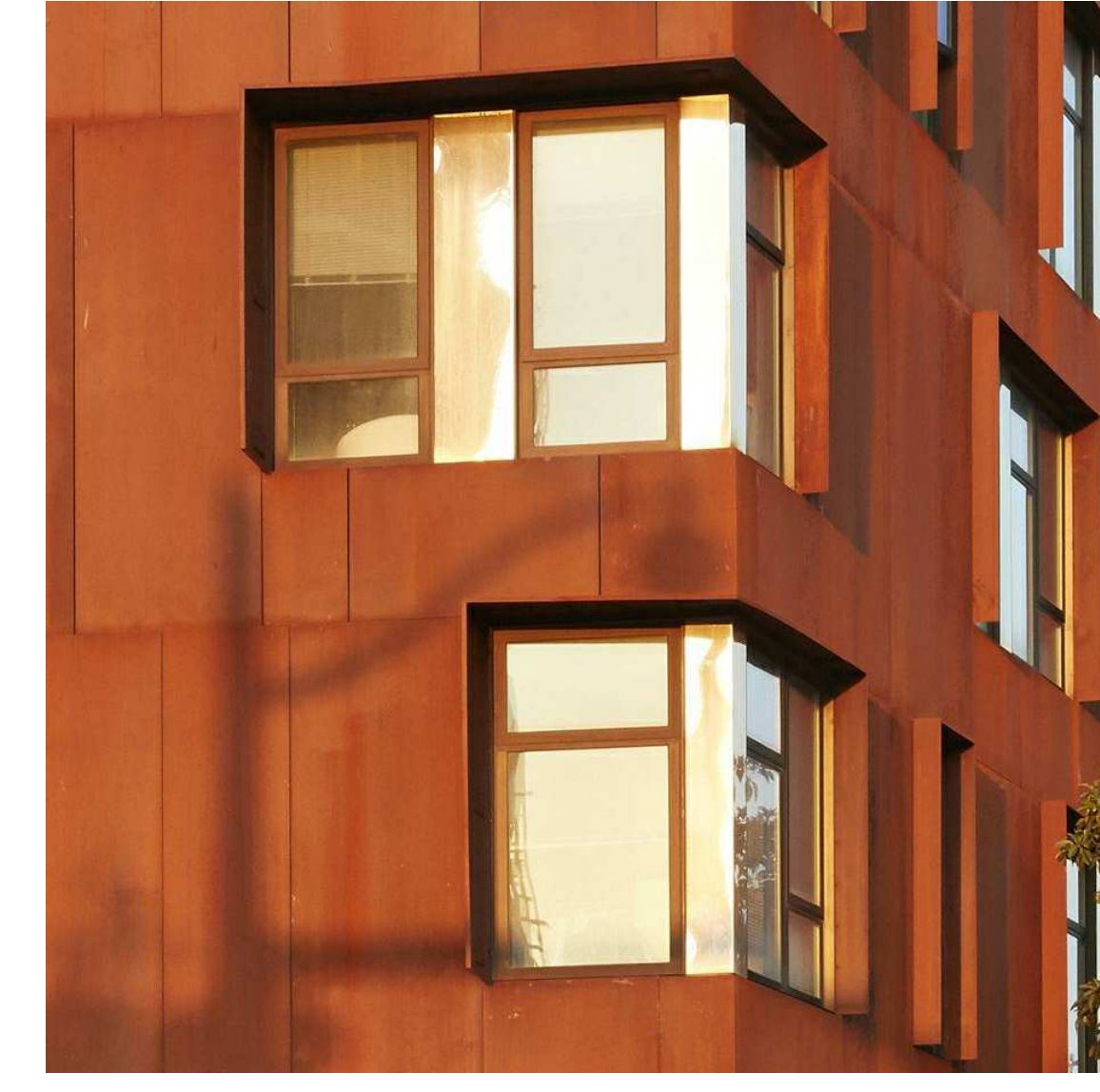
C, D, E. PANELIZED METAL CLADDING



F. PERFORATED METAL SCREEN



G. SUNSHADE



H. WINDOW



I. STEEL TRELLIS