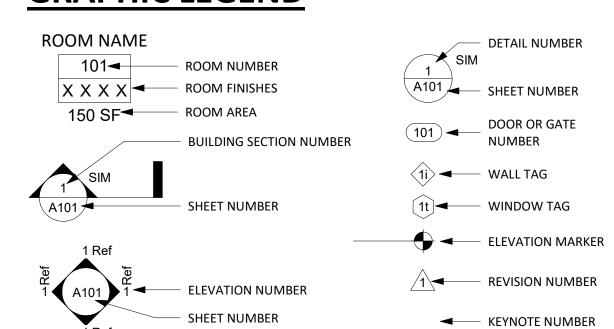
NEW FMALI



PD - STAGED PERMIT APPLICATION

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| | |

GRAPHIC LEGEND



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NEW FMALI 831 ALMAR AVE SANTA CRUZ, CA 950



| Issue | DESCRIPTION | | DATE |
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| 0 | SB330 PreApplicat | ion | 02.15.2024 |
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COVER SHEET INDEX

COASTAL ZONE NARRATIVE

THE LINE THAT DEFINES THE CITY'S COASTAL ZONE GENERALLY RUNS ALONG CENTER LINES OF ESTABLISHED CITY STREETS AS IT JOGS ACROSS SANTA CRUZ. OCCASIONALLY, AND FOR NO APPARENT REASON, IT VEERS DIRECTLY THROUGH VARIOUS PROPERTIES LARGE AND SMALL, EVEN THROUGH EXISTING BUILDINGS. 831 ALMAR IS ONE SUCH INSTANCE.

THIS ADMINISTRATIVE BOUNDARY LINE WAS DRAWN NEARLY FIFTY YEARS AGO, LONG BEFORE THE ADVENT OF THE CITY'S RAIL TRAIL, FOR INSTANCE, WHICH RUNS ALONG THE SOUTHERN BORDER OF 831 ALMAR. IN AN EFFORT TO RATIONALIZE THE PARTIAL INCLUSION OF THIS PROPERTY WITHIN THE COASTAL ZONE, WE HAVE RE-DISTRIBUTED COMPARABLE SQUARE FOOTAGE WITHIN THE ZONE ALONG THE ENTIRE SOUTHERN PROPERTY LINE. IN THIS AREA, BUILDINGS AND USES SHALL BE CONSISTENT WITH THE CURRENT LCP AND BUILDING HEIGHTS WILL STEP DOWN ALONG OUR ENTIRE RAIL TRAIL FRONTAGE, THEREBY RECOGNIZING AND RESPECTING THE TRAIL AS AN IMPORTANT AMENITY SERVING BOTH RESIDENTS AND VISITORS TO SANTA CRUZ.

REFER TO SHEET APO.51 FOR THE CURRENT LOCATION OF THE COASTAL ZONE BOUNDARY AND A REVISED LOCATION WITH EQUIVALENT AREA GIVEN TO THE COASTAL ZONE FRONTAGE ALONG THE RAIL TRAIL.

HISTORICAL NARRATIVE

NEARLY FIFTY YEARS AGO, IN THE WAKE OF DEPARTING MANUFACTURERS LIKE WRIGLEY AND LIPTON, BEN ZARICOR AND LOUISE VENINGA HELPED INITIATE A NEW INDUSTRIAL CULTURE HERE IN SANTA CRUZ. AMONG THE FIRST TO ESTABLISH TRADE WITH CHINA, THEIR COMPANY, FMALI HERBS, INTRODUCED CHINESE GINSENG TO AN AMERICAN MARKET. (LOUISE AUTHORED *THE GINSENG BOOK,* IN FACT.) BEN AND LOUISE FOUGHT AND WON THE LANDMARK COURT BATTLE THAT LEGITIMIZED THE HERBAL INDUSTRY IN AMERICA. AND THEIR GOOD EARTH TEAS FOUND AN APPRECIATIVE AUDIENCE WORLDWIDE

THE IDEALS AND INITIATIVE DISPLAYED BY FMALI HELPED FUEL THE IMAGE OF SANTA CRUZ AS A HUB OF HEALTH-RELATED INDUSTRY, BUT IT HAS BEEN A LONG TIME SINCE THE PROPERTY AND ITS BUILDINGS WERE FULLY-OCCUPIED. THOUGH THEY HAVE WORKED HARD FOR YEARS TO ATTRACT NEW INDUSTRY TO THEIR WAREHOUSE FACILITIES, THERE IS NO EVIDENCE THAT THOSE DAYS WILL EVER RETURN. HAVING MAINTAINED THEIR PROPERTY THROUGH YEARS OF VACANCIES AND UNDER-UTILIZATION, THE OWNERS ARE NOW READY TO TRANSFORM THE PROPERTY TO MEET MORE PRESSING AND OBVIOUS COMMUNITY NEEDS.

NEW FMALI WILL SUPPORT MORE JOBS THAN THE CURRENT FACILITIES EVER DID, JOBS IN R&D, FOOD SERVICES, TECH AND RETAIL. AND JUST AS IMPORTANTLY, THE NEXT GENERATION OF SANTA CRUZ WORKERS AND STUDENTS WILL HAVE A VIBRANT RESIDENTIAL COMMUNITY THAT SUPPORTS ENVIRONMENTAL PRINCIPLES OF SMART GROWTH AND LIVABLE STREETS.

CONTEXT & MOBILITY





SCOPE OF WORK

THE PROJECT INCLUDES TWO NEW BUILDINGS OF APPROXIMATELY 223,692 SQUARE FEET. THIS AREA IS SPLIT ACROSS A MIXED-USE MAIN BUILDING WITH THREE BAR-SHAPED STRUCTURES THAT COLLECTIVELY SHARE A 59,168 SQUARE-FOOT GROUND FLOOR PODIUM AND A SMALLER, WEDGE-SHAPED INDUSTRIAL/COMMERCIAL PODIUM WILL BE TYPE I-A NEW CONSTRUCTION AND THE FLOORS ABOVE WILL BE TYPE III-B CONSTRUCTION. THE WEDGE-SHAPED INDUSTRIAL/COMMERCIAL BUILDING WILL BE TYPE V-A CONSTRUCTION.

TWO OF THE THREE BARS OF THE MAIN MIXED-USE BUILDING ARE 6 STORIES TALL; THE SOUTHERNMOST BAR THAT FACES ONTO THE NEW INTERNAL LANE IS 4 STORIES.

THE UNITS WILL BE A MIX OF ONE-, TWO-, AND THREE-. THERE WILL BE 48 ONE-BEDROOM UNITS, 64 TWO-BEDROOM UNITS, AND 8 THREE-BEDROOM UNITS.

THE PROJECT UTILIZES SB-330 AND CA AB 2097.

WAIVERS ARE REQUESTED FOR:

- OBJECTIVE DEVELOPMENT STANDARDS:
 - 1. 24.12.185.6.A WHERE A COMMON RESIDENTIAL LOBBY IS PROVIDED, THE LOBBY SHALL BE ACCESSED FROM A PUBLIC FRONTAGE.
 - 2. 24.12.185.11 BUILDINGS SHALL BE DESIGNED WITH VARIATION IN ROOF FORM.
 - 3. 24.12.185.16.I UNARTICULATED OR FLAT PANELIZED MATERIALS (SUCH AS METAL, CEMENT BOARD, OR GFRC PANELS) ARE PROHIBITED ON PUBLIC FRONTAGES.

CONCESSIONS ARE REQUESTED FOR:

- BUILDING HEIGHT & STORIES PER SCMC 24.10.550
- INDUSTRIAL INTENSITY REQUIREMENT PER GENERAL PLAN REQUIREMENT

THE PROJECT TEAM RESERVES THE RIGHT TO UTILIZE CONCESSIONS AT A LATER DATE IF NEEDED.

THIS PROPOSAL SEEKS TO DEMOLISH THE EXISTING BUILDING CURRENTLY ON SITE AND BUILD TWO NEWLY CONSTRUCTED BUILDINGS. THE EXISTING BUILDING IS VACANT AND CURRENTLY UNDERUTILIZES THE SUBJECT PARCEL.

THE PROPOSED NEW CONSTRUCTION PROVIDES APPROXIMATELY 13,455 SF PEDESTRIAN FRIENDLY COMMERCIAL/INDUSTRIAL SPACE ON THE GROUND FLOOR CORNER FACING ALMAR AVENUE AND A NEW INTERNAL MULTI-USE ACCESS LANE. THIS NEW INTERNAL LANE PROVIDES ACCESS TO THE SITE, WITH INDUSTRIAL COMMERCIAL SPACE FACING ONTO THIS CAR AND PEDESTRIAN-FRIENDLY PASSAGE FROM BOTH BUILDINGS. A PUBLICLY ACCESSIBLE COURT OPENS ON TO THE INTERNAL LANE ACTS AS A SPILL-OUT SPACE FOR THE SURROUNDING INDUSTRIAL COMMERCIAL SPACES. PLANTERS AND BOLLARDS PROTECT AND DEFINE THE PEDESTRIAN ONLY ACCESS PATHS IN THE OTHERWISE CURB-LESS LANE. THE WEDGE-SHAPED BUILDING INCLUDES ITS OWN ELEVATOR TO AN UPPER-LEVEL COMMON TERRACE WHICH ALLOWS PUBLIC ACCESS TO A PAVILION AND ROOF TERRACE WITH VIEWS TOWARDS THE RAIL TRAIL.

AN APPROX. 39,330 SF PARKING GARAGE IS PROVIDED, WITH ELECTRIC VEHICLE CHARGING STATIONS AND ACCESSIBLE PARKING.

THERE IS A LOBBY ENTRY SPACE FOR RESIDENTS WITH AMENITIES INCLUDING A MAIL/PACKAGE ROOM AND LARGE OPEN-AIR TERRACES FOR RESIDENTIAL USE ON THE 2ND FLOOR ABOVE THE GROUND FLOOR PODIUM. OTHER AMENITIES LOCATED THROUGHOUT THE PROPOSED BUILDING INCLUDE SHARED ROOF AREAS, LONG-TERM BICYCLE PARKING FOR EVERY UNIT (CLASS-I), AND RESIDENT STORAGE OUTSIDE OF THE UNITS.

THE TENANT ENTRY LOBBY AND ADJACENT OPEN COURTYARD ARE ACCESSED FROM THE NEW INTERNAL LANE.

SUPPORTING UTILITY SPACES FOR BOTH THE COMMERCIAL AND THE RESIDENTIAL SPACES ARE PROVIDED. PUBLIC BICYCLE PARKING (CLASS-II) IS INCLUDED ALONG THE INTERNAL LANE AND ALMAR AVENUE.

.003-051-07

SOME ROOF SPACE IS INTENDED FOR MECHANICAL EQUIPMENT AND SOLAR PHOTOVOLTAICS.

PROJECT DATA

| ZONING DISTRICT: | IGP2 (GE | NERAL INDUSTRIAL PERF 2) |
|---|----------------------|--------------------------|
| LAND USE DESIGNATION: | | IND (INDUSTRIAL) |
| COASTAL ZONE: | | CEZ A |
| URBAN SERVICES LINE: | | YES, WITHIN |
| OCCUPANCY GROUP: | | MIXED USE B & R-2 |
| BUILDING CONSTRUCTION T | YPE: | I-A, III-B, V-A |
| BUILDING SPRINKLERED: | | YES |
| LOT SIZE: | | 85,900.32 SF (1.97 AC) |
| EXISTING BUILDING AREA (W | VAREHOUSE): | 44,826 SF |
| PROPOSED BUILDING AREAS | S (SEE BUILDING GROS | SS AREA ABOVE): |
| RESIDENTIAL: | | 73,666 SF |
| PARKING, AMENITY, S | ERVICE: | 140,058 SF |
| COMMERCIAL: | | 13,455 SF |
| EXISTING LOT COVERAGE: | (44,826 SF) | 52% |
| NEW LOT COVERAGE: | (59,168 SF) | 69% |
| | • | |

SITE CONDITIONS

POINT SOURCE AIR/WATER POLLUTANTS: NO

| VERY HIGH FIRE SEVERITY ZONE: | NO |
|-----------------------------------|---------------------------|
| WETLANDS: | NO |
| HAZARDOUS WASTE SITE: | NO |
| SPECIAL FLOOD HAZARD AREA SUBJECT | |
| TO INUNDATION BY 100-YEAR FLOOD: | NO |
| DELINEATED EARTHQUAKE FAULT ZONE: | NO |
| HISTORIC/CULTURAL RESOURCES: | ARCHAELOGICALLY SENSITIVE |
| | EXEMPTION MAY APPLY |
| SPECIES OF CONCERN: | NO |
| RECORDED PUBLIC EASEMENTS: | NO |
| COASTAL ZONE: | CEZ-A |
| STREAM OR OTHER RESOURCE: | NO |
| | |
| | |



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831 ALMAR AVE SANTA CRUZ, CA 950

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PROJECT INFO

BUILDING GROSS AREA

GROSS AREA BY USE

| LEVEL | RESIDENTIAL | CIRCULATION | PARKING | AMENITY | SERVICE / MECH. | COMMERCIAL / INDUSTRIAL | STORAGE | TOTALS |
|--------------|-------------|-------------|-----------|----------|--------------------|-------------------------|-----------|------------|
| LEVEL 1 | 0 SF | 4,283 SF | 39,330 SF | 3,467 SF | 2,541 SF | 9,546 SF | 0 SF | 59,168 SF |
| LEVEL 2 | 13,702 SF | 10,432 SF | 0 SF | 0 SF | 139 SF | 3,908 SF | 10,358 SF | 38,539 SF |
| LEVEL 3 | 17,251 SF | 9,531 SF | 0 SF | 0 SF | 139 SF | 0 SF | 11,267 SF | 38,188 SF |
| LEVEL 4 | 17,273 SF | 9,540 SF | 0 SF | 0 SF | 138 SF | 0 SF | 11,250 SF | 38,201 SF |
| LEVEL 5 | 12,715 SF | 6,793 SF | 0 SF | 0 SF | 138 SF | 0 SF | 6,897 SF | 26,543 SF |
| LEVEL 6 | 12,725 SF | 6,776 SF | 0 SF | 0 SF | 139 SF | 0 SF | 6,901 SF | 26,540 SF |
| GRAND TOTALS | 73,666 SF | 47,355 SF | 39,330 SF | 3,467 SF | 3,232 SF | 13,455 SF | 46,674 SF | 227,180 SF |

PROJECT - UNIT COUNT

| UNIT TYPE | UNIT COUNT | BEDROOM COUNT |
|-------------|-------------------|----------------------|
| OUBLE UNIT | 60 | 120 |
| SINGLE UNIT | 48 | 48 |
| TRIPLE UNIT | 12 | 36 |
| TOTAL | 120 | 204 BEDROOMS |

REFER TO **RESIDENTIAL DENSITY NOTES** FOR ALLOWED UNIT COUNTS

NOTE:

60 DUs

workbench

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PLANNING CODE NOTES

THE PROJECT PROPOSES TO PROVIDE MIXED USE BUILDINGS WITH INDUSTRIAL/COMMERCIAL USE AND MULTI-FAMILY RESIDENTIAL USE AS ALLOWED BY SPECIAL USE PERMIT PER SCMC 24.10.1610.2(g) FOR A PROJECT TO COMPLY W/ R-M ZONING DISTRICT REGULATIONS. DISTRICT REGULATIONS FOR BOTH THE R-M & I-G ZONES ARE SHOWN. NOTE THAT DISTRICT REGULATIONS ARE NOT LISTED IN THE SCMC FOR THE IG/PER-2 ZONE AND I-G REGULATIONS ARE SHOWN

I-G DISTRICT REGULATIONS

BUILDING HEIGHT

HT. LIMIT: PRINCIPAL: ACCESSORY: 25'

HT. ABOVE LIMIT: NOTE: PER 24.10.1590(1) MIXED USE BUILDINGS THAT PROVIDE

RESIDENTIAL AND EDUCATION USES MAY EXCEED IG DISTRICT

REGULATIONS UP FOUR STORIES AND SIXTY-FIVE FEET

SETBACKS SETBACKS:

- / ---

FRONT: SCMC 24.10.1590 SIDE INTERIOR:

SIDE EXTERIOR: 10' REAR:

LOT COVERAGE: 80% - REFER TO DENSITY CALCS

R-M DISTRICT REGULATIONS

BUILDING HEIGHT

(3) OR MORE DUs: HT. LIMIT: ACCESSORY (STORIES & FT): 1 & 15'

SETBACKS SETBACKS: FRONT: SCMC 24.10.550 SIDE INTERIOR: 10' REAR:

SETBACKS PROVIDED SEE PLANS HEIGHT PROVIDED 72'

REQUIRED: 38,400 SF **USABLE OPEN SPACE**

SCMC 24.10.550 200 SF PER STUDIO/1-BED OR 400 SF PER 2+ BED UNIT

PROVIDED: 44,915 SF

SEE SHEET GPO.05 FOR OPEN SPACE EXHIBIT

RESIDENTIAL DENSITY:

THE PROJECT PROPOSES TO PROVIDE MIXED USE BUILDINGS WITH INDUSTRIAL/COMMERCIAL USE AND MULTI-FAMILY RESIDENTIAL USE AS ALLOWED BY SPECIAL USE PERMIT PER SCMC 24.10.1610.2(g) FOR A PROJECT TO COMPLY W/ R-M ZONING DISTRICT REGULATIONS.

PER SCMC 24.10.550 1,450 SF OF LOT AREA IS REQUIRED PER 2+ BEDROOM DWELLING UNIT. BASE DENSITY FOR THE

85,900 SF LOT = 85,900 SF / 1,450 =

A DENSITY BONUS OF 50% AS ALLOWED BY CGC 65915-65918 IS PROPOSED BY PROVIDING 15% OF THE BASE DENSITY

UNITS AT VERY LOW INCOME LEVEL. 50% OF 60 DUS = **30 BONUS DUs**

A DENSITY BONUS OF 50% AS ALLOWED BY SB1287 IS

PROPOSED BY PROVIDING 15% OF THE BASE DENSITY UNITS AT A MODERATE INCOME LEVEL. 50% OF 60 DUs = 30 BONUS DUs

TOTAL PROPOSED DENSITY = 60 + 30 + 30 = **120 DUs**

PROPOSED AFFORDABLE UNITS:

PER CGC 65919-65918 AFFORDABLE UNITS PROVIDED = 15% OF 60 = 9 VERY LOW INCOME UNITS

PER SB 1287 AFFORDABLE UNITS REQUIRED = 15% OF 60 =

9 MODERATE INCOME UNITS

SEE FLOOR PLANS FOR LOCATIONS OF AFFORDABLE UNITS

PARKING

SCMC 24.12.240 RESIDENTIAL REQUIREMENT:

1 SPACE PER 0 OR 1 BEDROOM 2 SPACES PER 2+ BEDROOM + 10% FOR GUEST PARKING

TOTAL RESIDENTIAL PARKING SPACES REQUIRED = 212 SPACES

SCMC 24.12.240 **COMMERCIAL REQUIREMENT:**

1 SPACE PER 250 SF BASED ON RETAIL/SHOP USE

39 SPACES TOTAL COMMERCIAL PARKING SPACES REQUIRED = **251 SPACES TOTAL PARKING SPACES REQUIRED =**

CBC 1109A.3 & **ACCESSIBLE REQUIREMENT:**

11B-208.2 2% OF REQUIRED SPACES FOR RESIDENTIAL

2 FOR 25-60 SPACES FOR COMMERCIAL

ACCESSIBLE PARKING SPACES REQUIRED =

CBC 11B-208.2.4 VAN ACCESSIBLE REQUIREMENT: 1 PER FRACTION OF 6 SPACES

> 2 SPACES VAN ACCESSIBLE SPACES REQUIRED =

7 SPACES

CGBSC 4.106.4.2.2 **ELECTRIC VEHICLE PARKING REQUIREMENT:**

26 SPACES 10% E/V CAPABLE SPACES = 25% E/V READY SPACES = 63 SPACES 5% E/V CHARGERS = 13 SPACES

AB2097 AB 2097 PROHIBITS ANY MINIMUM AUTOMOBILE PARKING

REQUIREMENT ON ANY RESIDENTIAL, COMMERCIAL, OR OTHER DEVELOPMENT PROJECT, AS DEFINED, THAT IS LOCATED WITHIN 1/2 MILE OF PUBLIC TRANSIT, AS DEFINED. REDUCTION OF ELECTRICAL VEHICLE CHARGING PARKING SPACES AND ACCESSIBLE PARKING SPACES IS

PROHIBITED.

PARKING 95 TOTAL PARKING SPACES ARE PROVIDED, INCLUDING: PROVIDED:

> **8 ACCESSIBLE PARKING SPACES** 2 VAN ACCESSIBLE PARKING SPACES 13 E/V CHARING SPACES

SCMC 24.12.250

BICYCLE PARKING REQUIRED: 120 CLASS-1 SPACES RESIDENTIAL (1 SPACE / UNIT)

30 CLASS-2 SPACES RESIDENTIAL (1 SPACE / 4 UNITS) **2 CLASS-1 SPACES COMMERCIAL** (20% OF 1 SPACE PER 1,500 SF) 6 CLASS-2 SPACES COMMERCIAL (80% OF 1 SPACER PER 1,500 SF)

MORE INFO ON **BICYCLE PARKING**

BICYCLE PARKING

PROVIDED:

SEE AP9.02 FOR

412 SPACES

362 CLASS-1 SPACES (360 RESIDENTIAL + 2 COMMERCIAL)

44 CLASS-2 SPACES (30 SPACES RESIDENTIAL + 14 COMMERCIAL)

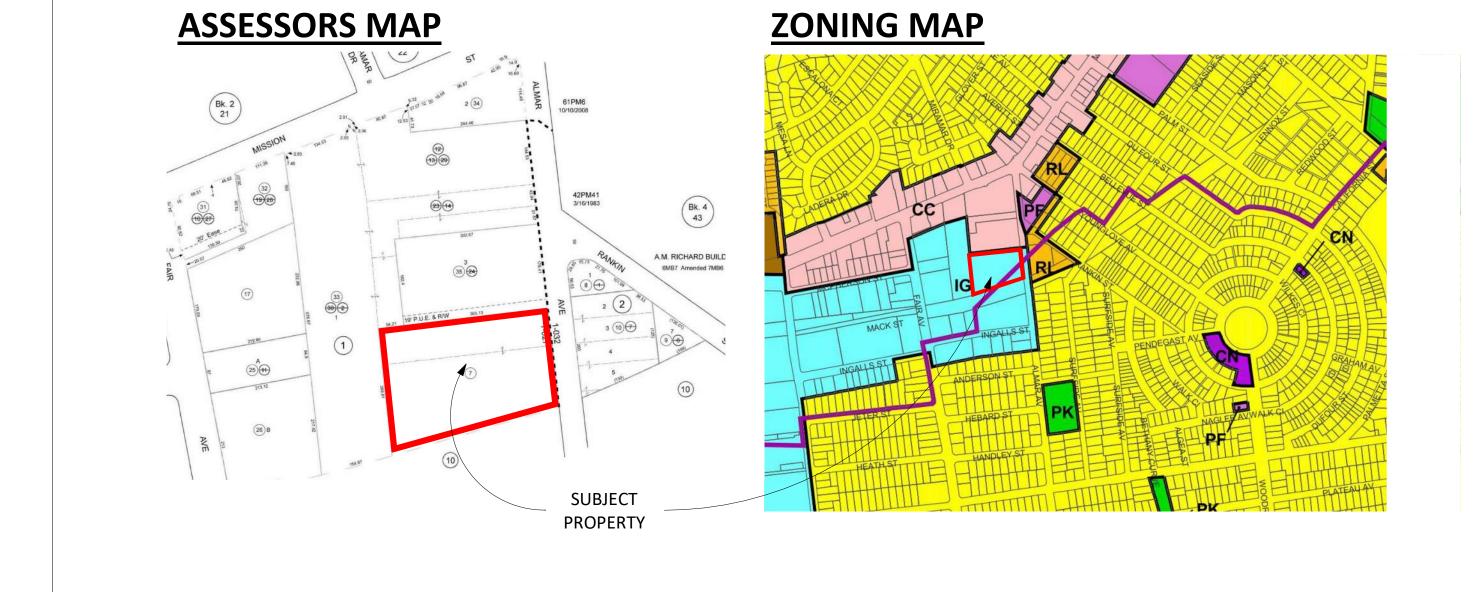
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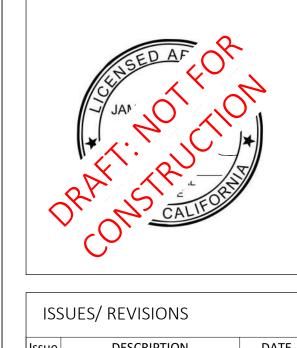
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EXISTING SITE PHOTOS





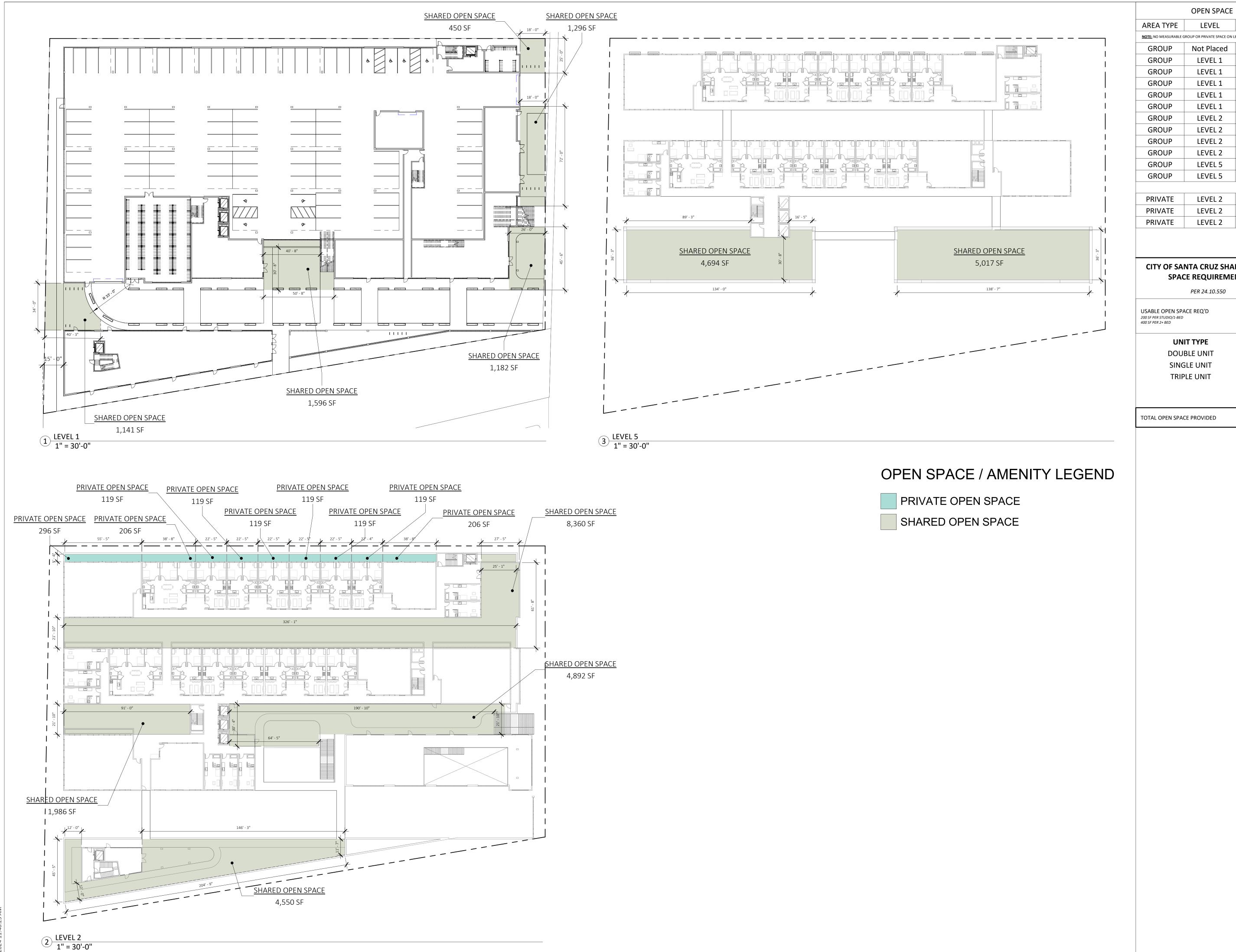














CITY OF SANTA CRUZ SHARED OPEN SPACE REQUIREMENTS

PER 24.10.550

38,400 GSF

| UNIT TYPE | UNIT COUN |
|------------------|-----------|
| DOUBLE UNIT | 60 |
| SINGLE UNIT | 48 |
| TRIPLE UNIT | 12 |
| | 120 |
| | |

5,017 SF

35,165 SF

716 SF

412 SF

296 SF

1,424 SF

36,589 SF

44,915 GSF



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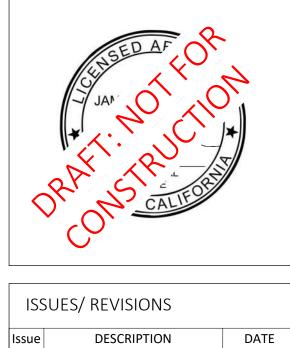
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831 ALMAR AVE SANTA CRUZ, CA

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OPEN SPACE EXHIBIT





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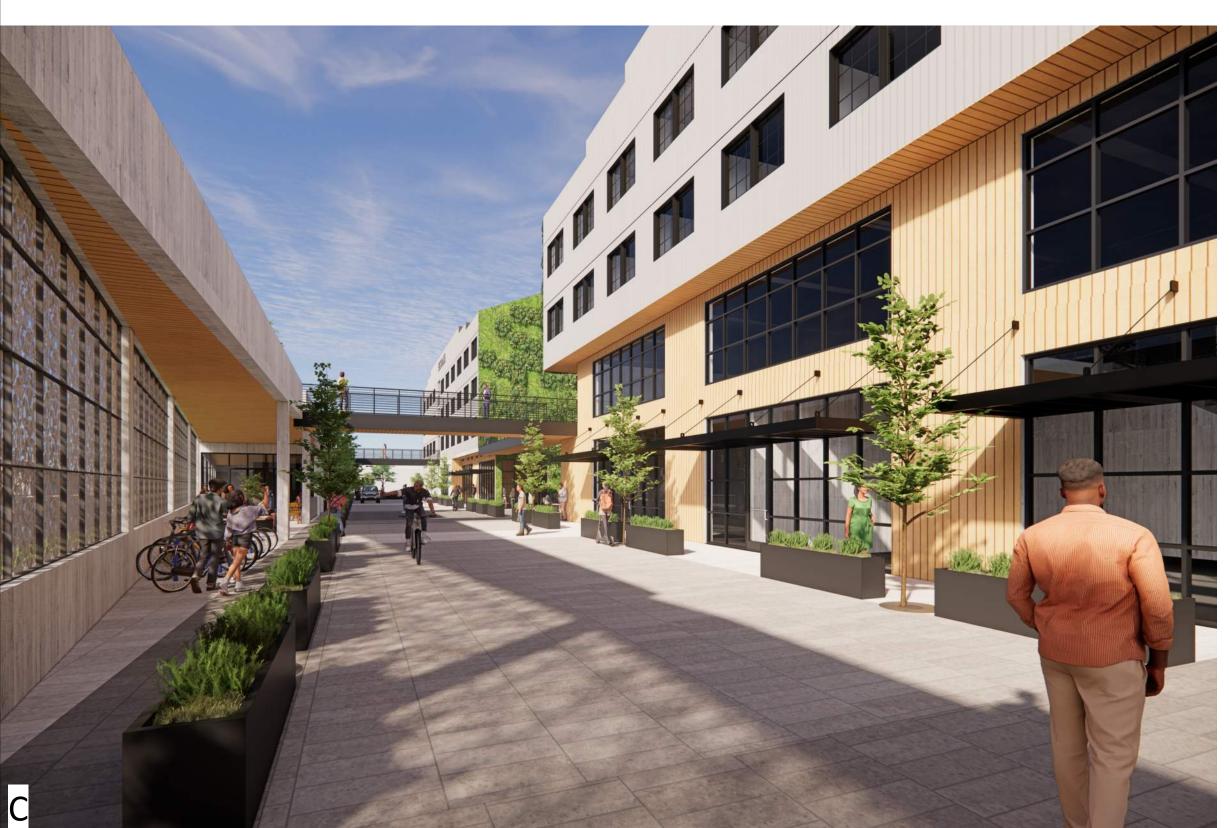
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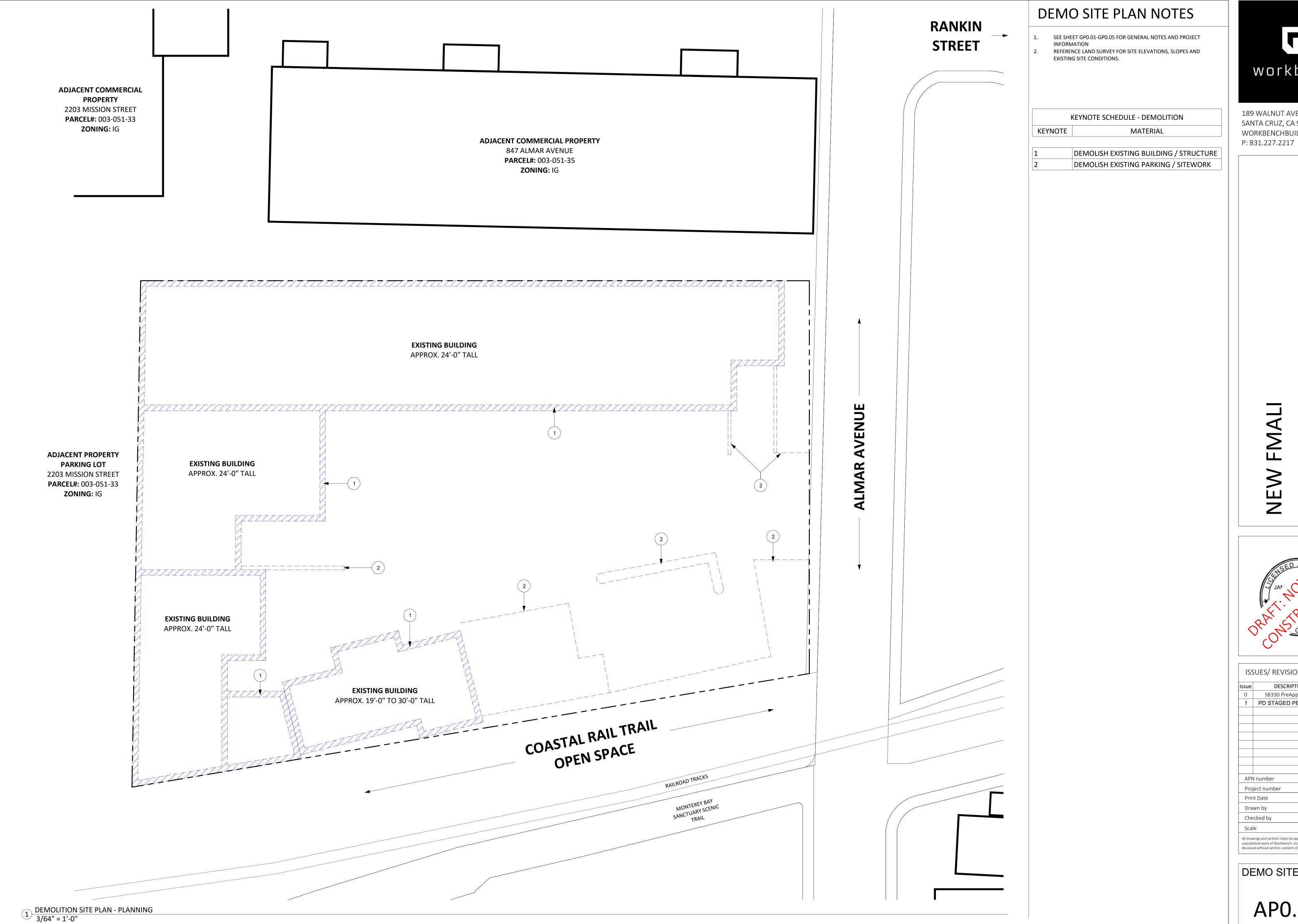














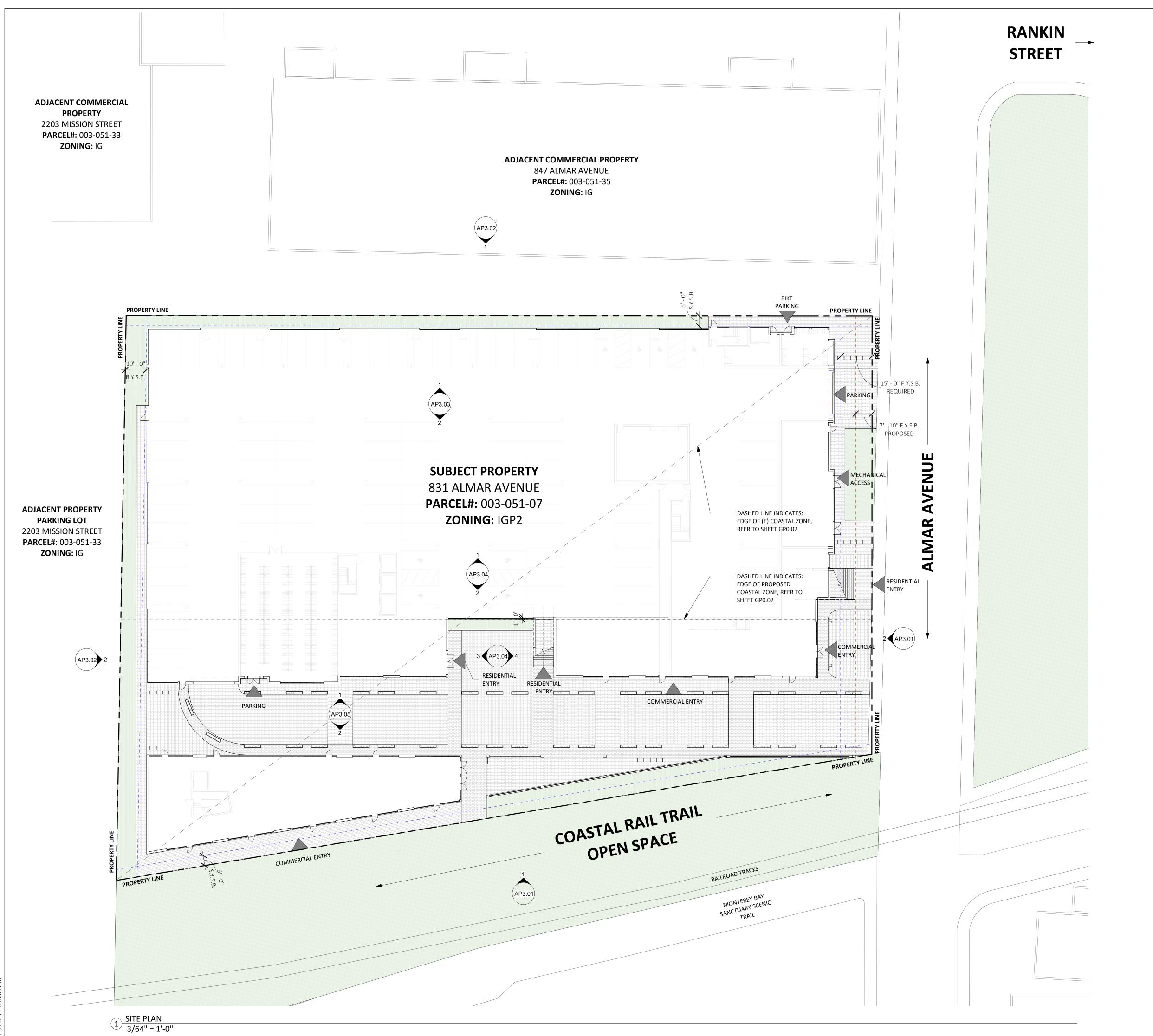
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DEMO SITE PLAN

AP0.50D



SITE PLAN NOTES

- . SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT
- INFORMATION
 . ADJACENT BUILDING HEIGHTS ARE APPROXIMATE AND ARE TAKEN FROM ADJACENT GRADE ELEVATIONS.
- REFERENCE LAND SURVEY FOR SITE ELEVATIONS, SLOPES AND EXISTING SITE CONDITIONS.
- - - = REQUIRED SETBACK
 - - = PROPOSED SETBACK
 (WAIVER SOUGHT UNDER STATE DENSITY BONUS)



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| 0 | SB330 PreApp | licatio | n | 02.15.2024 |
| 1 | PD STAGED PE | RMIT | APP | 08.19.2024 |
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| APN | number | | 003 | 3-051-07 |
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TRUE PROJECT
NORTH NORTH

PROPOSED SITE PLAN

AP0.51



1. SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION

--- = REQUIRED SETBACK - - - - = PROPOSED SETBACK

| UNIT TYPE | UNIT COUNT | NET AREA |
|-------------|------------|-------------|
| DOUBLE UNIT | 60 | 40,448 NSF |
| SINGLE UNIT | 48 | 13,680 NSF |
| TRIPLE UNIT | 12 | 35,292 NSF |
| | 120 | 27,025 NSF |
| TOTAL | : | 116,445 NSF |

| ORDABLE UNIT MIX: | | |
|-------------------|----|--------|
| RY LOW INCOMF ─► | A1 | 9 MODE |

DERATE INCOME —▶ A2

(2) 1-BED UNITS (5) 2-BED UNITS (2) 3-BED UNITS

766.08 NSF

FLOOR PLAN KEYED NOTES

| KEYNOTE SCHEDULE - FLOOR PLAN | | | | | |
|-------------------------------|---|--|--|--|--|
| KEYNOTE MATERIAL | | | | | |
| · | | | | | |
| 1 | ALIGN | | | | |
| 2 | CLASS I BIKE STORAGE | | | | |
| 3 | CLASS II BIKE STORAGE | | | | |
| 4 | SHARED PEDESTRIAN WALKWAY / DRIVEWAY | | | | |
| 5 | PATTERNED METAL FENCE / GATE / SCREEN OR SIM. | | | | |
| 6 | OVERHEAD GARAGE DOOR | | | | |
| 7 | EXTERIOR SITE STAIR | | | | |
| 8 | AT GRADE PLANTING | | | | |
| 9 | RESIDENTIAL STORAGE, TYP. | | | | |
| 10 | STRUCTURAL COLUMN / ELEMENT | | | | |
| 11 | PROPOSED PLANTER, TYP | | | | |
| 12 | EXTERIOR WALKWAY / BRIDGE | | | | |
| 13 | SITE SIGNAGE, REFER ELEVATIONS | | | | |
| 14 | PRIVATE TERRACE | | | | |
| 15 | JULIET BALCONY, REFER ELEVATIONS | | | | |
| 16 | EXTERIOR CIRCULATION | | | | |
| 17 | DASH INDICATES BUILDING/WALKWAY/CANOPY OVERHEAD | | | | |



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> 831 ALMAR AVE SANTA CRUZ, CA NEW

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| Issue | DESCRIPTION | l | DATE |
|---|------------------|---------|--------------|
| 0 | SB330 PreApplica | ition | 02.15.2024 |
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| Dra | wn by | DS, | /ОН/МВ |
| Che | cked by | | EB |
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PROPOSED LEVEL 1 FLOOR PLAN

AP1.01

TRUE PROJECT

NORTH NORTH



- 1. SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION
- - - = REQUIRED SETBACK - - - = PROPOSED SETBACK
 (WAIVER SOUGHT UNDER STATE DENSITY BONUS)

UNIT MIX

| UNIT TYPE | UNIT COUNT | NET AREA | |
|----------------|------------|-------------|--|
| DOUBLE UNIT | 60 | 40,448 NSF | |
| SINGLE UNIT | 48 | 13,680 NSF | |
| TRIPLE UNIT | 12 | 35,292 NSF | |
| | 120 | 27,025 NSF | |
| TOTAL | - | 116,445 NSF | |
| AVERAGE NET SF | | 766.08 NSF | |

AFFORDABLE UNIT MIX:

| | ٦ | | \neg |
|--------------------|---|-------------------------------------|--------|
| RY LOW INCOME — A1 | ٥ | 9 MODERATE INCOME — A2 | |
| (3) 1-BED UNITS | ٠ | • (2) 1-BED UNITS | |
| (4) 2-BED UNITS | • | • (5) 2-BED UNITS | |
| (2) 3-BED UNITS | (| (2) 3-BED UNITS | |

FLOOR PLAN KEYED NOTES

| | KEYNOTE SCHEDULE - FLOOR PLAN | |
|---------|--|--|
| KEYNOTE | MATERIAL | |
| | | |
| 1 | ALIGN | |
| 2 | CLASS I BIKE STORAGE | |
| 3 | CLASS II BIKE STORAGE | |
| 4 | SHARED PEDESTRIAN WALKWAY / DRIVEWAY | |
| 5 | PATTERNED METAL FENCE / GATE / SCREEN OR SIM. | |
| 6 | OVERHEAD GARAGE DOOR | |
| 7 | EXTERIOR SITE STAIR | |
| 8 | AT GRADE PLANTING | |
| 9 | RESIDENTIAL STORAGE, TYP. | |
| 10 | STRUCTURAL COLUMN / ELEMENT | |
| 11 | PROPOSED PLANTER, TYP | |
| 12 | EXTERIOR WALKWAY / BRIDGE | |
| 13 | SITE SIGNAGE, REFER ELEVATIONS | |
| 14 | PRIVATE TERRACE | |
| 15 | JULIET BALCONY, REFER ELEVATIONS | |
| 16 | EXTERIOR CIRCULATION | |
| 17 | DASH INDICATES BUILDING/WALKWAY/CANOPY OVERHEAD | |



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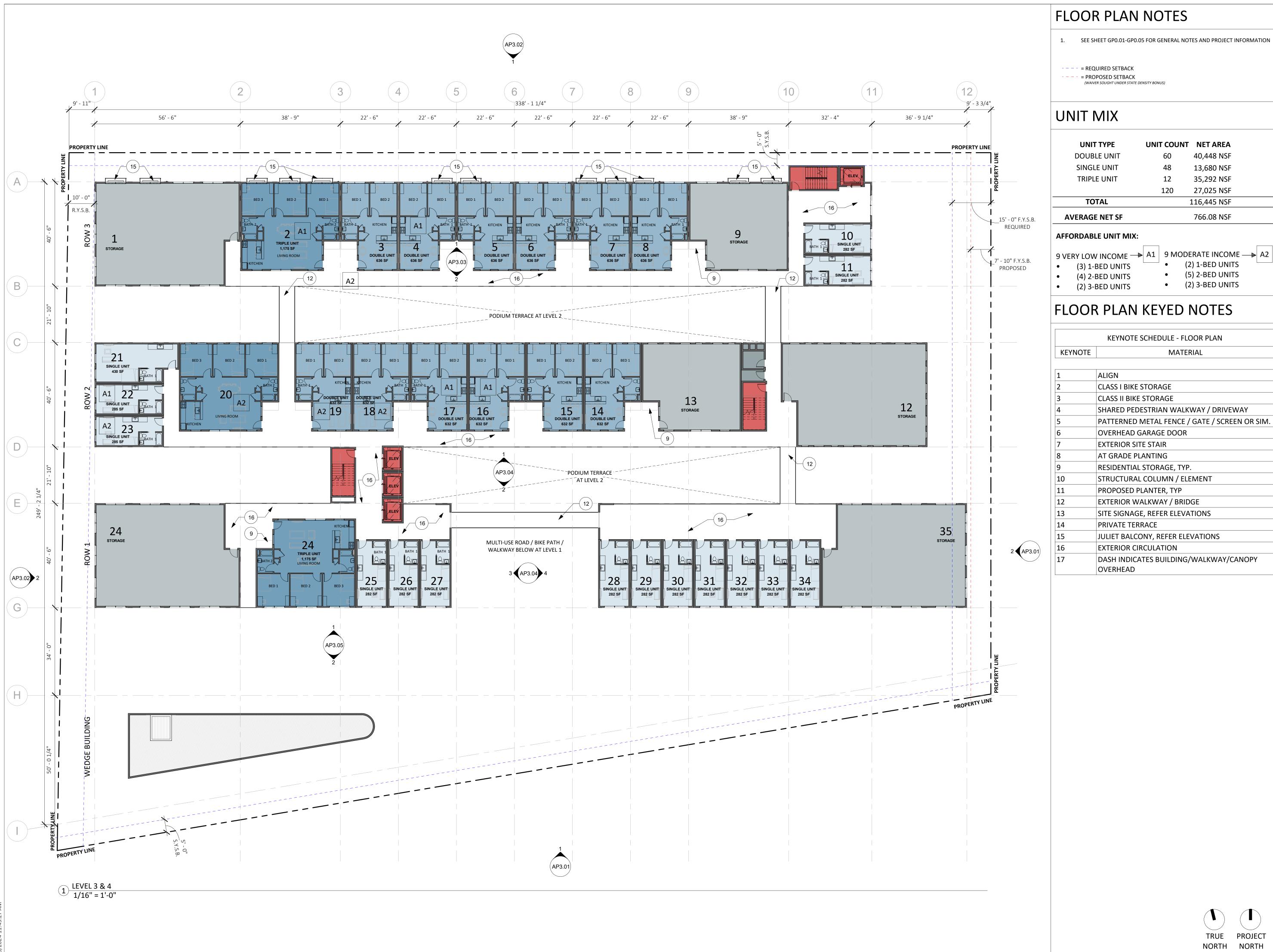
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PROPOSED LEVEL 2 FLOOR PLAN

AP1.02

TRUE PROJECT

NORTH NORTH





FLOOR PLAN KEYED NOTES

UNIT COUNT NET AREA

120

40,448 NSF

13,680 NSF

35,292 NSF 27,025 NSF

116,445 NSF

766.08 NSF

(2) 1-BED UNITS

• (5) 2-BED UNITS

• (2) 3-BED UNITS

| | KEYNOTE SCHEDULE - FLOOR PLAN |
|---------|---|
| KEYNOTE | MATERIAL |
| | |
| 1 | ALIGN |
| 2 | CLASS I BIKE STORAGE |
| 3 | CLASS II BIKE STORAGE |
| 4 | SHARED PEDESTRIAN WALKWAY / DRIVEWAY |
| 5 | PATTERNED METAL FENCE / GATE / SCREEN OR SIM |
| 6 | OVERHEAD GARAGE DOOR |
| 7 | EXTERIOR SITE STAIR |
| 8 | AT GRADE PLANTING |
| 9 | RESIDENTIAL STORAGE, TYP. |
| 10 | STRUCTURAL COLUMN / ELEMENT |
| 11 | PROPOSED PLANTER, TYP |
| 12 | EXTERIOR WALKWAY / BRIDGE |
| 13 | SITE SIGNAGE, REFER ELEVATIONS |
| 14 | PRIVATE TERRACE |
| 15 | JULIET BALCONY, REFER ELEVATIONS |
| 16 | EXTERIOR CIRCULATION |
| 17 | DASH INDICATES BUILDING/WALKWAY/CANOPY OVERHEAD |



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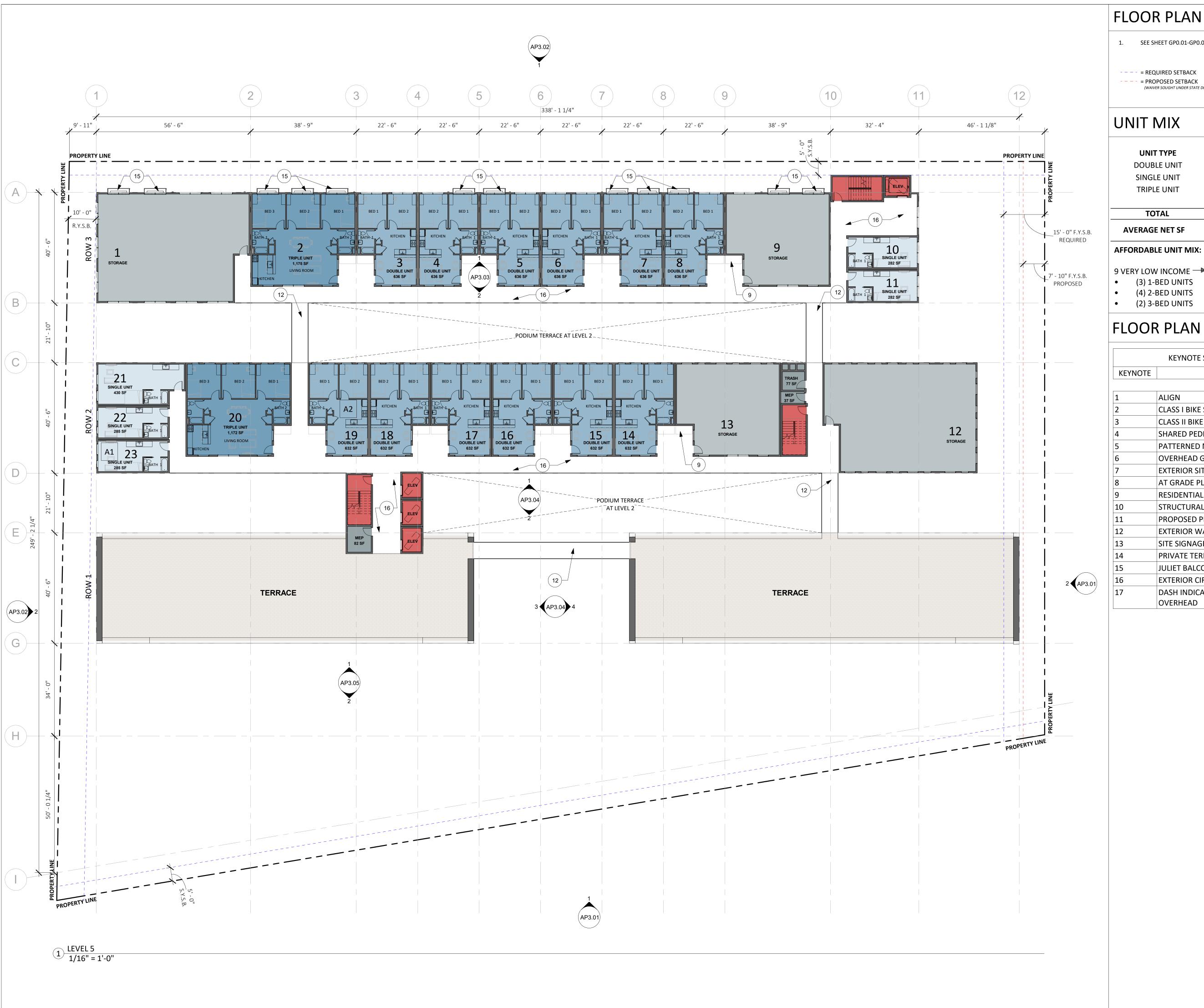
831 ALMAR AVE SANTA CRUZ, CA

| ISSUES/ REVISIONS | | | | |
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| Issue | DESCRIPTION | DATE | | |
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| Proj | ect number | 23153 | | |
| Prin | t Date 02 | .15.2024 | | |
| Drawn by DS | | /OH/MB | | |
| Checked by | | EB | | |
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PROPOSED LEVEL 3 & 4 FLOOR PLAN

AP1.03

TRUE PROJECT



1. SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION

- - - - = REQUIRED SETBACK

- - - - = PROPOSED SETBACK

UNIT MIX

| UNIT TYPE | UNIT COUNT | NET AREA |
|-------------|------------|-------------|
| DOUBLE UNIT | 60 | 40,448 NSF |
| SINGLE UNIT | 48 | 13,680 NSF |
| TRIPLE UNIT | 12 | 35,292 NSF |
| | 120 | 27,025 NSF |
| TOTAL | - | 116,445 NSF |

9 VERY LOW INCOME → A1 9 MODERATE INCOME → A2 (2) 1-BED UNITS • (3) 1-BED UNITS

766.08 NSF

• (5) 2-BED UNITS • (4) 2-BED UNITS • (2) 3-BED UNITS (2) 3-BED UNITS

FLOOR PLAN KEYED NOTES

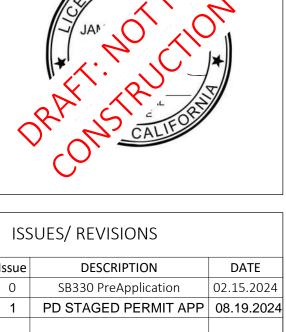
| | KEYNOTE SCHEDULE - FLOOR PLAN | |
|---------|--|--|
| KEYNOTE | MATERIAL | |
| | | |
| 1 | ALIGN | |
| 2 | CLASS I BIKE STORAGE | |
| 3 | CLASS II BIKE STORAGE | |
| 4 | SHARED PEDESTRIAN WALKWAY / DRIVEWAY | |
| 5 | PATTERNED METAL FENCE / GATE / SCREEN OR SIM. | |
| 6 | OVERHEAD GARAGE DOOR | |
| 7 | EXTERIOR SITE STAIR | |
| 8 | AT GRADE PLANTING | |
| 9 | RESIDENTIAL STORAGE, TYP. | |
| 10 | STRUCTURAL COLUMN / ELEMENT | |
| 11 | PROPOSED PLANTER, TYP | |
| 12 | EXTERIOR WALKWAY / BRIDGE | |
| 13 | SITE SIGNAGE, REFER ELEVATIONS | |
| 14 | PRIVATE TERRACE | |
| 15 | JULIET BALCONY, REFER ELEVATIONS | |
| 16 | EXTERIOR CIRCULATION | |
| 17 | DASH INDICATES BUILDING/WALKWAY/CANOPY OVERHEAD | |



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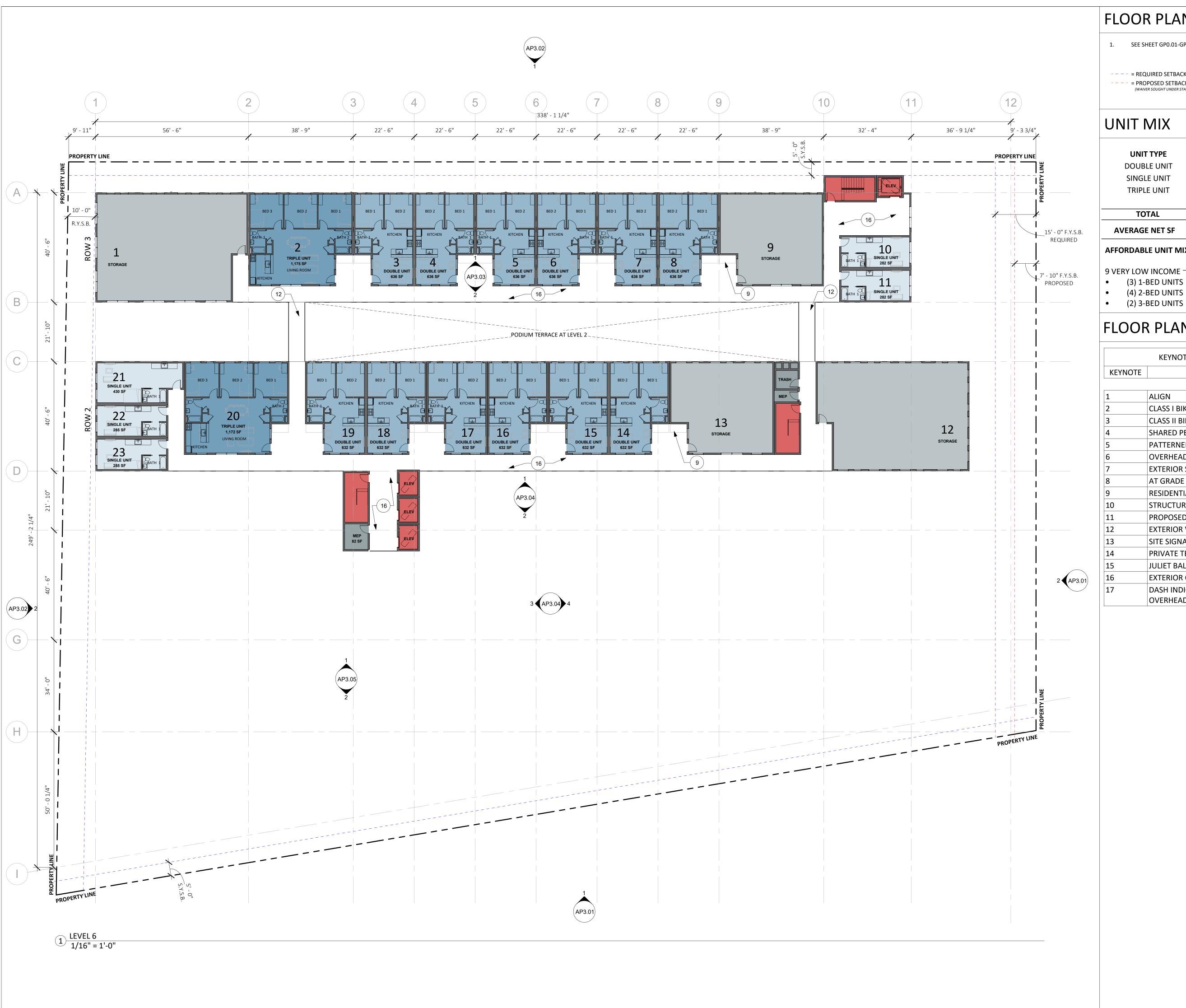
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| Proj | ject number | | 23153 |
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PROPOSED LEVEL 5 FLOOR PLAN

AP1.04

TRUE PROJECT

NORTH



1. SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION

- - - - = REQUIRED SETBACK

- - - - = PROPOSED SETBACK

| UNIT TYPE | UNIT COUNT | NET AREA |
|------------------|-------------------|-------------|
| DOUBLE UNIT | 60 | 40,448 NSF |
| SINGLE UNIT | 48 | 13,680 NSF |
| TRIPLE UNIT | 12 | 35,292 NSF |
| | 120 | 27,025 NSF |
| TOTAL | - | 116,445 NSF |

AFFORDABLE UNIT MIX:

9 VERY LOW INCOME → A1 9 MODERATE INCOME → A2 • (3) 1-BED UNITS

(2) 1-BED UNITS • (5) 2-BED UNITS

• (2) 3-BED UNITS

766.08 NSF

FLOOR PLAN KEYED NOTES

| | KEYNOTE SCHEDULE - FLOOR PLAN | | |
|---------|--|--|--|
| | RETNOTE SCHEDULE - FLOOR PLAIN | | |
| KEYNOTE | MATERIAL | | |
| | | | |
| 1 | ALIGN | | |
| 2 | CLASS I BIKE STORAGE | | |
| 3 | CLASS II BIKE STORAGE | | |
| 4 | SHARED PEDESTRIAN WALKWAY / DRIVEWAY | | |
| 5 | PATTERNED METAL FENCE / GATE / SCREEN OR SIM. | | |
| 6 | OVERHEAD GARAGE DOOR | | |
| 7 | EXTERIOR SITE STAIR | | |
| 8 | AT GRADE PLANTING | | |
| 9 | RESIDENTIAL STORAGE, TYP. | | |
| 10 | STRUCTURAL COLUMN / ELEMENT | | |
| 11 | PROPOSED PLANTER, TYP | | |
| 12 | EXTERIOR WALKWAY / BRIDGE | | |
| 13 | SITE SIGNAGE, REFER ELEVATIONS | | |
| 14 | PRIVATE TERRACE | | |
| 15 | JULIET BALCONY, REFER ELEVATIONS | | |
| 16 | EXTERIOR CIRCULATION | | |
| 17 | DASH INDICATES BUILDING/WALKWAY/CANOPY OVERHEAD | | |



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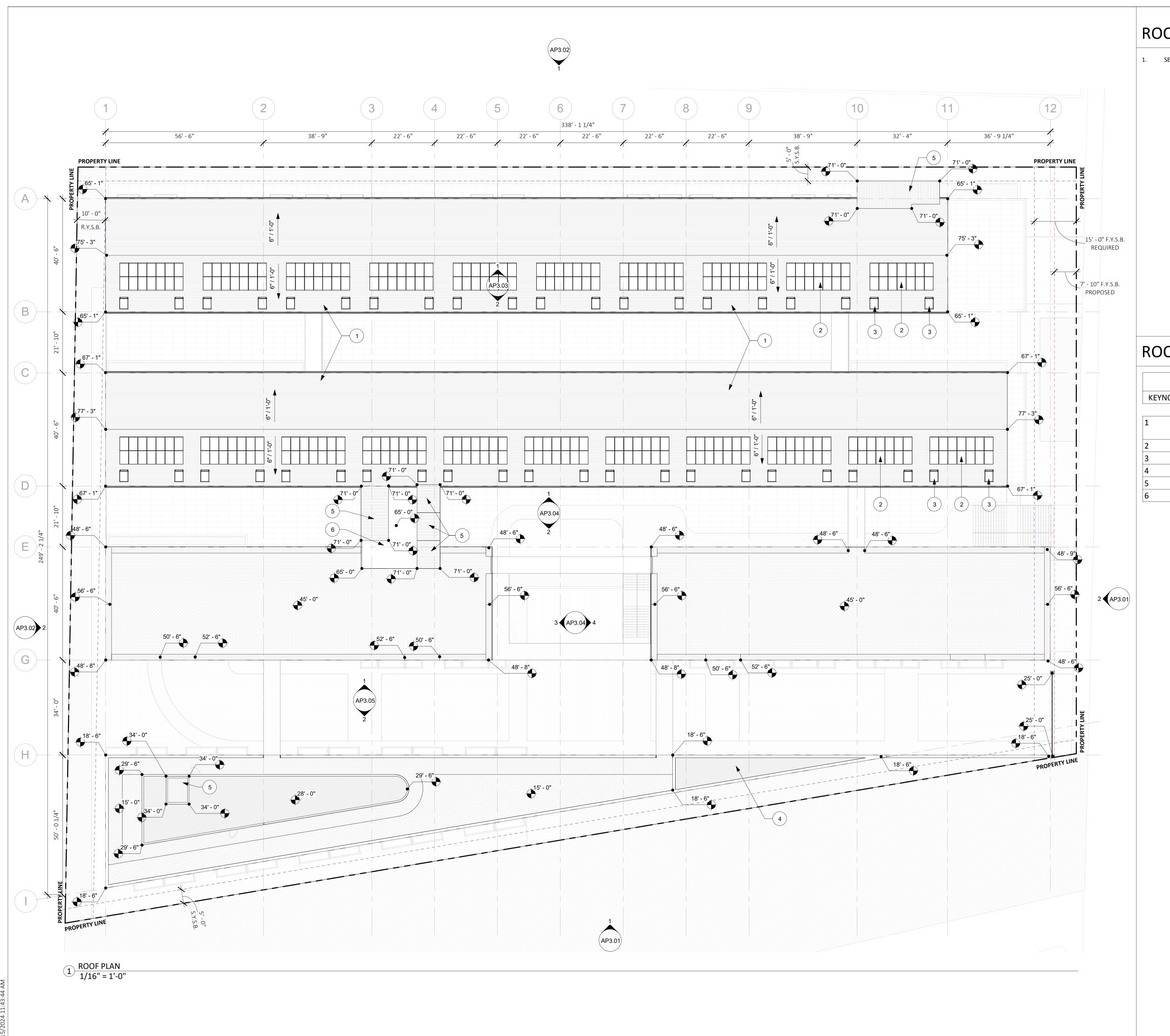
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PROPOSED LEVEL 6 FLOOR PLAN

AP1.05



ROOF PLAN NOTES

SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION



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ROOF PLAN KEYED NOTES

| KEYNOTE SCHEDULE - ROOF PLAN | | |
|------------------------------|--|--|
| KEYNOTE MATERIAL | | |
| | 1 | |
| 1 | STANDING SEAM OR COMP SHINGLE ROOFING OR | |
| | SIM. | |
| 2 | SOLAR PHOTOVOLTAIC PANELS, TYP | |
| 3 | SKYLIGHT, TYP | |
| 4 | PLANTER | |
| 5 | ELEVATOR / STAIR OVERRUN | |
| 6 | FLAT ROOF | |



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| Issue | DESCRIPTION | DATE |
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| 0 | SB330 PreApplication | 02.15.202 |
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PROPOSED ROOF PLAN

TRUE PROJECT NORTH NORTH

AP1.08

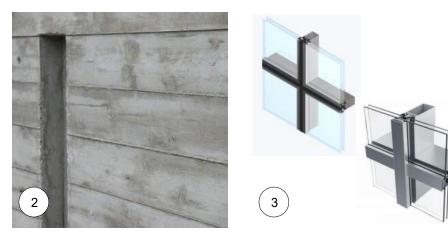


- PROPERTY LINES ARE SHOWN RELATIVE TO THE ELEVATION, REFER TO PLAN DRAWINGS FOR MORE INFORMATION ON PROPERTY LINE LOCATIONS AND
- CURBS AND STREETS ARE SHOWN RELATIVE TO THE ELEVATION VIEW, REFER TO LAND SURVEY FOR EXISTING CURB, GUTTER, AND STREET INFORMATION.

ELEVATION KEYED NOTES

| | AHONKLILDINOILS |
|---------|---|
| KEYNOTE | MATERIAL |
| | |
| 1 | ALIGN |
| 2 | TEXTURED CONCRETE, BOARD FORMED OR SIM. |
| 3 | GLAZED ALUMINUM WINDOW SYSTEM OR SIM. |
| 4 | FIBER CEMENT PANEL OR GRC PANEL OR SIM. |
| 5 | CORRUGATED METAL PANEL OR RIBBED FIBER CEMENT PANEL OR SIM. |
| 6 | ALUMINUM OR VINYL WINDOW WITH MUNTINS |
| 7 | PAINTED METAL CANOPY / AWNING / SUNSHADE |
| 8 | PATTERNED METAL FENCE / GATE / SCREEN OR SIM. |
| 9 | STANDING SEAM OR COMP SHINGLE ROOFING OR SIM. |
| 10 | SOLAR PHOTOVOLTAIC PANELS |
| 11 | SKYLIGHT |
| 12 | METAL GUARDRAIL OR HANDRAIL |
| 13 | BUILDING SIGNAGE, FINAL LOCATION / DESIGN TBD |
| 14 | EXTERIOR WALKWAY AND SUPPORT STRUCTURE |
| 15 | VERTICALLY ORIENTED WOOD OR WOOD-LOOK SIDING OR SIM. |
| 16 | JULIET BALCONY |
| 17 | RAIN LEADER / DOWNSPOUT |
| 18 | METAL ROLLING SHUTTER |
| | |

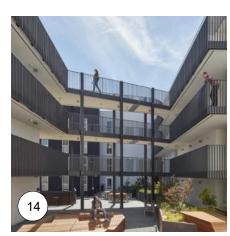
MATERIALS LEGEND



















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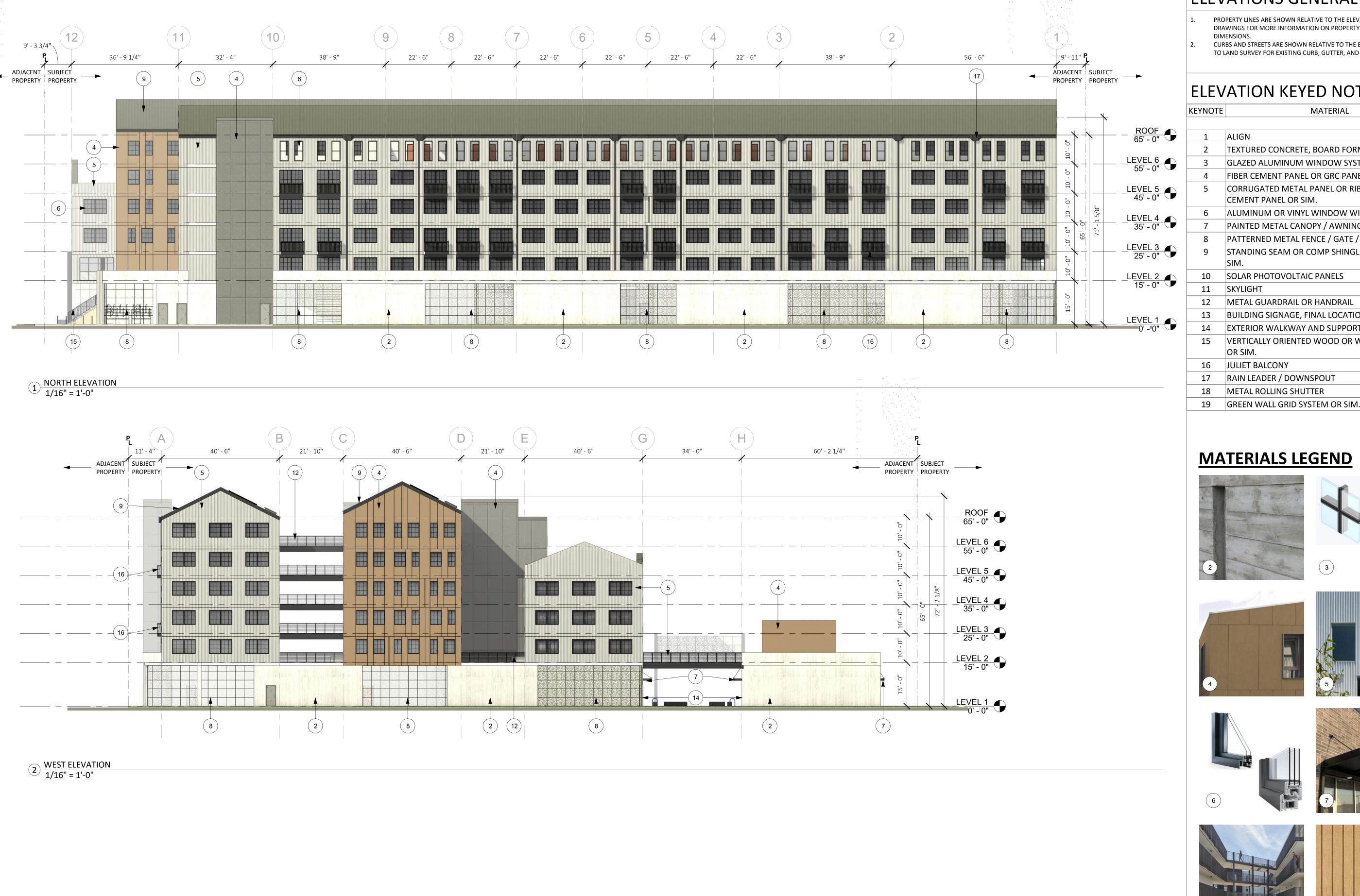
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PROPOSED ELEVATIONS

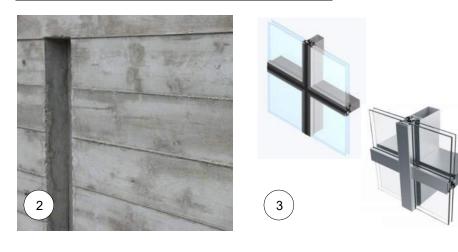


- PROPERTY LINES ARE SHOWN RELATIVE TO THE ELEVATION, REFER TO PLAN DRAWINGS FOR MORE INFORMATION ON PROPERTY LINE LOCATIONS AND
- CURBS AND STREETS ARE SHOWN RELATIVE TO THE ELEVATION VIEW, REFER TO LAND SURVEY FOR EXISTING CURB, GUTTER, AND STREET INFORMATION.

ELEVIATION REVED MOTEC

| KEYNOTE | MATERIAL |
|---------|---|
| | |
| 1 | ALIGN |
| 2 | TEXTURED CONCRETE, BOARD FORMED OR SIM. |
| 3 | GLAZED ALUMINUM WINDOW SYSTEM OR SIM. |
| 4 | FIBER CEMENT PANEL OR GRC PANEL OR SIM. |
| 5 | CORRUGATED METAL PANEL OR RIBBED FIBER CEMENT PANEL OR SIM. |
| 6 | ALUMINUM OR VINYL WINDOW WITH MUNTINS |
| 7 | PAINTED METAL CANOPY / AWNING / SUNSHADE |
| 8 | PATTERNED METAL FENCE / GATE / SCREEN OR SIM. |
| 9 | STANDING SEAM OR COMP SHINGLE ROOFING OR SIM. |
| 10 | SOLAR PHOTOVOLTAIC PANELS |
| 11 | SKYLIGHT |
| 12 | METAL GUARDRAIL OR HANDRAIL |
| 13 | BUILDING SIGNAGE, FINAL LOCATION / DESIGN TBD |
| 14 | EXTERIOR WALKWAY AND SUPPORT STRUCTURE |
| 15 | VERTICALLY ORIENTED WOOD OR WOOD-LOOK SIDING OR SIM. |
| 16 | JULIET BALCONY |
| 17 | RAIN LEADER / DOWNSPOUT |
| 18 | METAL ROLLING SHUTTER |

MATERIALS LEGEND

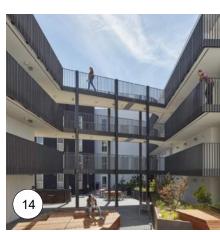




















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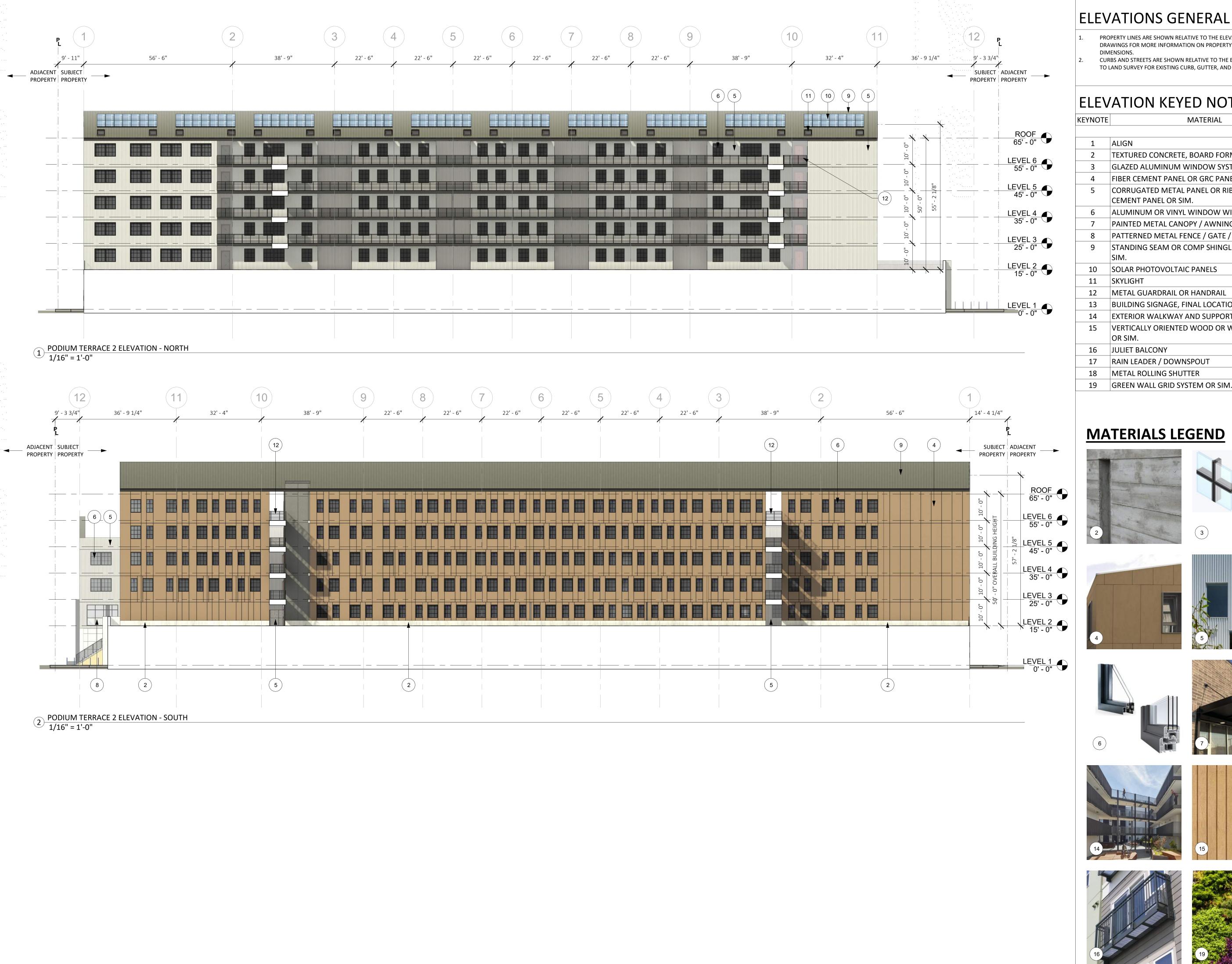
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| APN | I number | 003 | 3-051-07 |
| Proj | ect number | | 23153 |
| Prin | t Date | 02. | 15.2024 |
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| Che | cked by | | EB |
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| unpublis | rings and written material appearing he shed work of Workbench, Inc. and may d without written consent of the Workl | not be du | uplicated, used or |

PROPOSED ELEVATIONS

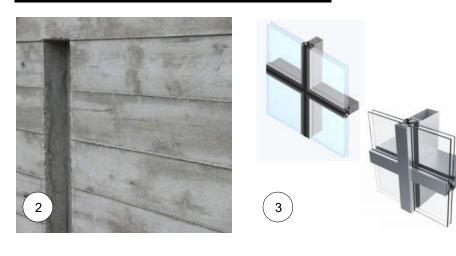


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ELEVATION KEYED NOTES

| KEYNOTE | MATERIAL |
|---------|---|
| | |
| 1 | ALIGN |
| 2 | TEXTURED CONCRETE, BOARD FORMED OR SIM. |
| 3 | GLAZED ALUMINUM WINDOW SYSTEM OR SIM. |
| 4 | FIBER CEMENT PANEL OR GRC PANEL OR SIM. |
| 5 | CORRUGATED METAL PANEL OR RIBBED FIBER CEMENT PANEL OR SIM. |
| 6 | ALUMINUM OR VINYL WINDOW WITH MUNTINS |
| 7 | PAINTED METAL CANOPY / AWNING / SUNSHADE |
| 8 | PATTERNED METAL FENCE / GATE / SCREEN OR SIM. |
| 9 | STANDING SEAM OR COMP SHINGLE ROOFING OR SIM. |
| 10 | SOLAR PHOTOVOLTAIC PANELS |
| 11 | SKYLIGHT |
| 12 | METAL GUARDRAIL OR HANDRAIL |
| 13 | BUILDING SIGNAGE, FINAL LOCATION / DESIGN TBD |
| 14 | EXTERIOR WALKWAY AND SUPPORT STRUCTURE |
| 15 | VERTICALLY ORIENTED WOOD OR WOOD-LOOK SIDING OR SIM. |
| 16 | JULIET BALCONY |
| 17 | RAIN LEADER / DOWNSPOUT |
| 18 | METAL ROLLING SHUTTER |

MATERIALS LEGEND

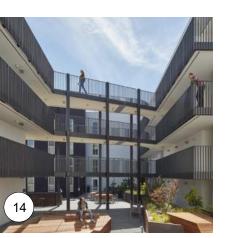


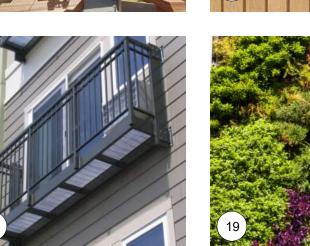


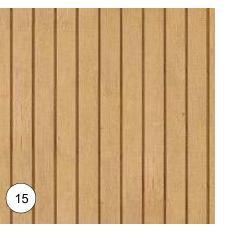
















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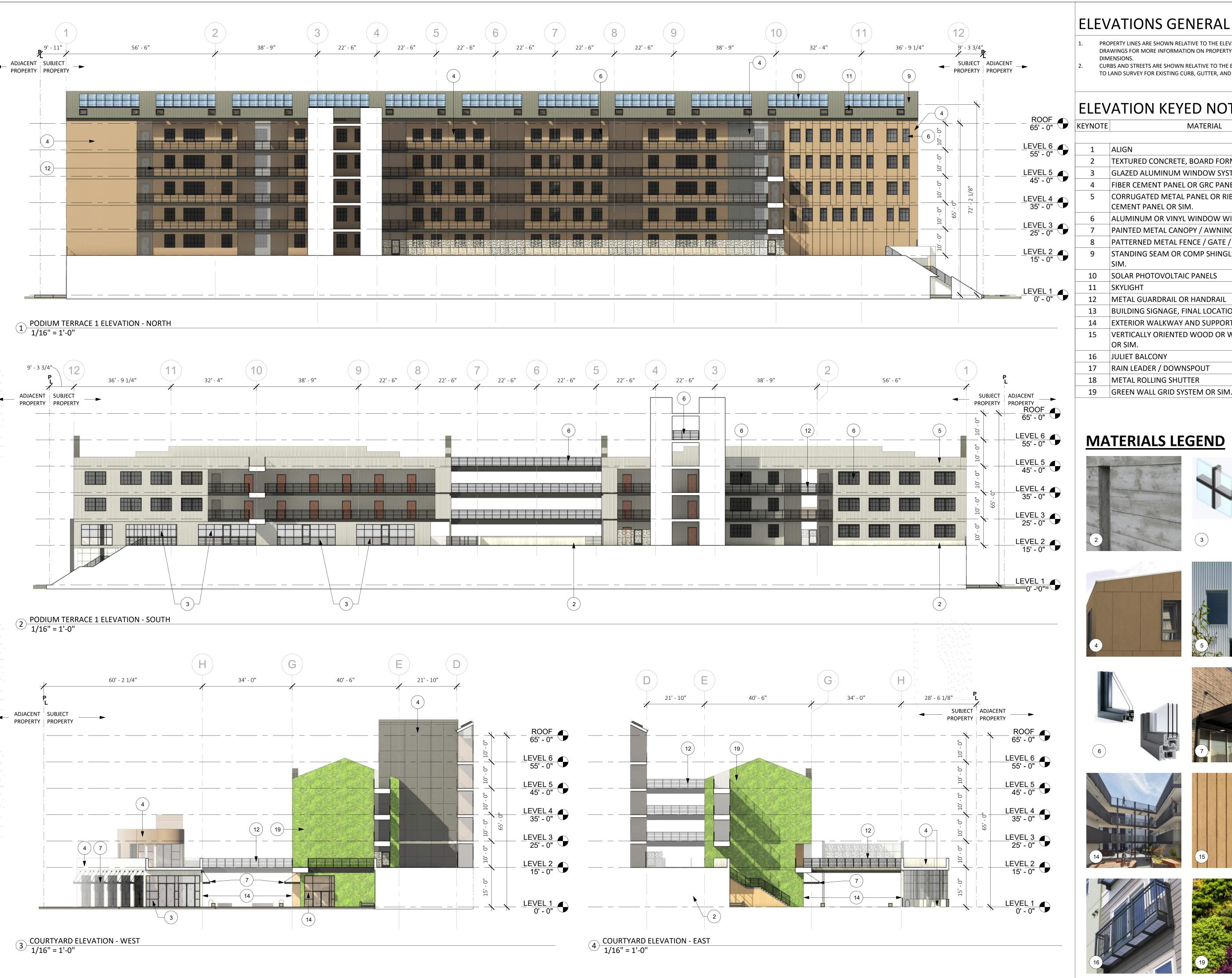
| ISSUES/ REVISIONS | | | |
|-------------------|----------------------|------------|--|
| ssue | DESCRIPTION | DATE | |
| 0 | SB330 PreApplication | 02.15.2024 | |
| 1 | PD STAGED PERMIT APP | 08.19.2024 | |
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| APN number 003 | | 3-051-07 | |
| Project number | | 23153 | |
| Print Date 02. | | 15.2024 | |
| Drawn by | | MB | |
| Checked by | | EB | |
| Scale As | | ndicated | |

PROPOSED ELEVATIONS

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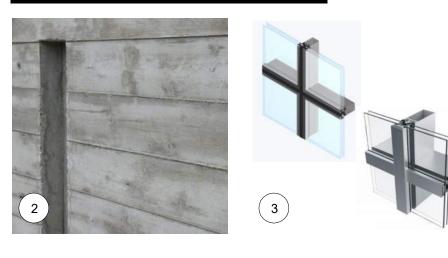


- PROPERTY LINES ARE SHOWN RELATIVE TO THE ELEVATION, REFER TO PLAN
- CURBS AND STREETS ARE SHOWN RELATIVE TO THE ELEVATION VIEW, REFER TO LAND SURVEY FOR EXISTING CURB, GUTTER, AND STREET INFORMATION.

ELEMATION KEVED NOTES

| | ELEVATION KEYED NOTES | | |
|---|-----------------------|---|--|
|) | KEYNOTE | MATERIAL | |
| | | | |
|) | 1 | ALIGN | |
| | 2 | TEXTURED CONCRETE, BOARD FORMED OR SIM. | |
|) | 3 | GLAZED ALUMINUM WINDOW SYSTEM OR SIM. | |
| | 4 | FIBER CEMENT PANEL OR GRC PANEL OR SIM. | |
|) | 5 | CORRUGATED METAL PANEL OR RIBBED FIBER CEMENT PANEL OR SIM. | |
| | 6 | ALUMINUM OR VINYL WINDOW WITH MUNTINS | |
|) | 7 | PAINTED METAL CANOPY / AWNING / SUNSHADE | |
| | 8 | PATTERNED METAL FENCE / GATE / SCREEN OR SIM. | |
|) | 9 | STANDING SEAM OR COMP SHINGLE ROOFING OR SIM. | |
| | 10 | SOLAR PHOTOVOLTAIC PANELS | |
| | 11 | SKYLIGHT | |
|) | 12 | METAL GUARDRAIL OR HANDRAIL | |
| | 13 | BUILDING SIGNAGE, FINAL LOCATION / DESIGN TBD | |
| | 14 | EXTERIOR WALKWAY AND SUPPORT STRUCTURE | |
| | 15 | VERTICALLY ORIENTED WOOD OR WOOD-LOOK SIDIN OR SIM. | |
| | 16 | JULIET BALCONY | |
| | 17 | RAIN LEADER / DOWNSPOUT | |
| | 10 | METAL DOLLING CHLITTED | |

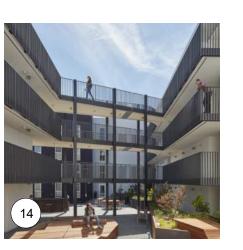
MATERIALS LEGEND

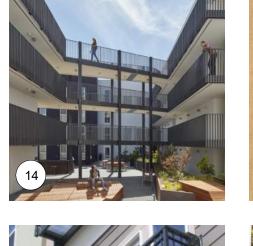


















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| ISS | SUES/ REVISIONS | |
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| Issue | DESCRIPTION | DATE |
| 0 | SB330 PreApplication | 02.15.2024 |
| 1 | PD STAGED PERMIT APP | 08.19.202 |
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| APN | I number 00 | 3-051-07 |
| Pro | ject number | 23153 |
| Prin | t Date 02 | 2.15.2024 |
| Dra | wn by | MB |
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PROPOSED ELEVATIONS

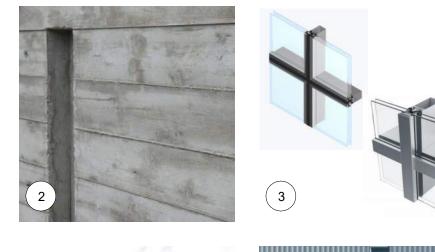


- PROPERTY LINES ARE SHOWN RELATIVE TO THE ELEVATION, REFER TO PLAN DRAWINGS FOR MORE INFORMATION ON PROPERTY LINE LOCATIONS AND
- CURBS AND STREETS ARE SHOWN RELATIVE TO THE ELEVATION VIEW, REFER TO LAND SURVEY FOR EXISTING CURB, GUTTER, AND STREET INFORMATION.

ELEVATION KEYED NOTES

| KEYNOTE | MATERIAL |
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MATERIALS LEGEND

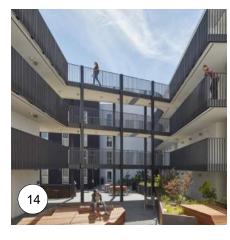




















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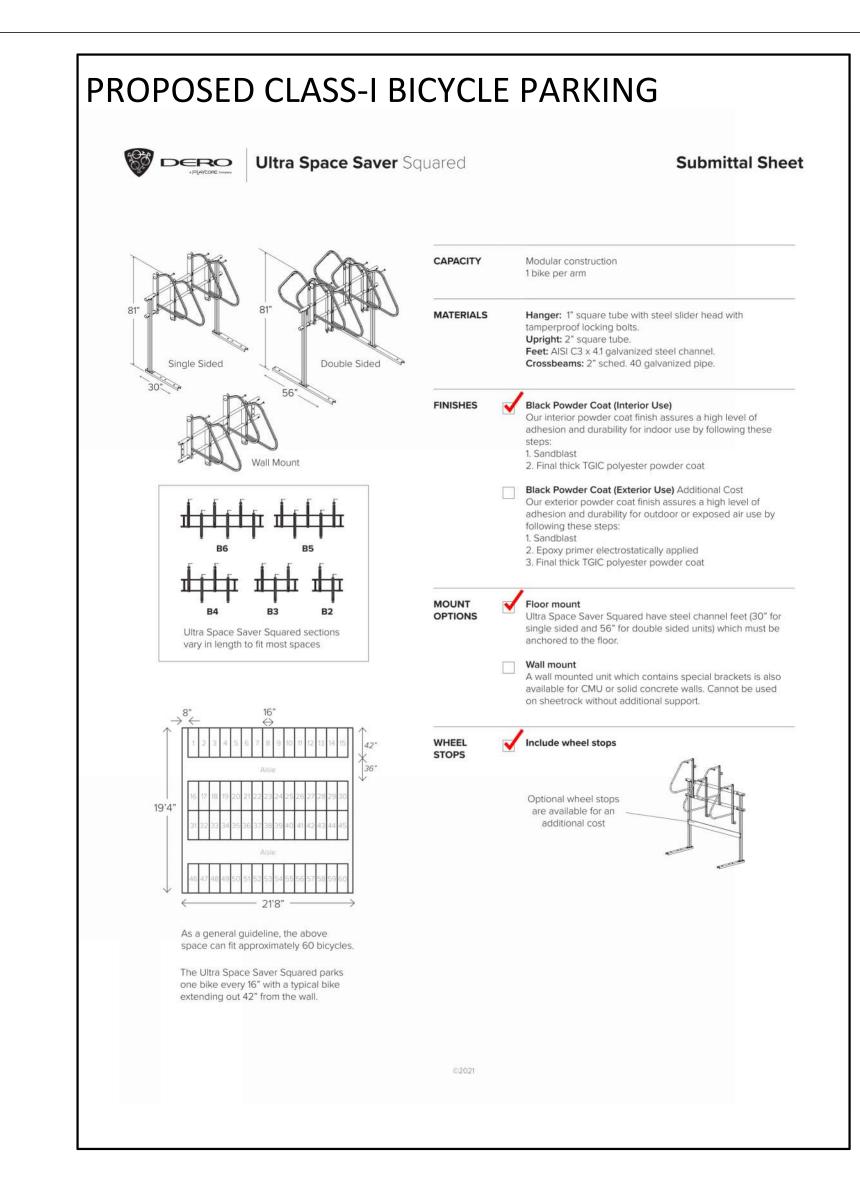
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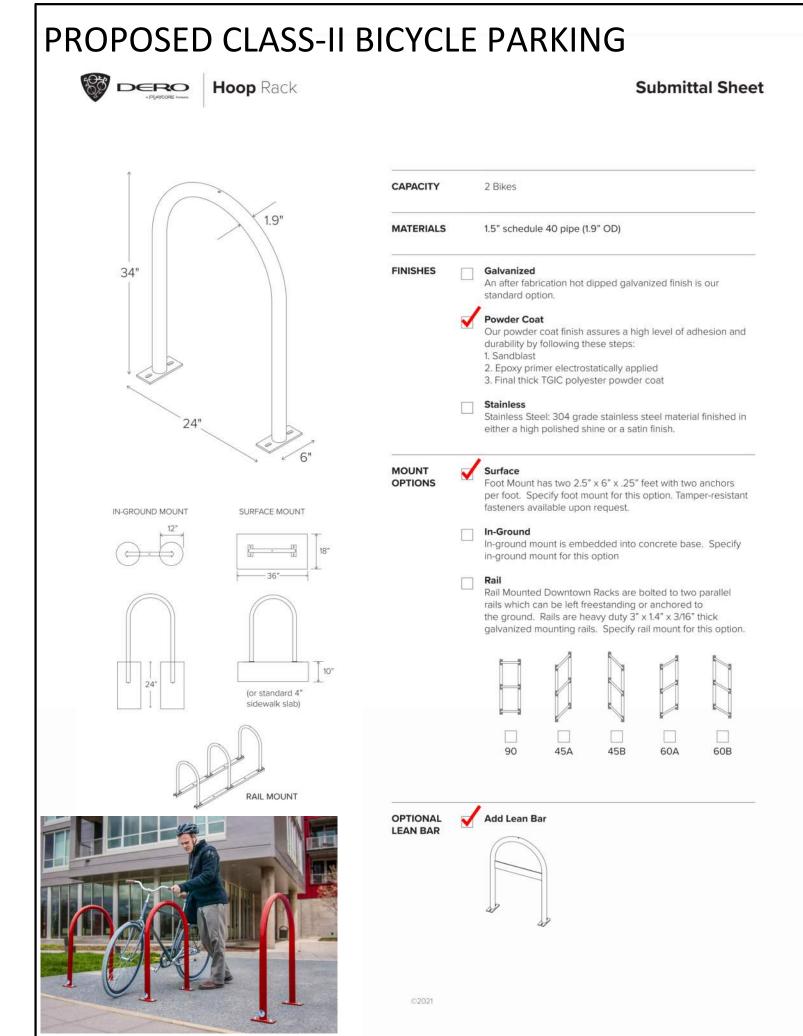
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| Issue | DESCRIPTION | | DATE |
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| Dra | wn by | | MB |
| Che | cked by | | EB |
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PROPOSED ELEVATIONS







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