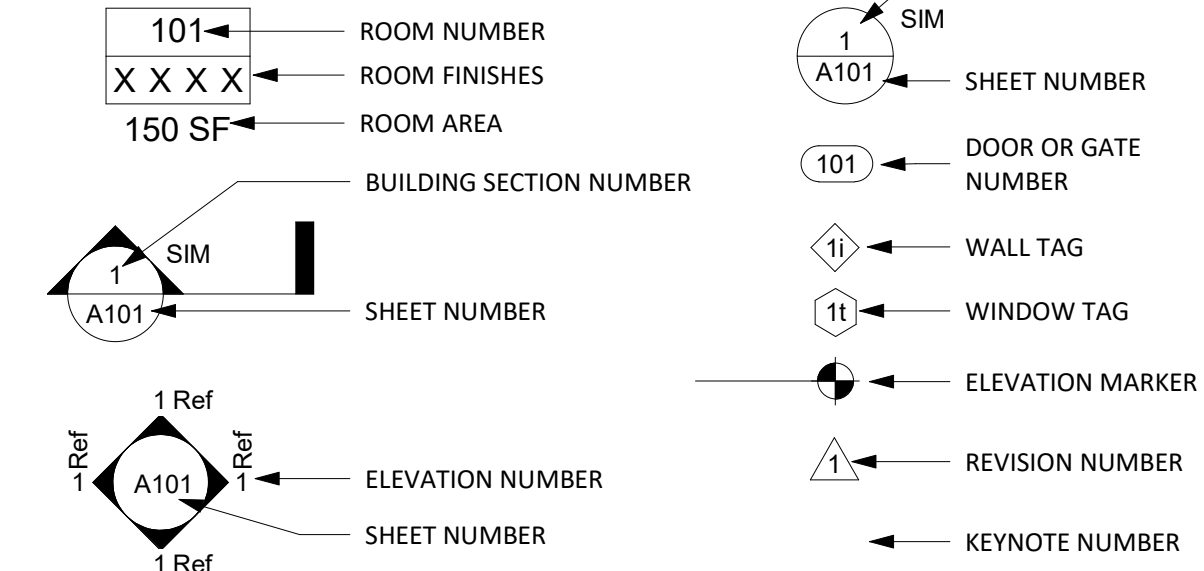


PD - STAGED PERMIT APPLICATION

GENERAL

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GP0.02	PROJECT INFO
GP0.03	PROJECT INFO
GP0.04	EXISTING SITE PHOTOS
GP0.05	OPEN SPACE EXHIBIT
GP0.06	RENDERING & 3D EXHIBITS
GP0.500	EXISTING SITE PHOTOS
ARCHITECTURAL	
AP0.51	PROPOSED SITE PLAN
AP1.01	PROPOSED LEVEL 1 FLOOR PLAN
AP1.02	PROPOSED LEVEL 2 FLOOR PLAN
AP1.03	PROPOSED LEVEL 3 & 4 FLOOR PLAN
AP1.04	PROPOSED LEVEL 5 FLOOR PLAN
AP1.05	PROPOSED LEVEL 6 FLOOR PLAN
AP1.08	PROPOSED ROOF PLAN
AP3.01	PROPOSED ELEVATIONS
AP3.02	PROPOSED ELEVATIONS
AP3.03	PROPOSED ELEVATIONS
AP3.04	PROPOSED ELEVATIONS
AP3.05	PROPOSED ELEVATIONS
AP9.02	CAR, EV, BICYCLE PARKING, & STORAGE INFO

ROOM NAME



OWNER:

LOUISE VENINGA
OWNER'S REP: MARK PRIMACK
150 YOSEMITE AVE.
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E: mark@markprimack.com

ARCHITECT

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NEW FMALI

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SANTA CRUZ, CA 95060



ISSUES/ REVISIONS

ISSUE	DESCRIPTION	DATE
0	SB330 PreApplication	02.15.2024
1	PD STAGED PERMIT APP	08.19.2024
APN number	003-051-07	
Project number	23153	
Print Date	02.15.2024	
Drawn by	MB	
Checked by	EB	
Scale		N.T.S.

COVER SHEET INDEX

GP0.01

BUILDING GROSS AREA

GROSS AREA BY USE

LEVEL	RESIDENTIAL	CIRCULATION	PARKING	AMENITY	SERVICE / MECH.	COMMERCIAL / INDUSTRIAL	STORAGE	TOTALS
LEVEL 1	0 SF	4,283 SF	39,330 SF	3,467 SF	2,541 SF	9,546 SF	0 SF	59,168 SF
LEVEL 2	13,702 SF	10,432 SF	0 SF	0 SF	139 SF	3,908 SF	10,358 SF	38,539 SF
LEVEL 3	17,251 SF	9,531 SF	0 SF	0 SF	139 SF	0 SF	11,267 SF	38,188 SF
LEVEL 4	17,273 SF	9,540 SF	0 SF	0 SF	138 SF	0 SF	11,250 SF	38,201 SF
LEVEL 5	12,715 SF	6,793 SF	0 SF	0 SF	138 SF	0 SF	6,897 SF	26,543 SF
LEVEL 6	12,725 SF	6,776 SF	0 SF	0 SF	139 SF	0 SF	6,901 SF	26,540 SF
GRAND TOTALS	73,666 SF	47,355 SF	39,330 SF	3,467 SF	3,232 SF	13,455 SF	46,674 SF	227,180 SF

PLANNING CODE NOTES

THE PROJECT PROPOSES TO PROVIDE MIXED USE BUILDINGS WITH INDUSTRIAL/COMMERCIAL USE AND MULTI-FAMILY RESIDENTIAL USE AS ALLOWED BY SPECIAL USE PERMIT PER SCMC 24.10.1610.2(g) FOR A PROJECT TO COMPLY W/ R-M ZONING DISTRICT REGULATIONS. DISTRICT REGULATIONS FOR BOTH THE R-M & I-G ZONES ARE SHOWN. NOTE THAT DISTRICT REGULATIONS ARE NOT LISTED IN THE SCMC FOR THE IG/PER-2 ZONE AND I-G REGULATIONS ARE SHOWN.

I-G DISTRICT REGULATIONS

BUILDING HEIGHT

HT. LIMIT:	PRINCIPAL: 50'
	ACCESSORY: 25'
HT. ABOVE LIMIT:	NOTE: PER 24.10.1590(1) MIXED USE BUILDINGS THAT PROVIDE RESIDENTIAL AND EDUCATION USES MAY EXCEED IG DISTRICT REGULATIONS UP FOUR STORIES AND SIXTY-FIVE FEET

SETBACKS

SETBACKS:	FRONT: 20'
SCMC 24.10.1590	SIDE INTERIOR: 0'
	SIDE EXTERIOR: 10'
	REAR: 10'
LOT COVERAGE:	80% - REFER TO DENSITY CALCS

R-M DISTRICT REGULATIONS

BUILDING HEIGHT

HT. LIMIT:	(3) OR MORE DUS: 35'
	ACCESSORY (STORIES & FT): 1 & 15'

SETBACKS

SETBACKS:	FRONT: 15'
SCMC 24.10.550	SIDE INTERIOR: 5'
	REAR: 10'

SETBACKS PROVIDED
HEIGHT PROVIDED

SEE PLANS
72'

USABLE OPEN SPACE

SCMC 24.10.550	REQUIRED: 38,400 SF 200 SF PER STUDIO/1-BED OR 400 SF PER 2+ BED UNIT
	PROVIDED: 44,915 SF SEE SHEET GP0.05 FOR OPEN SPACE EXHIBIT

PROJECT - UNIT COUNT

UNIT TYPE	UNIT COUNT	BEDROOM COUNT
DOUBLE UNIT	60	120
SINGLE UNIT	48	48
TRIPLE UNIT	12	36
TOTAL	120	204 BEDROOMS

NOTE:
REFER TO
RESIDENTIAL
DENSITY NOTES
FOR ALLOWED UNIT
COUNTS

RESIDENTIAL DENSITY:

THE PROJECT PROPOSES TO PROVIDE MIXED USE BUILDINGS WITH INDUSTRIAL/COMMERCIAL USE AND MULTI-FAMILY RESIDENTIAL USE AS ALLOWED BY SPECIAL USE PERMIT PER SCMC 24.10.1610.2(g) FOR A PROJECT TO COMPLY W/ R-M ZONING DISTRICT REGULATIONS.

PER SCMC 24.10.550 1,450 SF OF LOT AREA IS REQUIRED PER 2+ BEDROOM DWELLING UNIT. BASE DENSITY FOR THE 85,900 SF LOT = 85,900 SF / 1,450 = **60 DUs**

A DENSITY BONUS OF 50% AS ALLOWED BY CGC 65915-65918 IS PROPOSED BY PROVIDING 15% OF THE BASE DENSITY UNITS AT VERY LOW INCOME LEVEL. 50% OF 60 DUS = **30 BONUS DUS**

A DENSITY BONUS OF 50% AS ALLOWED BY SB1287 IS PROPOSED BY PROVIDING 15% OF THE BASE DENSITY UNITS AT A MODERATE INCOME LEVEL. 50% OF 60 DUs = **30 BONUS DUS**

TOTAL PROPOSED DENSITY = 60 + 30 + 30 = 120 DUS

PROPOSED AFFORDABLE UNITS:

PER CGC 65919-65918 AFFORDABLE UNITS PROVIDED = 15% OF 60 = **9 VERY LOW INCOME UNITS**

PER SB 1287 AFFORDABLE UNITS REQUIRED = 15% OF 60 = **9 MODERATE INCOME UNITS**

SEE FLOOR PLANS FOR LOCATIONS OF AFFORDABLE UNITS

PARKING

SCMC 24.12.240	RESIDENTIAL REQUIREMENT: 1 SPACE PER 0 OR 1 BEDROOM 2 SPACES PER 2+ BEDROOM + 10% FOR GUEST PARKING TOTAL RESIDENTIAL PARKING SPACES REQUIRED = 212 SPACES
SCMC 24.12.240	COMMERCIAL REQUIREMENT: 1 SPACE PER 250 SF BASED ON RETAIL/SHOP USE TOTAL COMMERCIAL PARKING SPACES REQUIRED = 39 SPACES TOTAL PARKING SPACES REQUIRED = 251 SPACES
CBC 1109A.3 & 11B-208.2	ACCESSIBLE REQUIREMENT: 2% OF REQUIRED SPACES FOR RESIDENTIAL 2 FOR 25-60 SPACES FOR COMMERCIAL ACCESSIBLE PARKING SPACES REQUIRED = 7 SPACES
CBC 11B-208.2.4	VAN ACCESSIBLE REQUIREMENT: 1 PER FRACTION OF 6 SPACES VAN ACCESSIBLE SPACES REQUIRED = 2 SPACES
CGBSC 4.106.4.2.2	ELECTRIC VEHICLE PARKING REQUIREMENT: 10% E/V CAPABLE SPACES = 26 SPACES 25% E/V READY SPACES = 63 SPACES 5% E/V CHARGERS = 13 SPACES

AB2097
AB 2097 PROHIBITS ANY MINIMUM AUTOMOBILE PARKING REQUIREMENT ON ANY RESIDENTIAL, COMMERCIAL, OR OTHER DEVELOPMENT PROJECT, AS DEFINED, THAT IS LOCATED WITHIN 1/2 MILE OF PUBLIC TRANSIT, AS DEFINED. REDUCTION OF ELECTRICAL VEHICLE CHARGING PARKING SPACES AND ACCESSIBLE PARKING SPACES IS PROHIBITED.

PARKING PROVIDED: 95 TOTAL PARKING SPACES ARE PROVIDED, INCLUDING:

8 ACCESSIBLE PARKING SPACES
2 VAN ACCESSIBLE PARKING SPACES
13 E/V CHARING SPACES

BICYCLE PARKING

SCMC 24.12.250
REQUIRED: 120 CLASS-1 SPACES RESIDENTIAL (1 SPACE / UNIT)
30 CLASS-2 SPACES RESIDENTIAL (1 SPACE / 4 UNITS)
2 CLASS-1 SPACES COMMERCIAL (20% OF 1 SPACE PER 1,500 SF)
6 CLASS-2 SPACES COMMERCIAL (80% OF 1 SPACER PER 1,500 SF)

SEE AP9.02 FOR
MORE INFO ON
BICYCLE PARKING

BICYCLE PARKING PROVIDED:
412 SPACES
362 CLASS-1 SPACES (360 RESIDENTIAL + 2 COMMERCIAL)
44 CLASS-2 SPACES (30 SPACES RESIDENTIAL + 14 COMMERCIAL)



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ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330 PreApplication	02.15.2024
1	PD STAGED PERMIT APP	08.19.2024

APN number	003-051-07
Project number	23153
Print Date	02.15.2024
Drawn by	MB
Checked by	EB
Scale	N.T.S.

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PROJECT INFO

GP0.03



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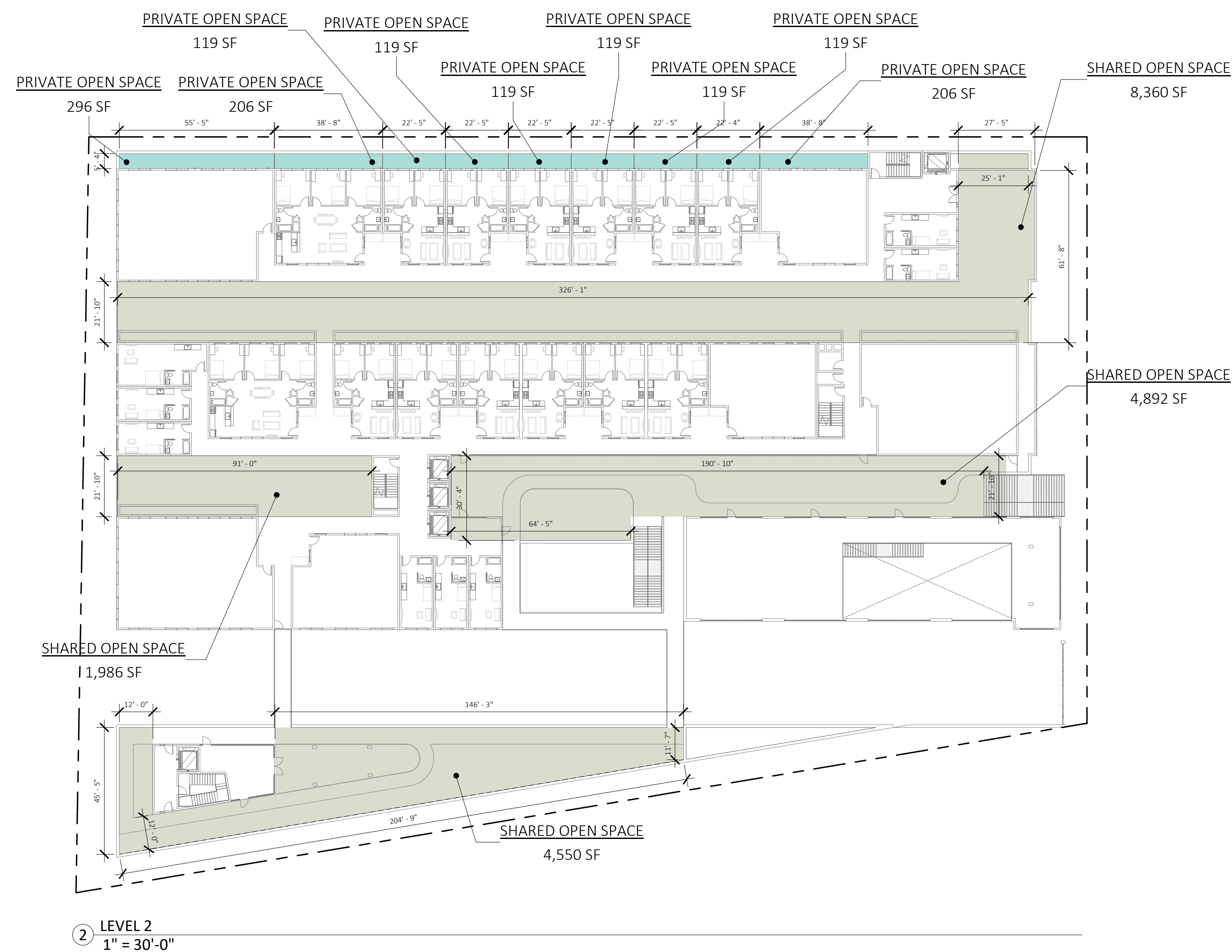
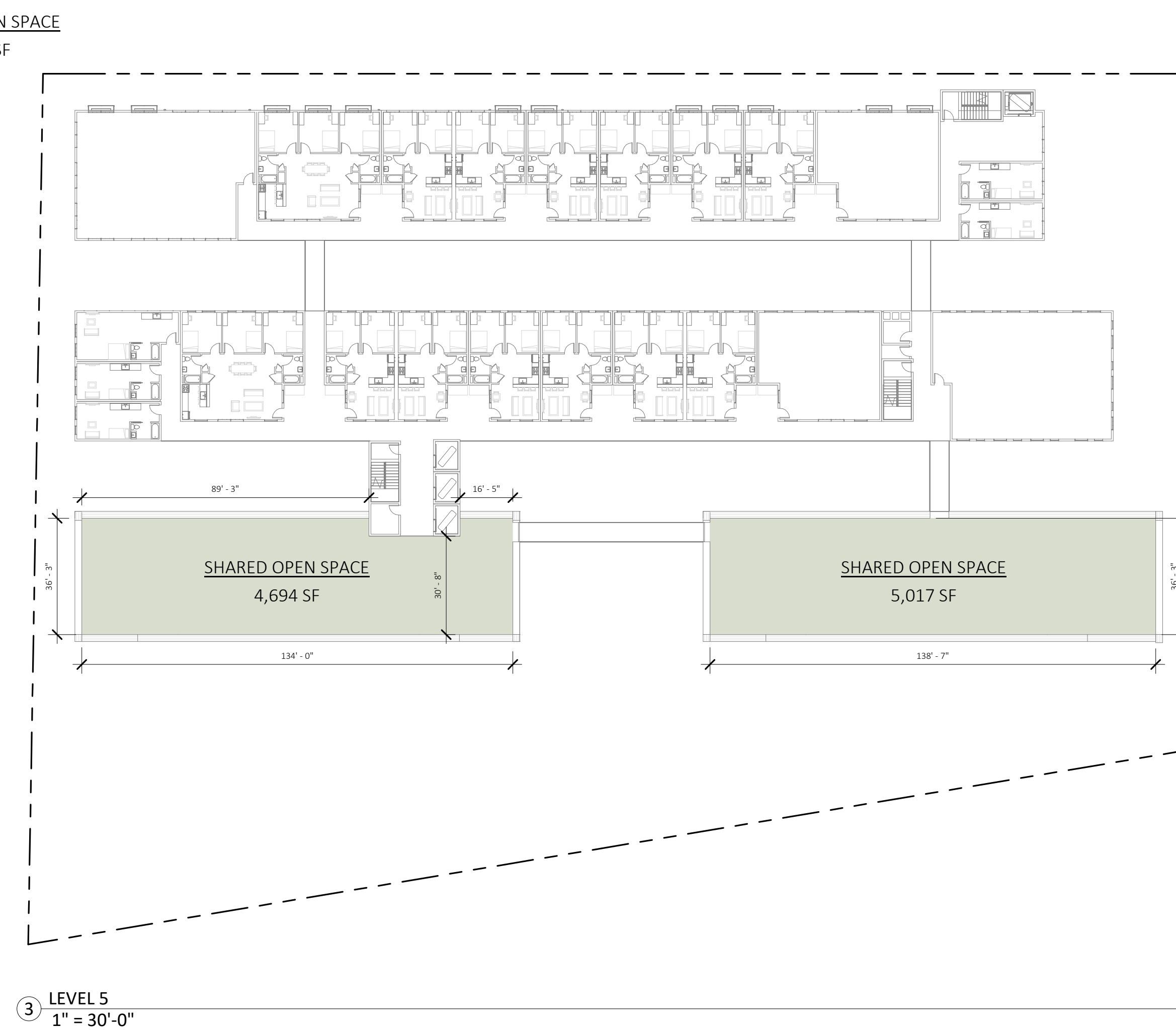
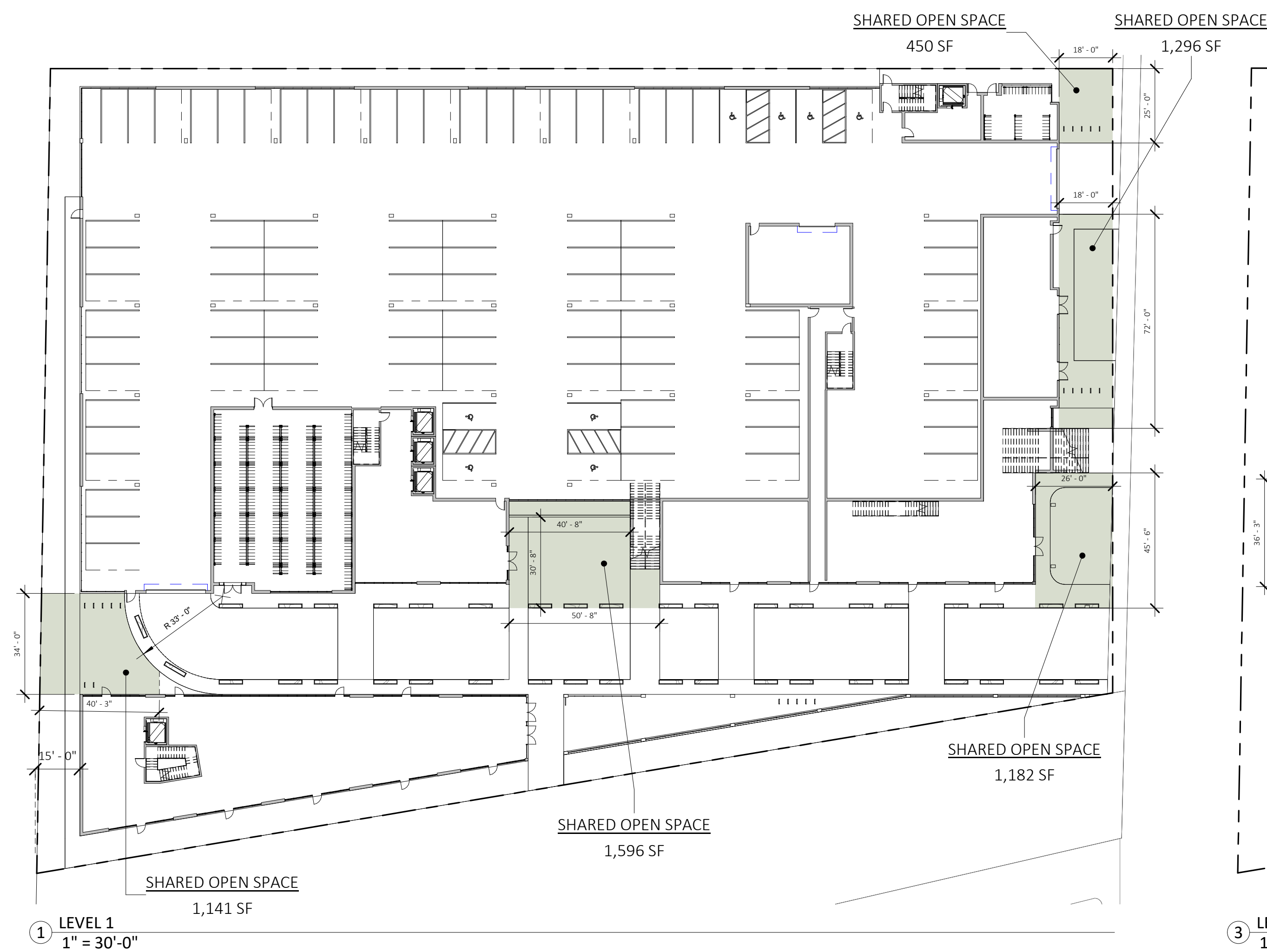
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Print Date	02.15.2024	
Drawn by	DS	
Checked by	EB	
Scale	12" = 1'-0"	

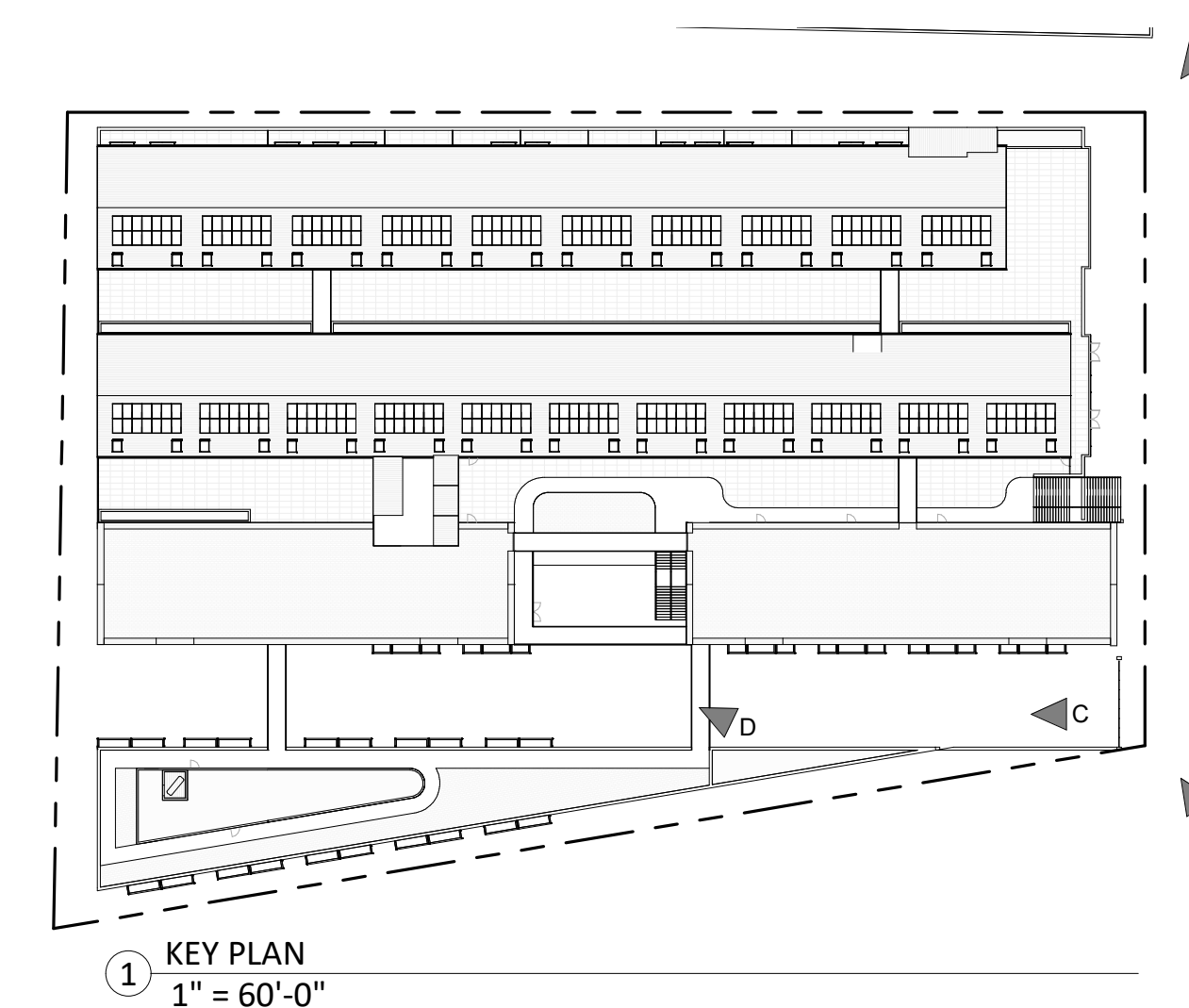
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EXISTING SITE
PHOTOS

GP0.04







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RENDERING & 3D EXHIBITS

GP0.06

2/15/2024 11:43:05 AM

1 DEMOLITION SITE PLAN - PLANNING
3/64" = 1'-0"

ADJACENT COMMERCIAL
PROPERTY
2203 MISSION STREET
PARCEL#: 003-051-33
ZONING: IG

ADJACENT COMMERCIAL PROPERTY
847 ALMAR AVENUE
PARCEL#: 003-051-35
ZONING: IG

ADJACENT PROPERTY
PARKING LOT
2203 MISSION STREET
PARCEL#: 003-051-33
ZONING: IG

EXISTING BUILDING
APPROX. 24'-0" TALL

EXISTING BUILDING
APPROX. 24'-0" TALL

EXISTING BUILDING
APPROX. 19'-0" TO 30'-0" TALL

EXISTING BUILDING
APPROX. 24'-0" TALL

RANKIN
STREET

ALMAR AVENUE

COASTAL RAIL TRAIL
OPEN SPACE

RAILROAD TRACKS

MONTEREY BAY
SANCTUARY SCENIC
TRAIL

DEMO SITE PLAN NOTES

- SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION
- REFERENCE LAND SURVEY FOR SITE ELEVATIONS, SLOPES AND EXISTING SITE CONDITIONS.

KEYNOTE SCHEDULE - DEMOLITION	
KEYNOTE	MATERIAL
1	DEMOLISH EXISTING BUILDING / STRUCTURE
2	DEMOLISH EXISTING PARKING / SITEWORK



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ISSUES/ REVISIONS

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Drawn by	OH
Checked by	EB
Scale	As indicated

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DEMO SITE PLAN

AP0.50D

2/15/2024 11:43:09 AM

ADJACENT COMMERCIAL
PROPERTY
2203 MISSION STREET
PARCEL#: 003-051-33
ZONING: IG

ADJACENT COMMERCIAL PROPERTY
847 ALMAR AVENUE
PARCEL#: 003-051-35
ZONING: IG

ADJACENT PROPERTY
PARKING LOT
2203 MISSION STREET
PARCEL#: 003-051-33
ZONING: IG

SUBJECT PROPERTY
831 ALMAR AVENUE
PARCEL#: 003-051-07
ZONING: IGP2

RANKIN
STREET →

ALMAR AVENUE

COASTAL RAIL TRAIL
OPEN SPACE

RAILROAD TRACKS

MONTEREY BAY
SANCTUARY SCENIC
TRAIL

SITE PLAN NOTES

- SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION.
- ADJACENT BUILDING HEIGHTS ARE APPROXIMATE AND ARE TAKEN FROM ADJACENT GRADE ELEVATIONS.
- REFERENCE LAND SURVEY FOR SITE ELEVATIONS, SLOPES AND EXISTING SITE CONDITIONS.

--- = REQUIRED SETBACK
--- = PROPOSED SETBACK
(WAIVER SOUGHT UNDER STATE DENSITY BONUS)

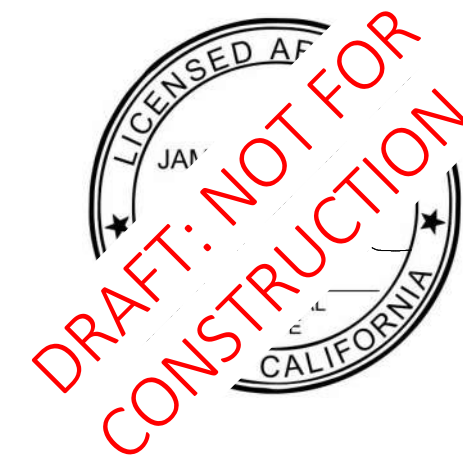


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ISSUES/ REVISIONS

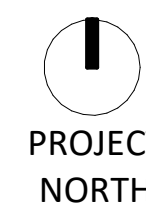
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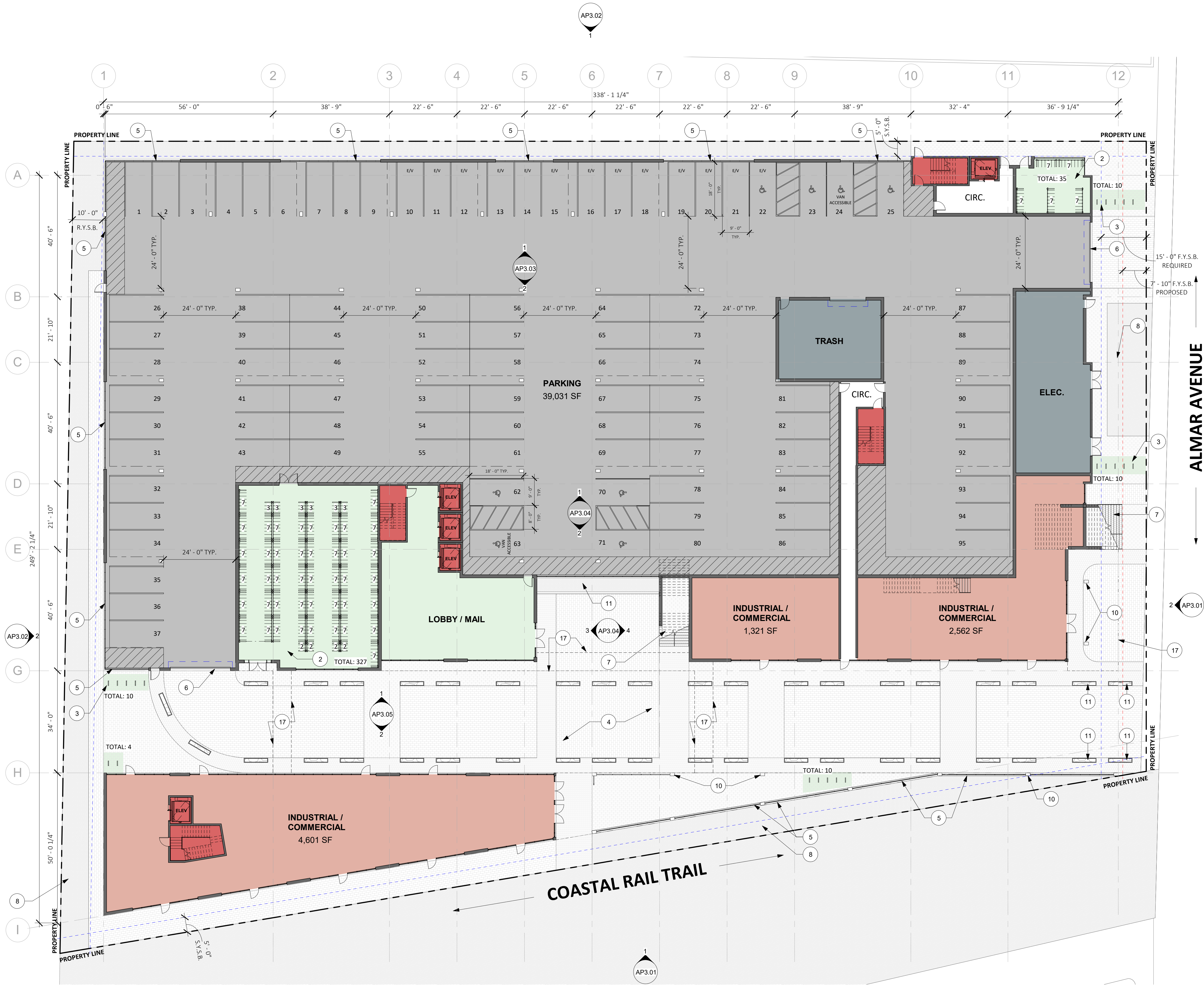
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PROPOSED SITE
PLAN

AP0.51





1 LEVEL 1
1/16" = 1'-0"

FLOOR PLAN NOTES

1. SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION

-- = REQUIRED SETBACK
- - - = PROPOSED SETBACK
(WAIVER SOUGHT UNDER STATE DENSITY BONUS)

UNIT MIX

UNIT TYPE	UNIT COUNT	NET AREA
DOUBLE UNIT	60	40,448 NSF
SINGLE UNIT	48	13,680 NSF
TRIPLE UNIT	12	35,292 NSF
	120	27,025 NSF

TOTAL 116,445 NSF

AVERAGE NET SF 766.08 NSF

AFFORDABLE UNIT MIX:

9 VERY LOW INCOME → A1 9 MODERATE INCOME → A2

- (3) 1-BED UNITS
- (4) 2-BED UNITS
- (2) 3-BED UNITS
- (2) 1-BED UNITS
- (5) 2-BED UNITS
- (2) 3-BED UNITS

FLOOR PLAN KEYED NOTES

KEYNOTE SCHEDULE - FLOOR PLAN	
KEYNOTE	MATERIAL
1	ALIGN
2	CLASS I BIKE STORAGE
3	CLASS II BIKE STORAGE
4	SHARED PEDESTRIAN WALKWAY / DRIVEWAY
5	PATTERNED METAL FENCE / GATE / SCREEN OR SIM.
6	OVERHEAD GARAGE DOOR
7	EXTERIOR SITE STAIR
8	AT GRADE PLANTING
9	RESIDENTIAL STORAGE, TYP.
10	STRUCTURAL COLUMN / ELEMENT
11	PROPOSED PLANTER, TYP
12	EXTERIOR WALKWAY / BRIDGE
13	SITE SIGNAGE, REFER ELEVATIONS
14	PRIVATE TERRACE
15	JULIET BALCONY, REFER ELEVATIONS
16	EXTERIOR CIRCULATION
17	DASH INDICATES BUILDING/WALKWAY/CANOPY OVERHEAD



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ISSUES/ REVISIONS

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0	SB330 PreApplication	02.15.2024
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**PROPOSED LEVEL 1
FLOOR PLAN**

AP1.01



TRUE
NORTH



PROJECT
NORTH



FLOOR PLAN NOTES

1. SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION

- - - = REQUIRED SETBACK
- - - = PROPOSED SETBACK
(WAIVER SOUGHT UNDER STATE DENSITY BONUS)

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TOTAL		116,445 NSF
AVERAGE NET SF		766.08 NSF

AFFORDABLE UNIT MIX:

- | 9 VERY LOW INCOME → A1 | 9 MODERATE INCOME → A2 |
|------------------------|------------------------|
| • (3) 1-BED UNITS | • (2) 1-BED UNITS |
| • (4) 2-BED UNITS | • (5) 2-BED UNITS |
| • (2) 3-BED UNITS | • (2) 3-BED UNITS |

FLOOR PLAN KEYED NOTES

KEYNOTE SCHEDULE - FLOOR PLAN	
KEYNOTE	MATERIAL
1	ALIGN
2	CLASS I BIKE STORAGE
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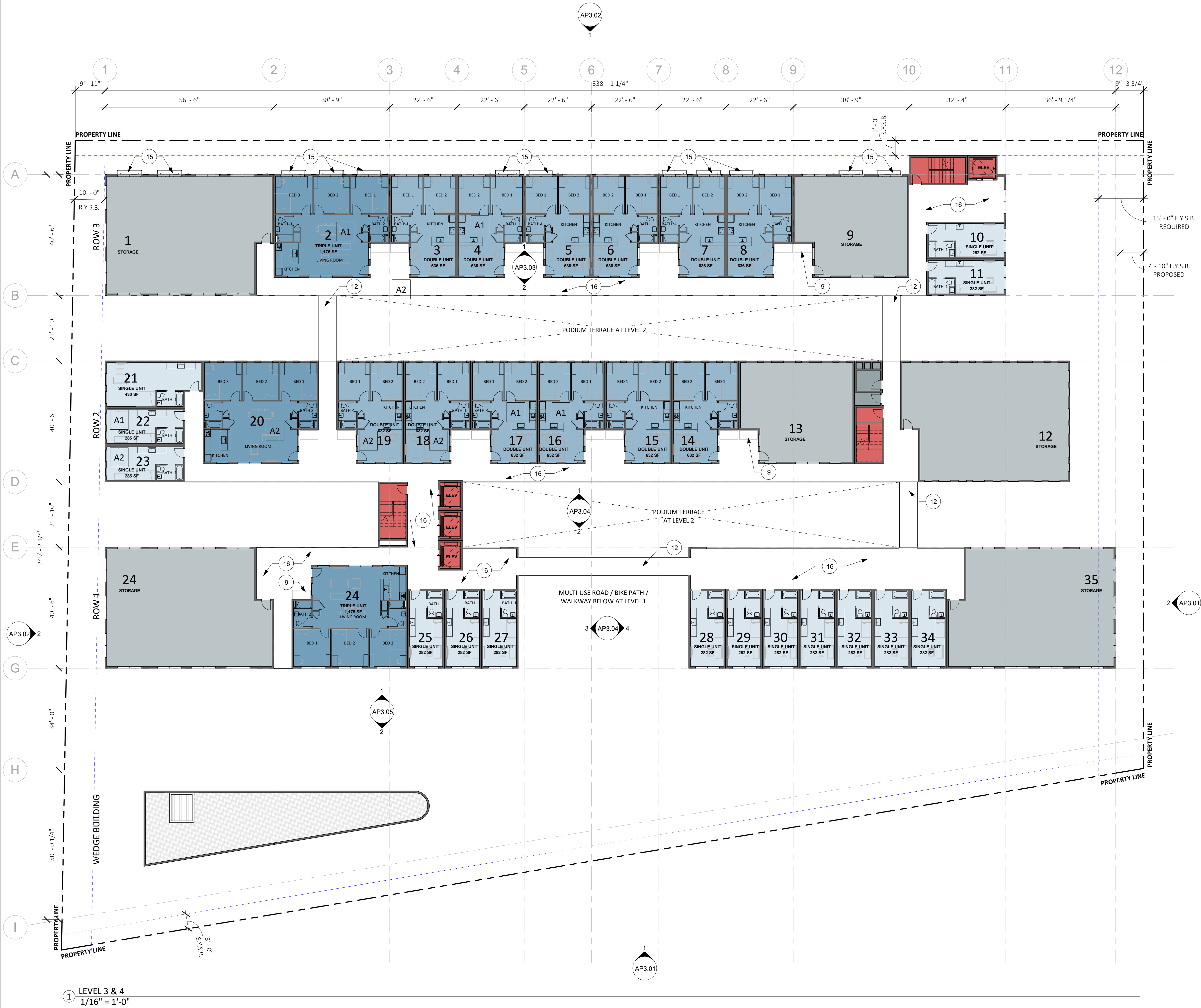


ISSUES/ REVISIONS		
Issue	DESCRIPTION	DATE
0	S8330 PreApplication	02.15.2024
1	PD STAGED PERMIT APP	08.19.2024
APN number	003-051-07	
Project number	23153	
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Checked by	EB	
Scale	As indicated	

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PROPOSED LEVEL 2
FLOOR PLAN

AP1.02



1 LEVEL 3 & 4
1/16" = 1'-0"

FLOOR PLAN NOTES

1. SEE SHEET GP.01-GP.05 FOR GENERAL NOTES AND PROJECT INFORMATION

-- = REQUIRED SETBACK
-- = PROPOSED SETBACK
(WAVES SOUGHT UNDER STATE DENSITY BONUS)

UNIT MIX

UNIT TYPE	UNIT COUNT	NET AREA
DOUBLE UNIT	60	40,448 NSF
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AFFORDABLE UNIT MIX:

9 VERY LOW INCOME → A1 9 MODERATE INCOME → A2

- (3) 1-BED UNITS
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- (2) 3-BED UNITS
- (2) 1-BED UNITS
- (5) 2-BED UNITS
- (2) 3-BED UNITS

FLOOR PLAN KEYED NOTES

KEYNOTE SCHEDULE - FLOOR PLAN	
KEYNOTE	MATERIAL
1	ALIGN
2	CLASS I BIKE STORAGE
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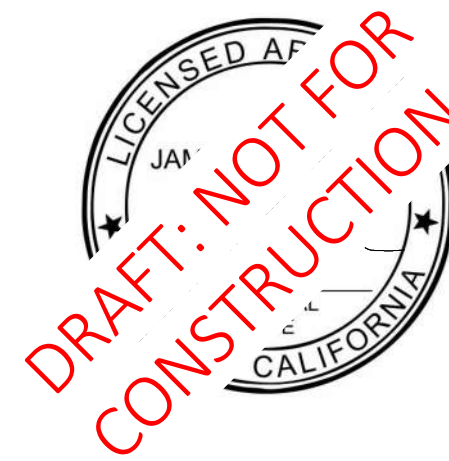


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ISSUES/ REVISIONS

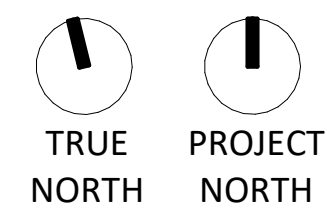
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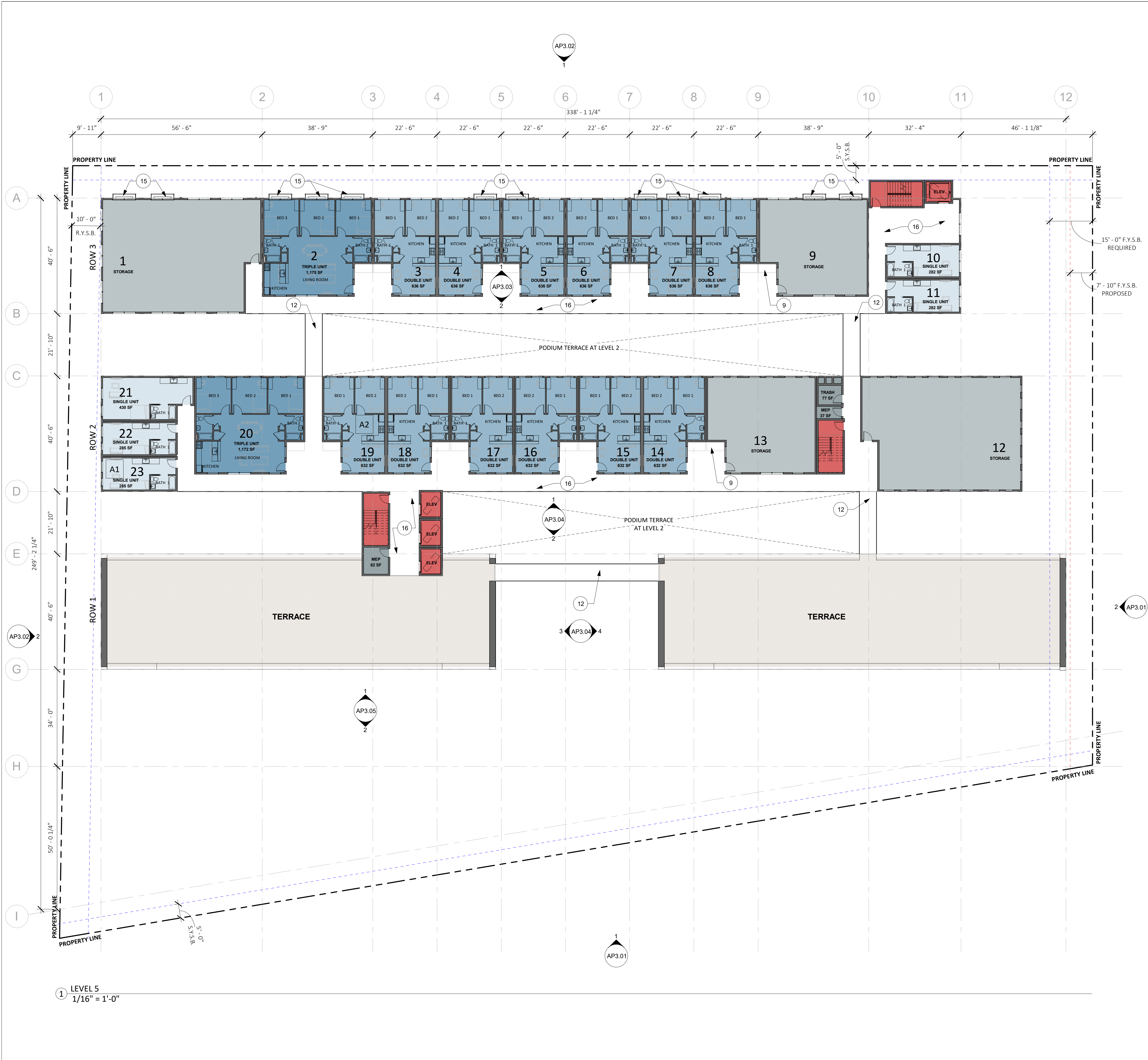
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PROPOSED LEVEL 3 &
4 FLOOR PLAN

AP1.03





FLOOR PLAN NOTES

1. SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION

--- = REQUIRED SETBACK
--- = PROPOSED SETBACK
(WAIVER SOUGHT UNDER STATE DENSITY BONUS)

UNIT MIX		
UNIT TYPE	UNIT COUNT	NET AREA
DOUBLE UNIT	60	40,448 NSF
SINGLE UNIT	48	13,680 NSF
TRIPLE UNIT	12	35,292 NSF
	120	27,025 NSF
TOTAL		116,445 NSF
AVERAGE NET SF		766.08 NSF

AFFORDABLE UNIT MIX:

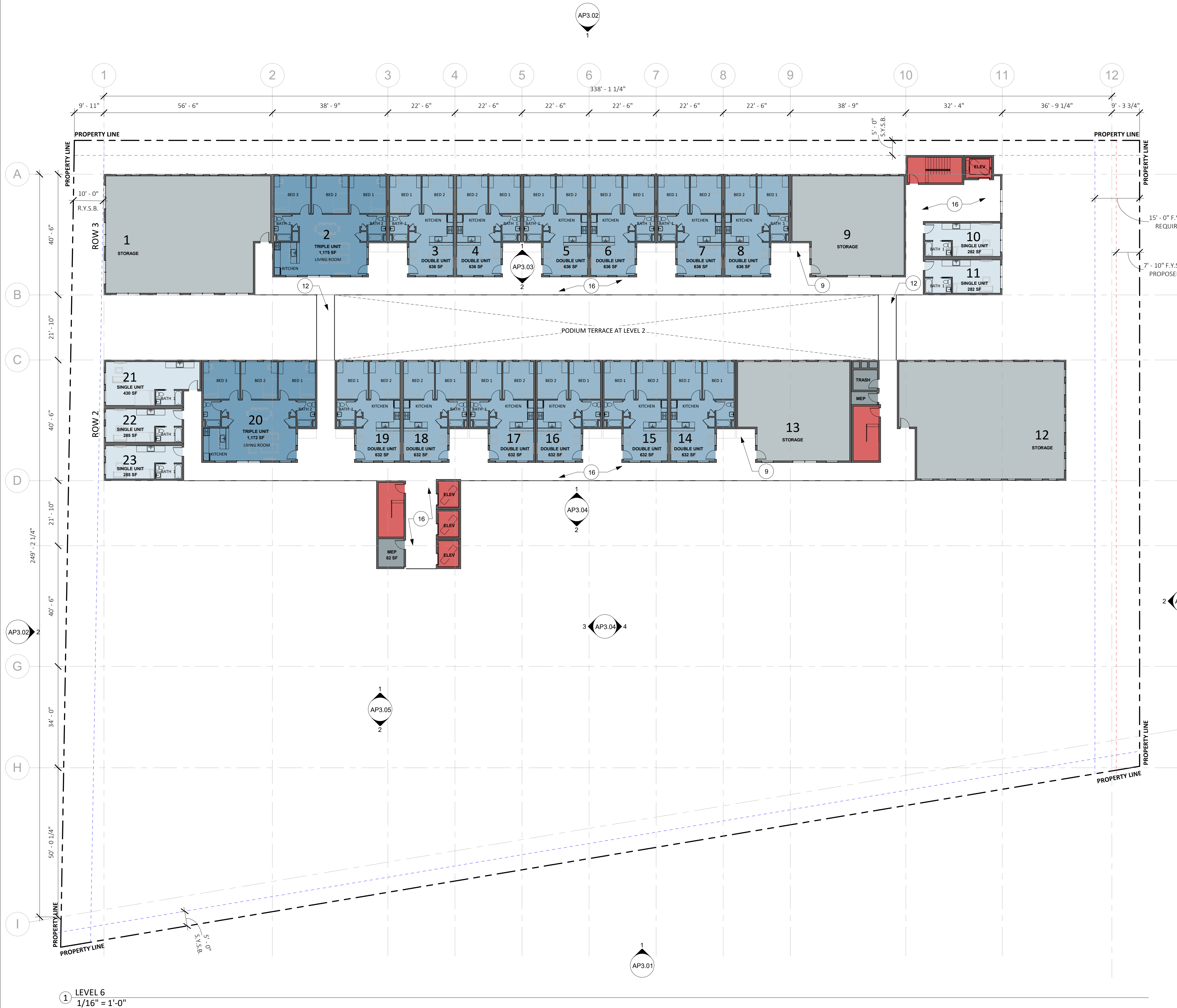
9 VERY LOW INCOME → A1	9 MODERATE INCOME → A2
<ul style="list-style-type: none">• (3) 1-BED UNITS• (4) 2-BED UNITS• (2) 3-BED UNITS	<ul style="list-style-type: none">• (2) 1-BED UNITS• (5) 2-BED UNITS• (2) 3-BED UNITS

KEYNOTE SCHEDULE - FLOOR PLAN	
KEYNOTE	MATERIAL
1	ALIGN
2	CLASS I BIKE STORAGE
3	CLASS II BIKE STORAGE
4	SHARED PEDESTRIAN WALKWAY / DRIVEWAY
5	PATTERNED METAL FENCE / GATE / SCREEN OR SIM.
6	OVERHEAD GARAGE DOOR
7	EXTERIOR SITE STAIR
8	AT GRADE PLANTING
9	RESIDENTIAL STORAGE, TYP.
10	STRUCTURAL COLUMN / ELEMENT
11	PROPOSED PLANTER, TYP
12	EXTERIOR WALKWAY / BRIDGE
13	SITE SIGNAGE, REFER ELEVATIONS
14	PRIVATE TERRACE
15	JULIET BALCONY, REFER ELEVATIONS
16	EXTERIOR CIRCULATION
17	DASH INDICATES BUILDING/WALKWAY/CANOPY OVERHEAD

Issue	DESCRIPTION	DATE
0	SB330 PreApplication	02.15.2024
1	PD STAGED PERMIT APP	08.19.2024
APN number	003-051-07	
Project number	23153	
Print Date	02.15.2024	
Drawn by	DS/OH/MB	
Checked by	EB	
Scale	As indicated	

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AP1.04



① LEVEL 6
1/16" = 1'-0"

FLOOR PLAN NOTES

1. SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION

--- = REQUIRED SETBACK
--- = PROPOSED SETBACK
(WAVES SOUGHT UNDER STATE DENSITY BONUS)

UNIT MIX

UNIT TYPE	UNIT COUNT	NET AREA
DOUBLE UNIT	60	40,448 NSF
SINGLE UNIT	48	13,680 NSF
TRIPLE UNIT	12	35,292 NSF
	120	27,025 NSF
TOTAL		116,445 NSF
AVERAGE NET SF		766.08 NSF

AFFORDABLE UNIT MIX:

9 VERY LOW INCOME → A1	9 MODERATE INCOME → A2
• (3) 1-BED UNITS	• (2) 1-BED UNITS
• (4) 2-BED UNITS	• (5) 2-BED UNITS
• (2) 3-BED UNITS	• (2) 3-BED UNITS

FLOOR PLAN KEYED NOTES

KEYNOTE SCHEDULE - FLOOR PLAN	
KEYNOTE	MATERIAL
1	ALIGN
2	CLASS I BIKE STORAGE
3	CLASS II BIKE STORAGE
4	SHARED PEDESTRIAN WALKWAY / DRIVEWAY
5	PATTERNED METAL FENCE / GATE / SCREEN OR SIM.
6	OVERHEAD GARAGE DOOR
7	EXTERIOR SITE STAIR
8	AT GRADE PLANTING
9	RESIDENTIAL STORAGE, TYP.
10	STRUCTURAL COLUMN / ELEMENT
11	PROPOSED PLANTER, TYP
12	EXTERIOR WALKWAY / BRIDGE
13	SITE SIGNAGE, REFER ELEVATIONS
14	PRIVATE TERRACE
15	JULIET BALCONY, REFER ELEVATIONS
16	EXTERIOR CIRCULATION
17	DASH INDICATES BUILDING/WALKWAY/CANOPY OVERHEAD

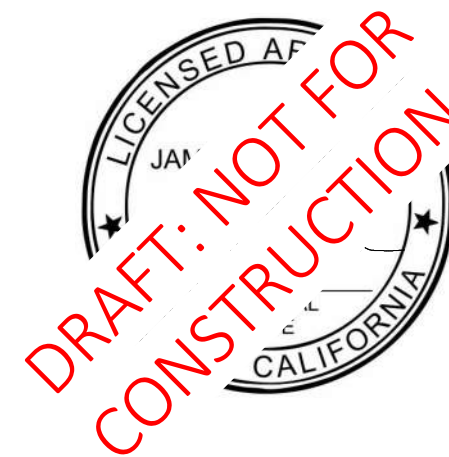


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ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
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TRUE
NORTH



PROJECT
NORTH

PROPOSED LEVEL 6
FLOOR PLAN

AP1.05

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ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330 PreApplication	02.15.2024
1	PD STAGED PERMIT APP	08.19.202

APN number	003-051-07
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Print Date	02.15.2024
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Checked by	EB
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PROPOSED ROOF
PLAN

AP1.08

ROOF PLAN NOTES

1. SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION

ROOF PLAN KEYED NOTES

KEYNOTE SCHEDULE - ROOF PLAN	
KEYNOTE	MATERIAL
1	STANDING SEAM OR COMP SHINGLE ROOFING OR SIM.
2	SOLAR PHOTOVOLTAIC PANELS, TYP
3	SKYLIGHT, TYP
4	PLANTER
5	ELEVATOR / STAIR OVERRUN
6	FLAT ROOF

1 ROOF PLAN
1/16" = 1'-0"



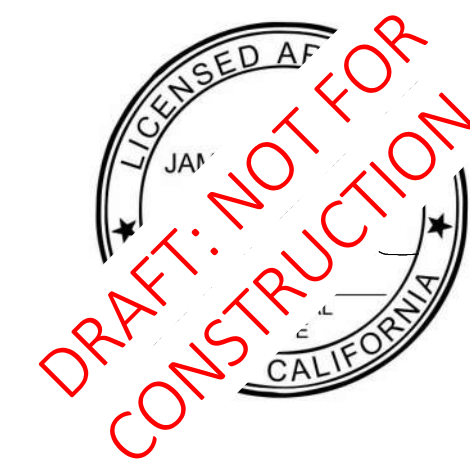
TRUE
NORTH



PROJECT
NORTH



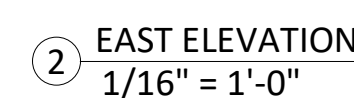
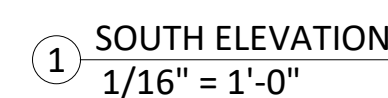
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PROPOSED
ELEVATIONS

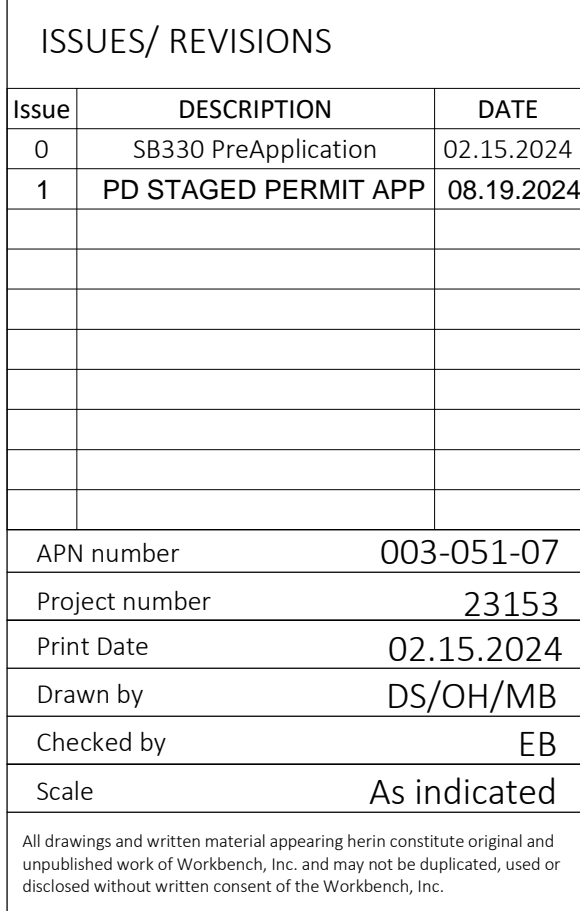
AP3.01

- | KEYNOTE | MATERIAL |
|---------|---|
| 1 | ALIGN |
| 2 | TEXTURED CONCRETE, BOARD FORMED OR SIM. |
| 3 | GLAZED ALUMINUM WINDOW SYSTEM OR SIM. |
| 4 | FIBER CEMENT PANEL OR GRC PANEL OR SIM. |
| 5 | CORRUGATED METAL PANEL OR RIBBED FIBER CEMENT PANEL OR SIM. |
| 6 | ALUMINUM OR VINYL WINDOW WITH MUNTINS |
| 7 | PAINTED METAL CANOPY / AWNING / SUNSHADE |
| 8 | PATTERNED METAL FENCE / GATE / SCREEN OR SIM. |
| 9 | STANDING SEAM OR COMP SHINGLE ROOFING OR SIM. |
| 10 | SOLAR PHOTOVOLTAIC PANELS |
| 11 | SKYLIGHT |
| 12 | METAL GUARDRAIL OR HANDRAIL |
| 13 | BUILDING SIGNAGE, FINAL LOCATION / DESIGN TBD |
| 14 | EXTERIOR WALKWAY AND SUPPORT STRUCTURE |
| 15 | VERTICALLY ORIENTED WOOD OR WOOD-LOOK SIDING OR SIM. |
| 16 | JULIET BALCONY |
| 17 | RAIN LEADER / DOWNSPOUT |
| 18 | METAL ROLLING SHUTTER |
| 19 | GREEN WALL GRID SYSTEM OR SIM. |





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PROPOSED
ELEVATIONS

AP3.02

1. PROPERTY LINES ARE SHOWN RELATIVE TO THE ELEVATION, REFER TO PLANNING DEPARTMENT DRAWINGS FOR MORE INFORMATION ON PROPERTY LINE LOCATIONS AND DIMENSIONS.
2. CURBS AND STREETS ARE SHOWN RELATIVE TO THE ELEVATION VIEW, REFER TO LAND SURVEY FOR EXISTING CURB, GUTTER, AND STREET INFORMATION.

KEYNOTE	MATERIAL
1	ALIGN
2	TEXTURED CONCRETE, BOARD FORMED OR SIM.
3	GLAZED ALUMINUM WINDOW SYSTEM OR SIM.
4	FIBER CEMENT PANEL OR GRC PANEL OR SIM.
5	CORRUGATED METAL PANEL OR RIBBED FIBER CEMENT PANEL OR SIM.
6	ALUMINUM OR VINYL WINDOW WITH MUNTINS
7	PAINTED METAL CANOPY / AWNING / SUNSHADE
8	PATTERNED METAL FENCE / GATE / SCREEN OR SIM.
9	STANDING SEAM OR COMP SHINGLE ROOFING OR SIM.
10	SOLAR PHOTOVOLTAIC PANELS
11	SKYLIGHT
12	METAL GUARDRAIL OR HANDRAIL
13	BUILDING SIGNAGE, FINAL LOCATION / DESIGN TBD
14	EXTERIOR WALKWAY AND SUPPORT STRUCTURE
15	VERTICALLY ORIENTED WOOD OR WOOD-LOOK SIDING OR SIM.
16	JULIET BALCONY
17	RAIN LEADER / DOWNSPOUT
18	METAL ROLLING SHUTTER
19	GREEN WALL GRID SYSTEM OR SIM.

2

3

4

5

6

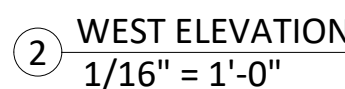
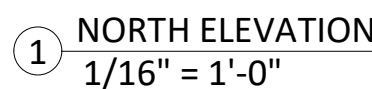
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14

15

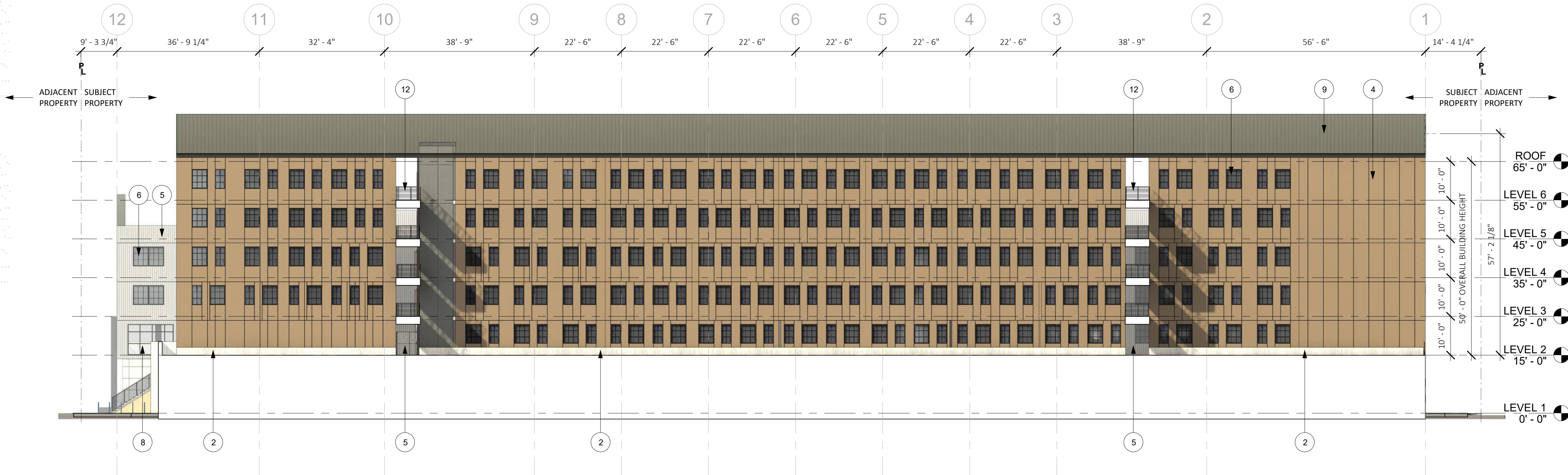
16

19





① PODIUM TERRACE 2 ELEVATION - NORTH
1/16" = 1'-0"



② PODIUM TERRACE 2 ELEVATION - SOUTH
1/16" = 1'-0"

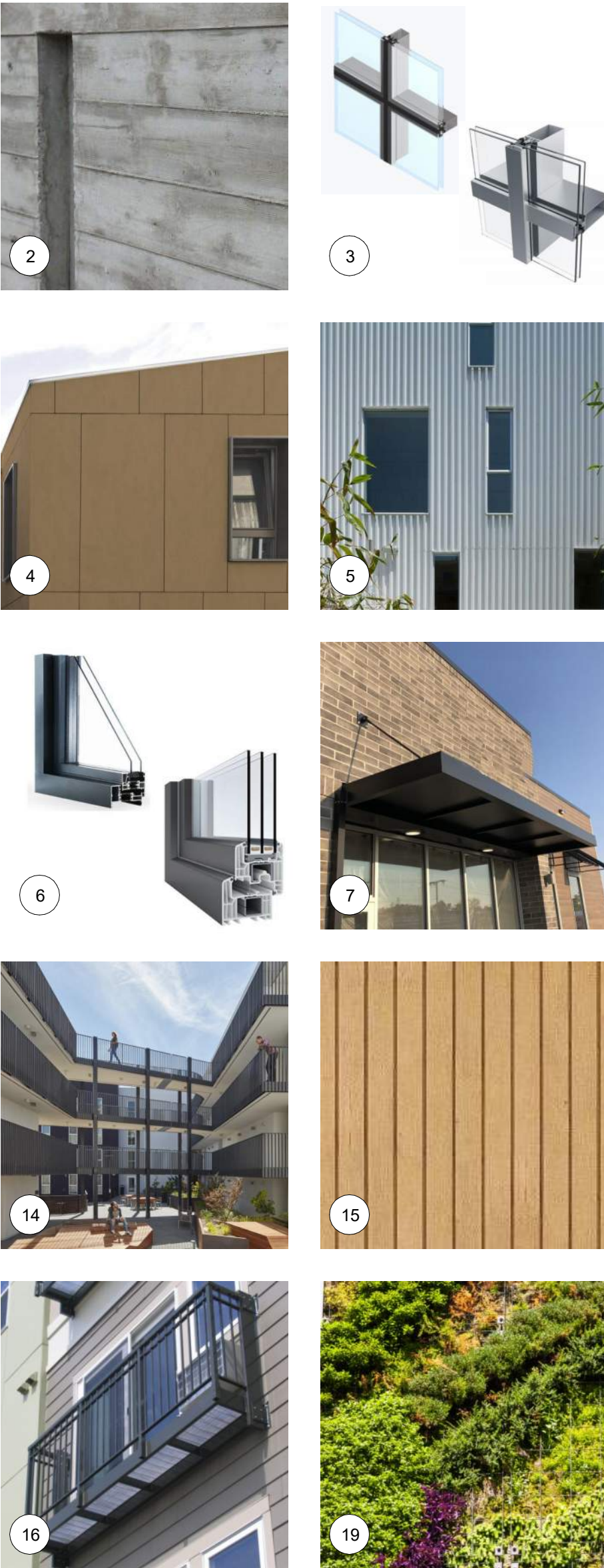
ELEVATIONS GENERAL NOTES

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ELEVATION KEYED NOTES

KEYNOTE	MATERIAL
1	ALIGN
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MATERIALS LEGEND



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ISSUES/ REVISIONS

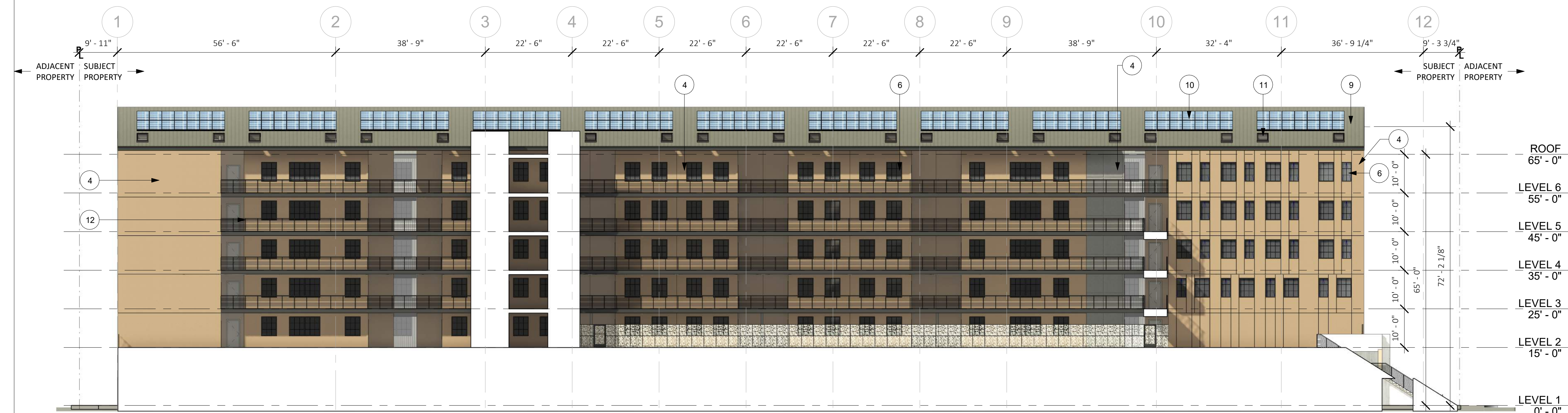
Issue	DESCRIPTION	DATE
0	SB330 PreApplication	02.15.2024
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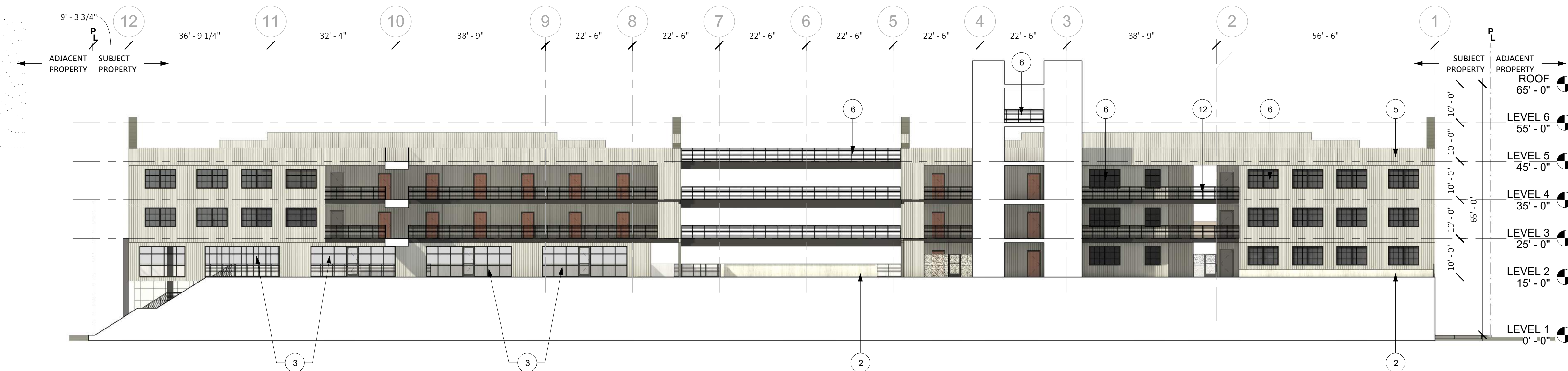
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PROPOSED
ELEVATIONS

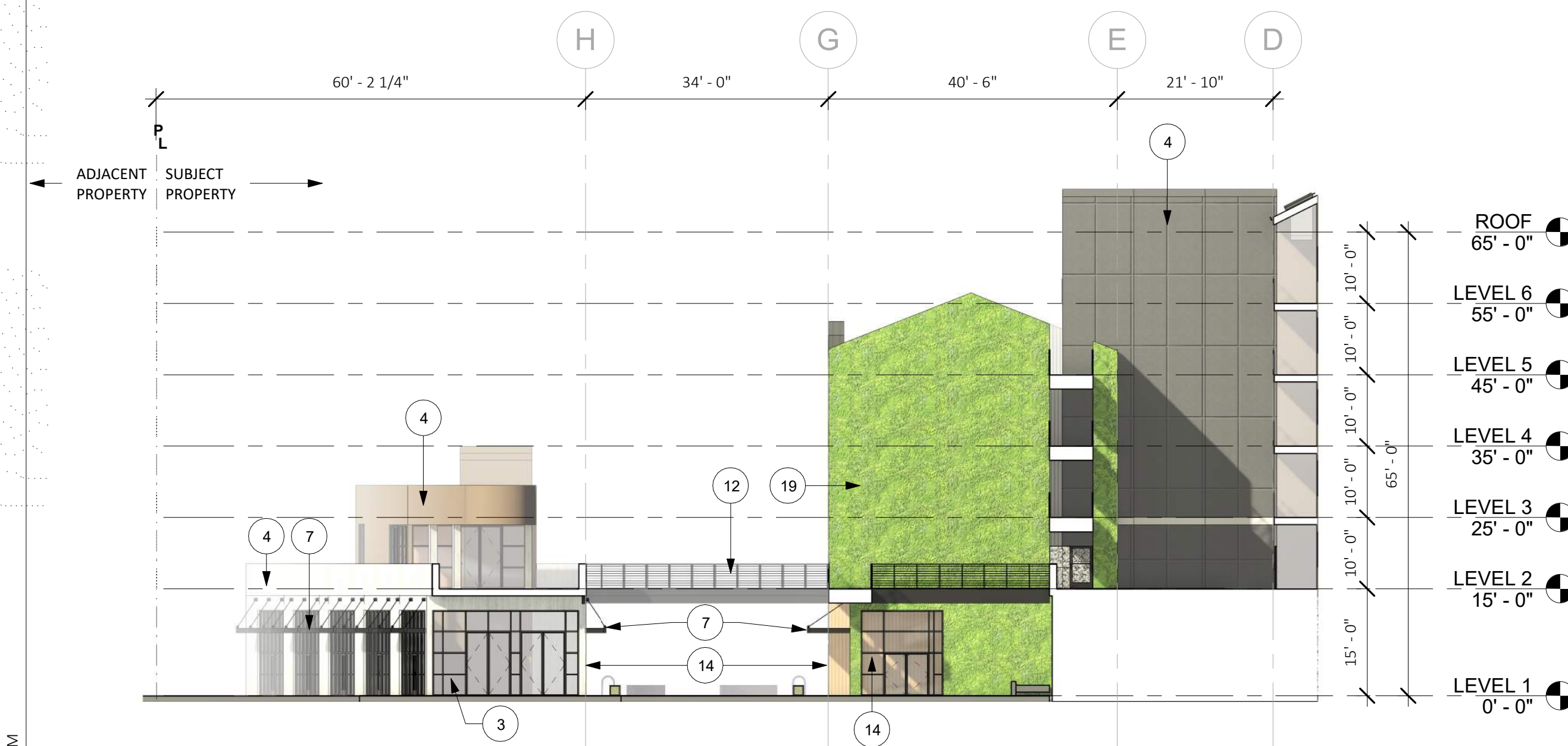
AP3.03



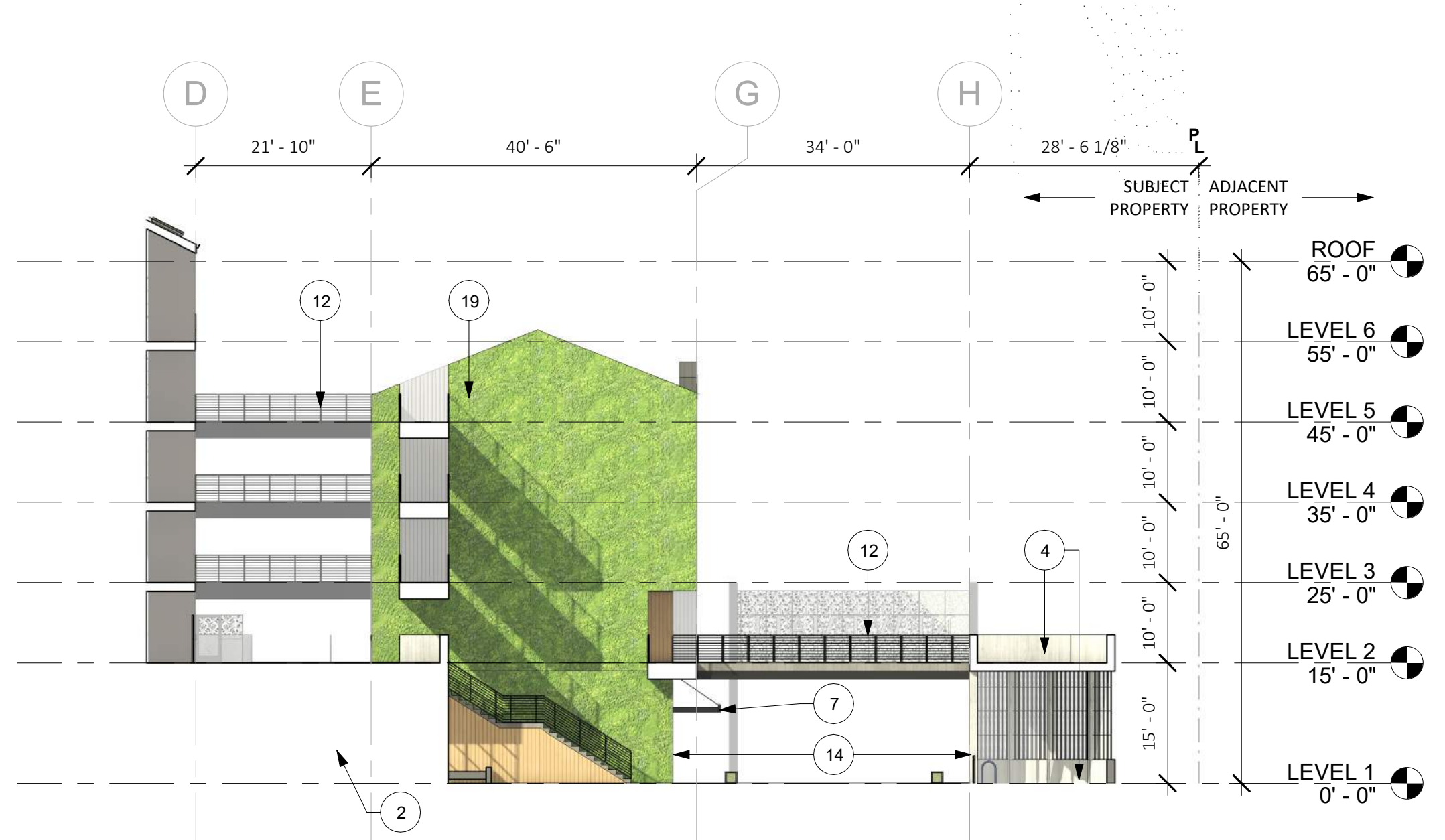
① PODIUM TERRACE 1 ELEVATION - NORTH
1/16" = 1'-0"



② PODIUM TERRACE 1 ELEVATION - SOUTH
1/16" = 1'-0"



③ COURTYARD ELEVATION - WEST
1/16" = 1'-0"



④ COURTYARD ELEVATION - EAST
1/16" = 1'-0"

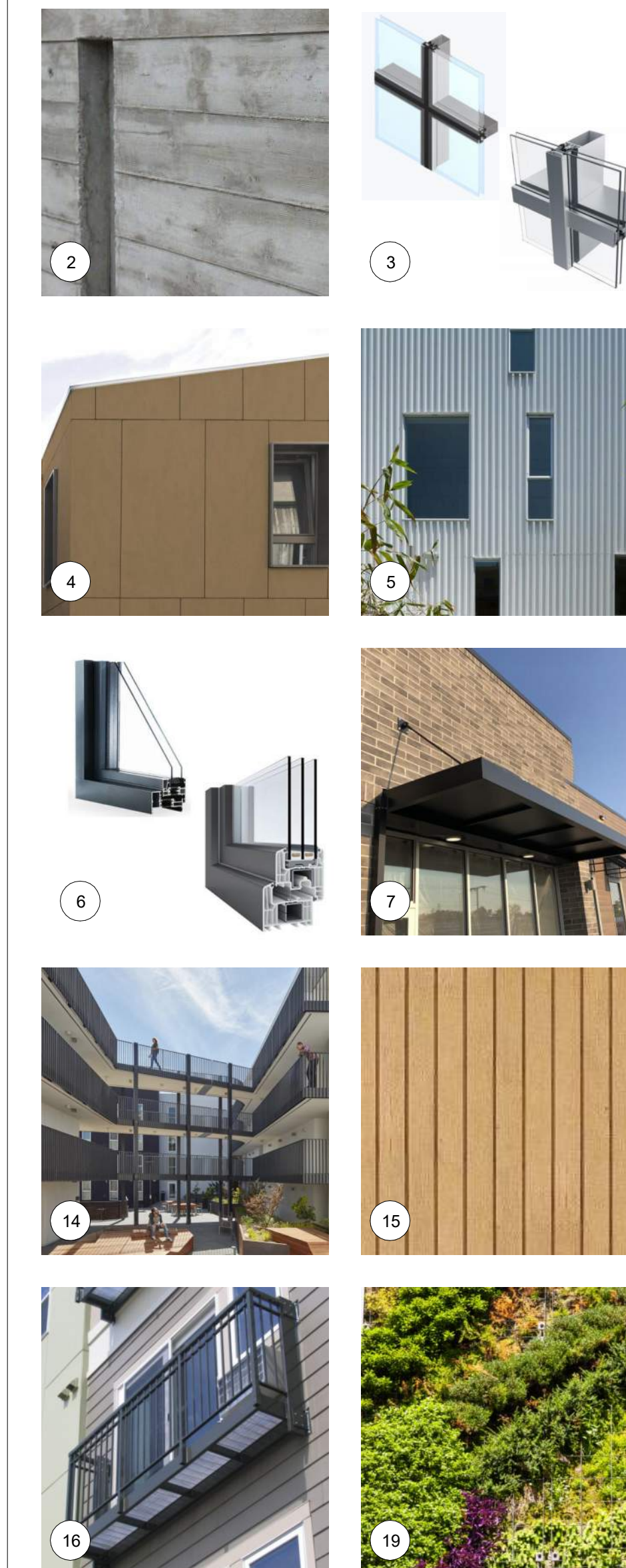
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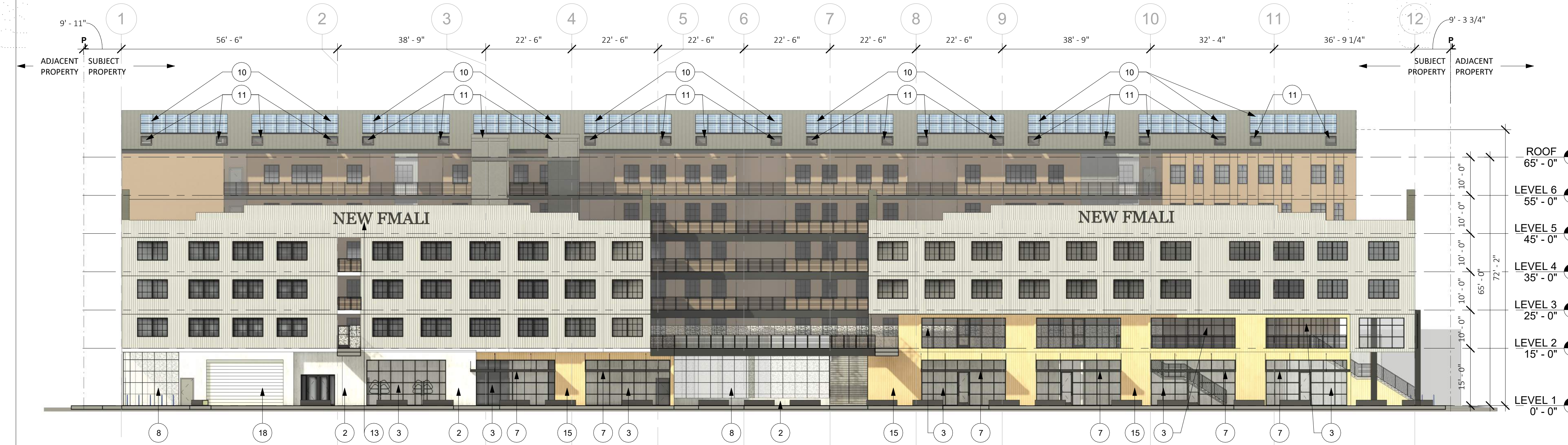
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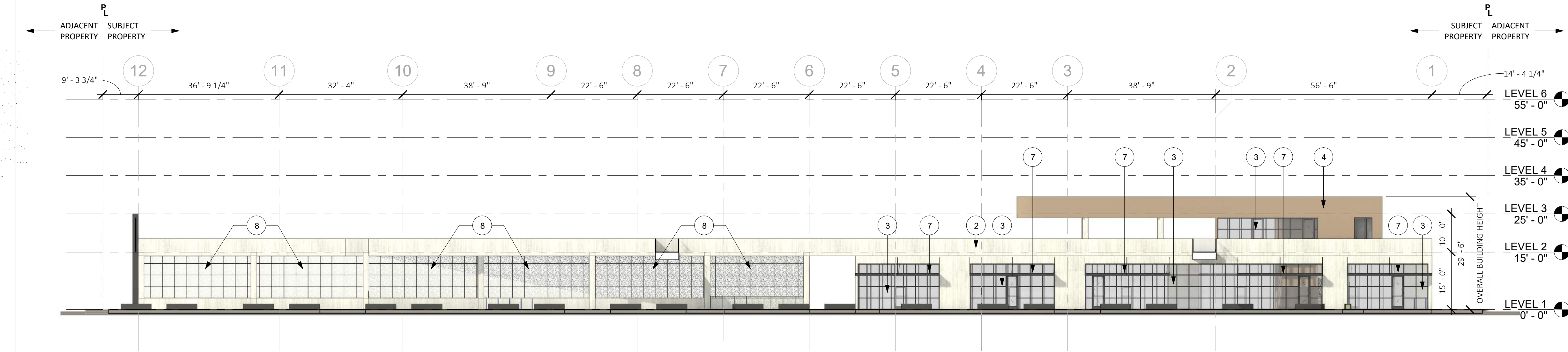
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PROPOSED
ELEVATIONS

AP3.04



1 MULTI-USE ROAD ELEVATION - NORTH
1/16" = 1'-0"



2 MULTI-USE ROAD ELEVATION - SOUTH
1/16" = 1'-0"

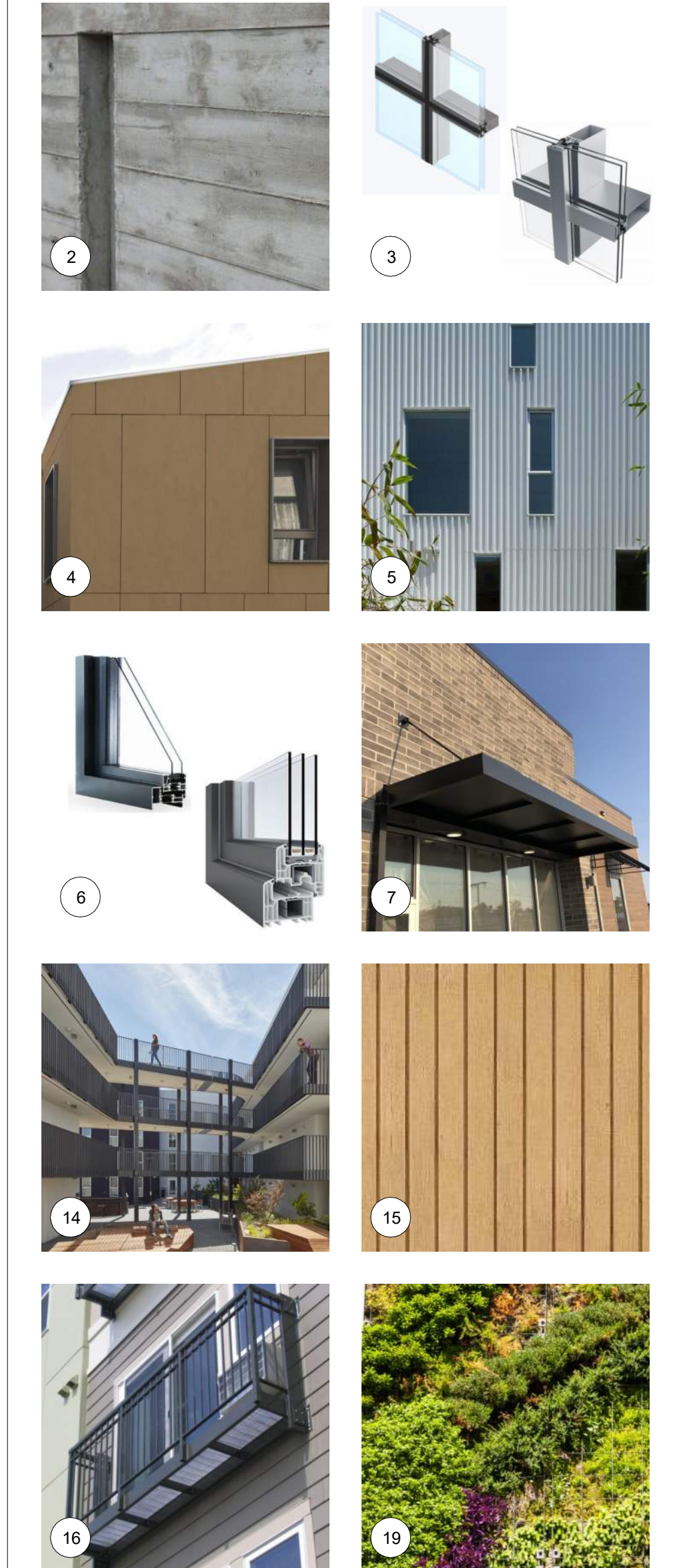
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PROPOSED
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AP3.05

