

FINAL
DELAWARE ADDITION DESIGN GUIDELINES

SANTA CRUZ, CALIFORNIA

PER CITY COUNCIL APPROVAL
13 DECEMBER 2016

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TABLE OF CONTENTS

I.	INTRODUCTION	1
	A. USING THE DESIGN GUIDELINES	1
	B. DESIGN PERMIT FINDINGS	1
	C. EXCEPTIONS AND MODIFICATIONS	2
	D. REFERENCED DOCUMENTS	2
II.	SITE ORGANIZATION	3
	A. COMMON OPEN SPACE	3
	B. PHASING	4
	C. PARKING	5
	D. TRASH ENCLOSURES	6
	E. REFERENCED DOCUMENTS	6
III.	BUILDING DESIGN: GUIDING PRINCIPLES AND REQUIREMENTS	7
	A. GUIDING PRINCIPLES	7
	B. INDUSTRIAL AESTHETIC	7
	C. REQUIREMENTS	9
	D. REFERENCED DOCUMENTS	15
IV.	LANDSCAPE DESIGN: GUIDING PRINCIPLES AND REQUIREMENTS	17
	A. REQUIREMENTS	17
	B. REFERENCED DOCUMENTS	18
V.	LIGHTING: GUIDING PRINCIPLES AND REQUIREMENTS	19
	A. REQUIREMENTS	19
	B. REFERENCED DOCUMENTS	19

VI.	SIGNAGE: GUIDING PRINCIPLES AND REQUIREMENTS	21
A.	INTRODUCTION	21
B.	DEFINITIONS	21
C.	BUILDING ADDRESSES	22
D.	BUILDING MONUMENT SIGNS	24
E.	BUILDING NAME (SINGLE-TENANT) SIGNS	26
F.	INDIVIDUAL TENANT STOREFRONT SIGNS	28
G.	INDIVIDUAL TENANT BLADE SIGNS	30
H.	WINDOW SIGNS	32

VII. LIST OF EXHIBITS

EXHIBIT A:	SITE MASTER PLAN
EXHIBIT B:	REVISED VESTING TENTATIVE MAP
EXHIBIT C:	SITE ORGANIZATION DIAGRAM
EXHIBIT D:	PLANNED DEVELOPMENT POTENTIAL USES
EXHIBIT E:	AREA BREAKDOWN BASED ON SITE MASTER PLAN
<i>EXHIBIT F:</i>	<i>NOT USED</i>
EXHIBIT G:	BUILDING ENVELOPE / PARCEL MATRIX
<i>EXHIBIT H:</i>	<i>NOT USED</i>
EXHIBIT I:	IRRIGATION MASTER PLAN
EXHIBIT J:	PLANT PALETTE
EXHIBIT K:	STREET FURNITURE GUIDE
EXHIBIT L:	LANDSCAPE MASTER PLAN
EXHIBIT M:	PROPOSED LOCATIONS - STREET FURNITURE
EXHIBIT N:	SHOWER FACILITY GUIDELINES
EXHIBIT O:	SITE LIGHTING MASTER PLAN
EXHIBIT P:	DEVELOPMENT AGREEMENT SECTIONS 3.4.2 - 3.4.6

I. INTRODUCTION

A. USING THE DESIGN GUIDELINES

The goal of these Design Guidelines is to encourage and accommodate building designs that creatively respond to business and housing needs over time – needs that cannot and should not be predicted today.

Delaware Addition is subject to a Development Agreement dated September 9, 2008 such that many City regulations then in effect are applicable to Planning Department review of development within Delaware Addition rather than regulations subsequently adopted. Design Review (herein called an Administrative Design Permit) is controlled by Sections 3.4.2 - 3.4.6 of the Development Agreement (attached as Exhibit P).

Under the Development Agreement, City of Santa Cruz Planning Department approvals and Building Permits are required for all proposed improvements to existing or undeveloped parcels within Delaware Addition. However, prior to submitting to the City of Santa Cruz, the proposed improvements must first be submitted to the Delaware Addition Association for review and approval.

Once approval is received from the Delaware Addition Association, the proposal must be submitted to the City of Santa Cruz Planning Department for an Administrative Design Permit. See Section 3.4.2-4 of Exhibit P for the Design Review Process. An Administrative Design Permit is similar to the City's existing Design Permit process – except that the permit is not appealable by the public – and planning staff will only determine if the proposed improvements are in substantial conformance with these Design Guidelines. A fee will apply and be specified at the time of submission.

The preparation by the Applicant of a Design Submittal may require consultation and cooperation between the City and the Applicant. Accordingly, upon request, the Planning Director and the assigned Planner shall be available to consult and advise with the Applicant regarding proposed designs for improvements on any parcel within Delaware Addition prior to the Design Submittal. See Section 3.4.5 of Exhibit P.

Note: The use of a parcel may be Principally Permitted or may require approval of an Administrative Use Permit or Special Use Permit, which may be required in addition to an Administrative Design Permit. Use permits shall be processed pursuant to the most current requirements in the Zoning Ordinance. See Exhibit D of these Guidelines for a list of uses.

B. DESIGN PERMIT FINDINGS

An application for an Administrative Design Permit shall be approved if the proposed improvement substantially complies with all six of the following criteria:

- a. The Delaware Addition Association has reviewed and approved the improvement as proposed and evidence of such approval has been submitted in writing.
- b. The proposed improvement is located within the Delaware Addition Subdivision.
- c. The associated use is Principally Permitted as defined in Exhibit D, or has otherwise obtained a Conditional Use Permit as indicated under Exhibit D of these Guidelines.
- d. The proposed design and improvements do not unreasonably interfere with the Open Space Plan of the Development.
- e. The proposed design meets the requirements for the specific lot upon which such improvements are located as described in the Building Envelope / Parcel Matrix (Exhibit G). Variations to the Matrix that are consistent with the overall scheme of development and do not conflict with existing and future development may be permitted.
- f. The proposed design is consistent with the principles and requirements of these Delaware Addition Design Guidelines.

C. EXCEPTIONS AND MODIFICATION

A proposal that significantly deviates from the Design Guidelines may be accepted by the Delaware Addition Association if it is found to meet the intent and vision of the Delaware Addition without triggering additional requirements for environmental or other agency review.

All proposed improvements that require an exception or modification to the Delaware Addition Design Guidelines shall require approval of a Design Permit by the Zoning Administrator at a duly noticed public hearing and is subject to the findings listed in Section B of this Introduction. The Design Permit is appealable by any member of the public and the procedure for such action shall be consistent with Chapter 24.04 of the City Zoning Ordinance. The appeal must constitute a design-related issue.

The decision of the Zoning Administrator may be appealed to the Santa Cruz City Council through the City Clerk, consistent with provisions provided under Santa Cruz Municipal Code Sections 24.04.180 through 24.04.185 and as may hereinafter be amended. These appeals shall be limited to design issues.

D. REFERENCED DOCUMENTS

1. Exhibit D: Planned Development Potential Uses
2. Exhibit G: Building Envelope / Parcel Matrix
3. Exhibit P: Development Agreement, Sections 3.4.2 - 3.4.6

II. SITE ORGANIZATION

The Site Master Plan (Exhibit A) illustrates a layout of building footprints (some straddling lot lines, which can be accommodated by merging lots), paths and parking throughout the site. Commercial / industrial buildings depicted in the Site Master Plan along the east and west boundaries follow a 24-foot building module, which in turn forms the basis for each condominium address. This module is used only as an organizing device, and may be broken as long as building setbacks prescribed by the Building Envelope / Parcel Matrix (Exhibit G) are adhered to for each parcel.

A. COMMON OPEN SPACE

The development includes three Common Open Space lots or public amenities: the Delaware Plaza, the Central Plaza, and the Riparian Corridor and Trail. The development of each of these areas is triggered by the build-out of nearby private lots as illustrated in the Revised Vesting Tentative Map (Exhibit B) and shall be constructed by the Master Developer at a timeline consistent with the associated development.

1. DELAWARE PLAZA

The Delaware Plaza (Lot N) shall be a minimum of 7,500 square feet in area and developed concurrently with Lot 17 (see Revised Vesting Tentative Map, Exhibit B). The Metropolitan Transit District requires a bus stop on the street at this location, and a comfortable, sheltered waiting area shall be constructed on this parcel.

In addition to the Revised Vesting Tentative Map, the Building Envelope / Parcel Matrix (Exhibit G) identifies all requirements and allowable projections within the Delaware Plaza. The Landscape Master Plan (Exhibit L), Plant Palette (Exhibit J), Street Furniture Guide (Exhibit K) and Proposed Locations - Street Furniture (Exhibit M) further illustrate, in general terms, how this Plaza is envisioned.

2. CENTRAL PLAZA

The Central Plaza (Lot M) shall be a minimum of 8,500 square feet in area and developed concurrently with any one of the following: Lots 19, 20, or 21 (see Revised Vesting Tentative Map, Exhibit B).

An architectural amenity, such as a sundial, fountain, sculpture, or other focal element (subject to review by the Delaware Addition Association), shall be incorporated into the design of the Plaza or on the buildings facing the Plaza on Lots 19 or 20.

In addition to the Revised Vesting Tentative Map (Exhibit B), the Building Envelope / Parcel Matrix (Exhibit G) identifies all requirements and allowable projections within the Central Plaza. The Landscape Master Plan (Exhibit L), Plant Palette (Exhibit J), Street Furniture Guide (Exhibit K), and Proposed Locations - Street Furniture (Exhibit M) further illustrate, in general terms, how this plaza is envisioned.

3. RIPARIAN CORRIDOR AND TRAIL

Riparian Corridor setbacks are prescribed in Table ES-1 of the Santa Cruz Creeks and Wetlands Management Plan and includes a 30' Riparian Corridor setback, 80' & 70' Development setbacks, and a 95' Management Area setback from the centerline of Arroyo Seco.

A new 8-foot-wide all-weather multi-use trail of asphalt paving will be developed along the Arroyo Seco Riparian Corridor at the western edge of the site (Lot Y) extending from the existing sidewalk along Delaware Avenue on the south end of the site towards the railroad right-of-way at the north end of the site. A lockable gate at each end of the trail will limit hours of operation from sunrise to sunset. The installation of the riparian trail and both of the Rail Trail connections shall be completed prior to occupancy of any building in Phase 2 or 3, whichever occurs first. (see Revised Vesting Tentative Map, Exhibit B).

B. PHASING

The 19.99-acre site will be developed over time according to the Phasing Schedule as indicated on the approved Site Master Plan and as described in the project approvals. Prior to recordation of a new final map in a phase of development, improvement plans shall be submitted which reflect the construction of all on-site and off-site improvements within that phase. Building permit plans shall show the construction of on-site improvements as required to serve the particular lot(s) shown on the map. Prior to building permit final and occupancy of any building within each phase, all on-site and off-site improvements shall be completed to the satisfaction of the Director of Planning and Community Development and the Director of Public Works.

It is noted that the following phases may not be completed sequentially; therefore, all off-site improvements along Delaware Avenue shall be completed prior to occupancy of any building in any Phase and the Riparian Corridor Trail and two Rail Trail connections shall be completed prior to occupancy of any building in Phase 2 or 3, whichever occurs first.

1. PHASE 1

The first Phase of the Delaware Addition includes lots on either side of High Road in addition to all lots with frontage along Delaware Avenue. The infrastructure associated with Phase 1 includes not only High Road, but also Panetta Avenue and Ingalls Alley - the two primary axes and entry points to the development. Easy Street and a section of Low Road between Easy Street and Delaware Avenue complete the circulation around and access to the parcels within Phase 1. The Delaware Plaza is also included in Phase 1. Phase 1 is further divided into three sub-phases defined as indicated below for the development of the site.

- a. PHASE 1A contains Lot 1, Lot 2, Lot A and Lot B and is complete.
- b. PHASE 1B includes the majority of parcels within Phase 1 including Private Parcel Lots 3 - Lot 16 and Common Area Parcel Lots C - H and Lots J - L which define the continuation of Panetta Avenue, High Road as well as Ingalls Alley.
- c. PHASE 1C is comprised of the remaining parcels within Phase 1 along Delaware Avenue: Private Parcels Lot 17 and Lot 18, and Common Parcels Lot N, Lot P, Lot Q and Lot R.

2. PHASE 2

A portion of the site encompassing Lots M, 19, 20 & 21 has been identified as Phase 2. Lots 20 & 21 have been dedicated to providing the approved 161 residential units in two four-story apartment buildings. In addition to providing the residential units, Phase 2 also includes Lot 19 and a portion of Lot 20 for commercial use, Lot M dedicated to the Central Plaza and Lot Y. Although uses in Phase 2 are identified as residential as well as commercial, all buildings must adhere to the same requirements defined in Part III: Building Design. All off-site improvements along Swift Street and construction of Panetta Avenue and Ingalls Alley shall be completed prior to occupancy of any building in Phase 2.

3. PHASE 3

Thirty (30) parcels (Lots 22 - 52) in the middle of the development, encompassing approximately six and a half acres, have been designated as Phase 3. Adjacent parcels within Phase 3 may be combined to form several larger building sites, or aggregated to accommodate a single larger specialized industrial building. Setbacks shall follow the outermost requirements of the individual parcels and open space requirements shall be additive. The maximum building area allowed on the combined parcel, as well as the minimum required parking, shall be considered against the allowances and requirements of the development as a whole. Phase 3 provides infrastructure including the completion of Low Road as well as two Secondary Streets, Elizabeth Street and Loran Street to extend the vehicle and pedestrian access to all areas of the development.

C. PARKING

The development generally utilizes cooperative parking management. The approved Parking Mitigation Site Plan identifies the parcels that shall be reserved for on-site parking. Reserved parking spaces shall be limited to those spaces that occur immediately in front of a building's possible roll-up door location.

1. REQUIREMENTS

The list of uses in Exhibit D shall be used to determine the number of parking spaces required to serve a proposed use. The required number of parking spaces shall be consistent with the parking ratios provided in the city zoning ordinance at the time of approval of the Development Agreement, with the exception of the residential parking requirement which is based on the following parking per unit. The following parking ratios are provided as examples as they represent the uses that are anticipated to be the most common uses within the development, however, other uses may have a higher parking demand than those uses listed below.

- | | |
|----------------------------|--|
| a. Warehouse: | 1 space per 1000 sf |
| b. Light Manufacturing: | 1 space per 500 sf |
| c. Research & Development: | 1 space per 325 sf |
| d. Office: | 1 space per 300 sf |
| e. Retail: | 1 space per 250 sf |
| f. Residential: | 1.25 spaces per 1 bedroom or studio unit |
| | 2.25 spaces per 2-3 bedroom unit |

This parking requirement for each use is to be reduced by 20%, one half for shared use and one half for Delaware Addition's non-automobile use programs. Parking provided on an individual lot and not within a common area shall only benefit from the 10% non-automobile program reduction, as further described below. The overall site parking requirements may be reduced further pursuant to the Delaware Addition Parking Mitigation Plan.

2. LOADING FACILITIES

Loading spaces shall be provided as necessary in conjunction with new uses of land to reduce street congestion and traffic hazards. Loading spaces may vary in area based on the needs of the proposed use, however, the loading space shall not be less than ten feet in width by twenty feet in length with an overhead clearance of fourteen feet. Sufficient room for maneuvering vehicles shall be provided. Loading spaces shall not block access to entrances or to parking spaces and shall not be counted as required parking.

- a. Number of Loading Spaces required:
 - i. 10,000 – 24,999 gross square feet of area requires 1 loading space.
 - ii. 25,000 – 49,000 gross square feet of area requires 2 loading spaces.

3. ON-SITE PARKING

Non-restricted and restricted on-site parking may be provided on an individual lot to serve a specific use, building, or lot; however, the total number of parking spaces provided must meet the minimum required based on the proposed use(s) or the Master Developer shall be required to provide the difference in the number of parking spaces as shared parking within Common Areas. Non-restricted, on-site parking and restricted on-site parking shall be calculated in the same manner and neither shall benefit from the 10 percent shared parking program reduction unless the parking area is converted to Common Area and managed by the Delaware Addition Association.

Uses on lots with on-site restricted or non-restricted parking shall utilize the following process to determine required parking: First calculate the parking required under Section C.1 above without any reductions. Then reduce the amount by 10% for Delaware Addition's non-automobile use programs. Then deduct the number of reserved spaces provided on the parcel or parcels. The remainder shall be reduced by 10%

for the shared use of such spaces and shall be the amount required to be available within the Delaware Addition site.

Parking lots that are used for fleet vehicles, vehicle storage, equipment, or machinery shall not be counted as a part of the overall parking supply.

D. TRASH ENCLOSURES

Trash enclosures are distributed throughout the development for common use and located on Common Area Lots. Enclosures shall be built and maintained by the Delaware Addition Association and shall meet City of Santa Cruz Department of Public Works Refuse Container Storage Facility Standard Design Policies. The Apartment Buildings on Lots 20 & 21 provide Trash Areas in lieu of permanent trash enclosures on Lots K and L (Trash Areas D & F).

See Exhibit A: Site Master Plan for locations and Exhibit G: Building Envelope / Parcel Matrix for building assignments.

E. SHOWER FACILITIES

A four-stall shower facility will be completed by 50-percent buildout (295,000 gross square feet) that shall be accessible to all employees of the development. The facility will be located on a lot within Phase 1B, Phase 1C or Phase 2. The Master Developer shall be responsible for the construction.

See Exhibit N: Shower Facility Guidelines.

F. REFERENCED DOCUMENTS

1. Exhibit A: Site Master Plan
2. Exhibit B: Revised Vesting Tentative Map
3. Exhibit C: Site Organization Diagram
4. Exhibit G: Building Envelope / Parcel Matrix
5. Exhibit J: Plant Palette
6. Exhibit K: Street Furniture Guide
7. Exhibit L: Landscape Master Plan
8. Exhibit M: Proposed Locations - Street Furniture
9. Exhibit N: Shower Facility Guidelines

III. BUILDING DESIGN: GUIDING PRINCIPLES AND REQUIREMENTS

The goal of this section is to set forth principles to guide building design choices that will encourage creativity while accommodating the needs of a wide variety of businesses – needs that may be impossible to predict. Rather than achieve visual harmony by prescribing common materials, window and door types or roof slopes, this development will be unified by a common approach to building design and aesthetics, paired with consistency in landscape design, site lighting and signage.

A. GUIDING PRINCIPLES

The development shall be built upon a common industrial aesthetic of economic, straightforward designs employing materials in their most natural state, free of the pretension of historicist references or ornamentation. Examples of industrial architecture are plentiful and easily researched, but have also been included in this Section for clarity of intent.

Additional principles to consider include:

1. VARIETY AND FLEXIBILITY

Commercial / Industrial Buildings will be a mix of one to four story structures of tilt-up concrete, steel, masonry or wood frame construction, capable of being sub-divided and structurally adapted to the changing needs of industrially-zoned uses.

2. TOLERANCE AND CONSIDERATION

Projects that combine housing and employment in close proximity rely on each business to mitigate excessive noise; likewise, those who develop flex spaces for residential purposes must acknowledge that these units may be subject to noise and other disturbances associated with an industrial zone.

B. INDUSTRIAL AESTHETIC

Projects should demonstrate characteristics of Industrial Architecture including the following:

1. FAÇADE MODULATION AND RHYTHM:

Building elevations are broken down with repeated elements at a smaller scale to create visual interest.



2. EXPRESSION OF STRUCTURE

Building tectonic systems are left exposed or are expressed through identifiable demarcations on the building finish materials.



3. INDUSTRIAL MATERIALS:

Durable, cost-effective materials are used in the cladding of buildings. These include metal panel, fiber cement board panel and planks, wood, brick and stucco.



4. WINDOWS - FREQUENCY, SIZE, REPETITION

Larger-scaled window sizes are repeated at regular intervals as elements to break down monumental walls on larger buildings.



5. ROOF PROFILE

Roof forms are functional, provide opportunity for high volume spaces below and allow for natural daylighting elements.



C. REQUIREMENTS

1. FACADE ARTICULATION:

- Vary and articulate building façade through use of texture, color, material changes and massing appropriate for a mixed-use neighborhood.
- Large expanses of monolithic blank walls should be avoided.



RECOMMENDED

Material changes, placement of windows and projections, and setbacks help to break down large, monolithic walls.



NOT RECOMMENDED

Lack of articulation and windows does little for the pedestrian experience.

2. MINIMUM GROUND FLOOR HEIGHT

All buildings shall have a minimum 11'-0" floor-to-floor height at the ground floor. See Figure 01.

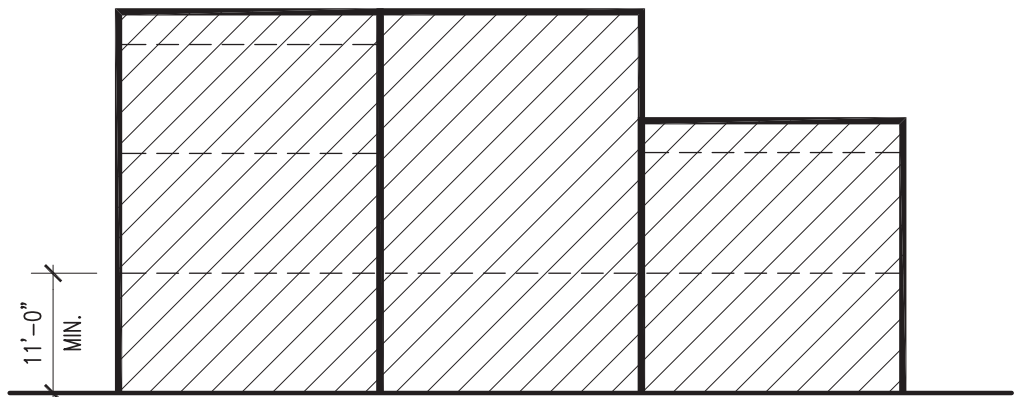


FIGURE 01: GROUND FLOOR HEIGHT REQUIREMENT.

3. BUILDING EDGES AND SITE GATEWAYS

For buildings designated as a gateway, maintain a minimum length of 20'-0" building street wall along lot line from corner. (see Figure 02 & Figure 03)

Use of a secondary accent material is required at Gateway Corners.

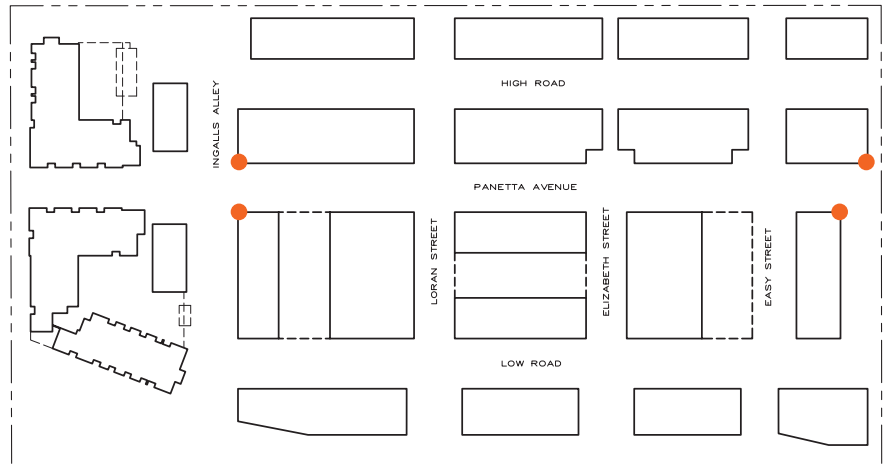


FIGURE 02: SITE GATEWAY CORNERS.

4. SETBACKS

- a. See Revised Vesting Tentative Map (Exhibit B) & Building Envelope / Parcel Matrix (Exhibit G) for setback requirements.
- b. Additional Setback Variation Allowance:
 - i. Additional 10'-0" maximum variation in street wall frontage beyond prescribed setback from parcel lot line allowed (See Figure 04).
- c. Building Frontage on Lot Line:
 - i. Buildings shall maintain a close proximity to the street and to each other.
 - ii. 50% minimum of building shall maintain massing at the lot line or prescribed setback for that parcel.
 - iii. Exception allowed to building frontage requirements for full block strip of parking similar to street parking.

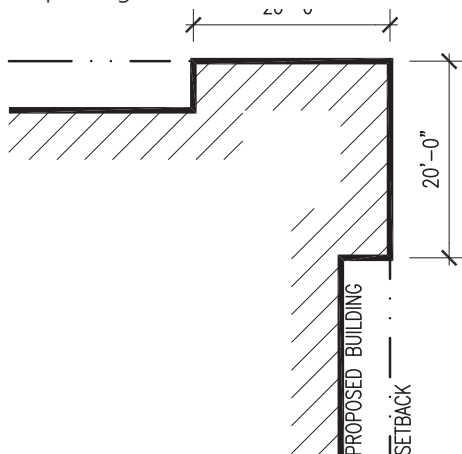


FIGURE 03: BUILDING EDGE REQUIREMENT AT GATEWAY CORNERS.

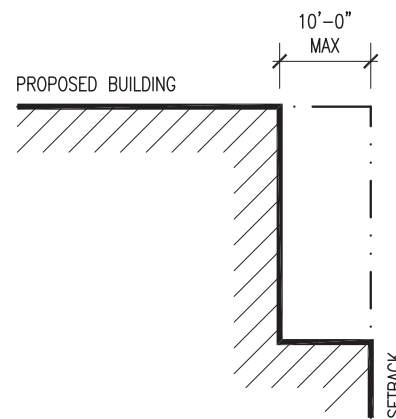


FIGURE 04: ADDITIONAL SETBACK VARIATION ALLOWANCE.

5. ENTRANCES

a. Distinguishing Entries:

- i. Entrances should be appropriately scaled for the overall proportion of the building.
- ii. Entrances should include architectural features such as canopies or a recess to denote entry and provide shelter for pedestrians.



RECOMMENDED

Entrances are highlighted by color, appropriately scaled, and covered to provide shelter for pedestrians.



NOT RECOMMENDED

Entrances are poorly defined and exposed to weather.

b. Location:

Primary entrances should be clear and identifiable along the major façade to maintain intended streetscape.

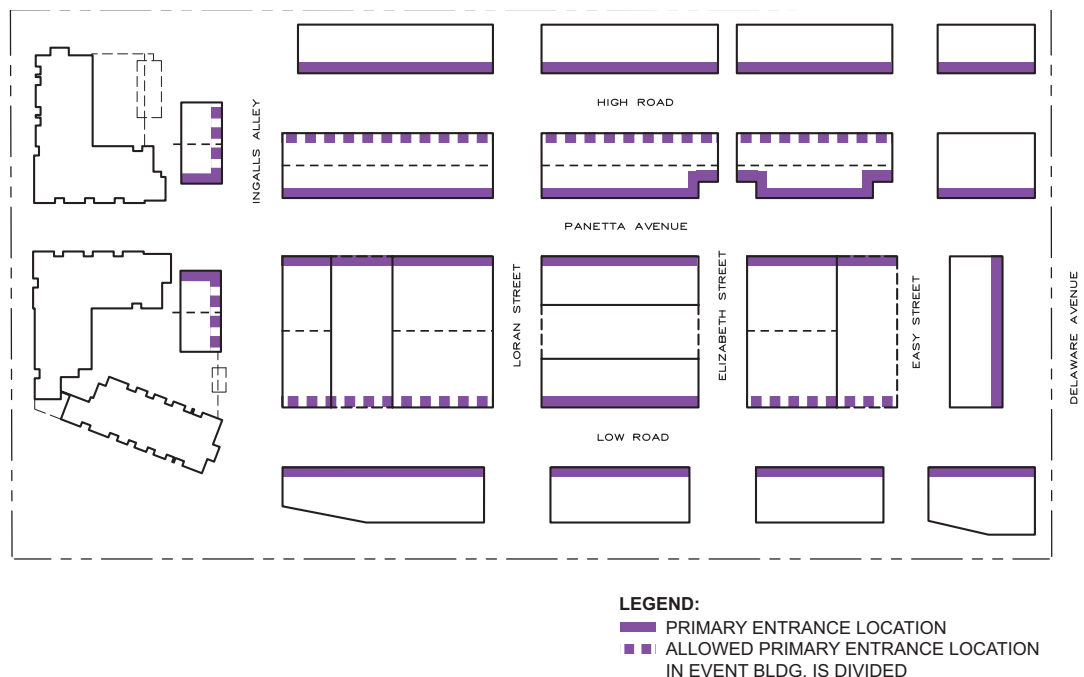


FIGURE 05: PRIMARY ENTRANCE LOCATIONS.

6. CURB CUTS

One curb cut per street frontage per lot allowed, but not allowed on Primary Streets.

7. FENCING AND SITE WALLS

See Landscape Design Guidelines in Section IV.

8. OPENINGS AND GLAZING

- a. Roll-Up Doors: Roll-up doors for vehicles shall be limited to Service Streets. Roll-up doors for pedestrians may be allowed on Primary Streets with Delaware Addition Association approval. All roll-up doors shall not exceed 40% of First Level Building Frontage.
- b. Opening Treatment: Openings with security bars are prohibited.
- c. Minimum percentage of glazing required (See Figure 06):
 - i. Buildings adjacent to Public Plazas:
 - 35% glazing at ground level.
 - ii. Buildings with facades along Primary Streets:
 - 20% glazing per 24'-0" at first floor.
 - 15% glazing per 24'-0" at upper floors.
 - iii. Buildings with facades along Secondary Streets:
 - 10% glazing per 24'-0" at first floor.
 - 10% glazing per 24'-0" at upper floors.
 - iv. Buildings with facades along Service Streets:
 - 5% glazing per 24'-0" at first floor.
 - 10% glazing per 24'-0" at upper floors.

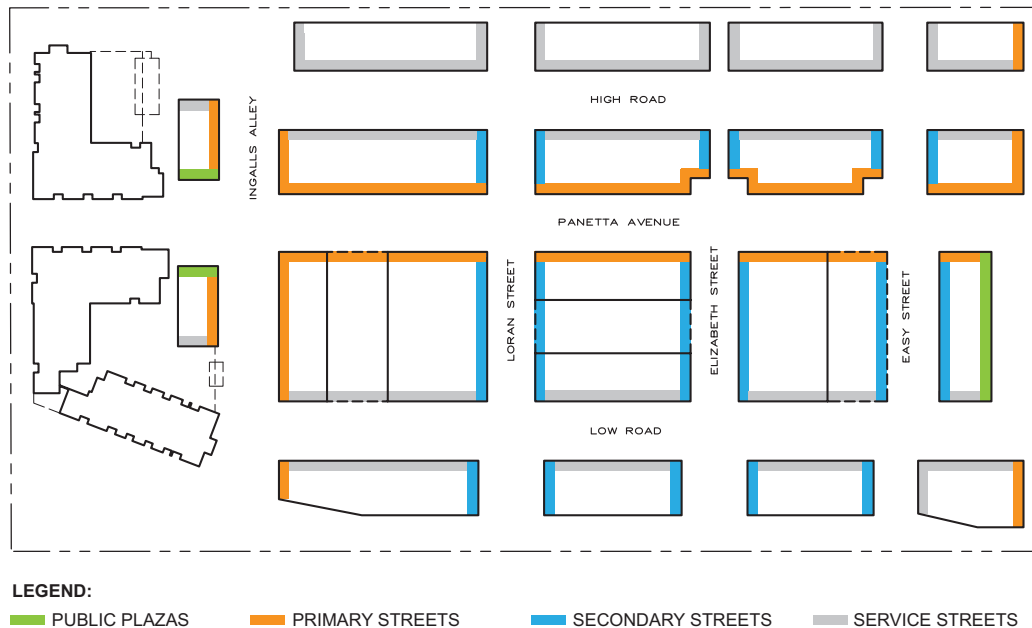


FIGURE 06: GLAZING REQUIREMENTS.

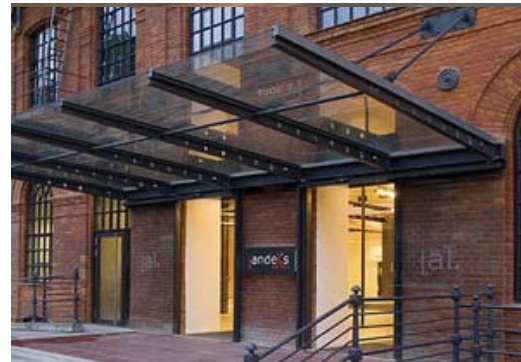
9. HORIZONTAL PROJECTIONS

- See Exhibit G: Building Envelope / Parcel Matrix for allowable projection types and dimensions.
- Sunscreens and canopies or other horizontal projections located directly above overhead doors shall maintain a minimum clear height of 14'-0" to allow truck access.
- Buildings adjacent to public plazas should incorporate a continuous awning along plaza side of structure.



RECOMMENDED

Appropriately sized overhang at entry.



RECOMMENDED

Continuous overhangs at public plazas to shelter pedestrians and encourage outdoor uses.

10. ROOF LINE

- Roof and building design incorporates opportunities for natural lighting and ventilation, with careful consideration given to solar orientation and prevailing winds.
- Varied roof lines through sloping roofs, modulated building heights and step backs are encouraged to avoid long horizontal continuously uninterrupted roof lines.



RECOMMENDED

Roof termination line is broken down along the length of the building into smaller scaled elements to create visual interest.



RECOMMENDED

Sloping roof profile and variation creates visual interest and rhythm, while at the same time allowing for skylights to bring natural light into interior spaces.

11. MATERIALS

- a. Building Materials – All building materials should be appropriate for the industrial architectural aesthetic.

i. Recommended Primary Building Materials:

1. Concrete
2. Metal Panels
3. Corrugated Metal Panels
4. Glass
5. Cement Board Siding



RECOMMENDED

- ii. Recommended Secondary Building Materials - should comprise at least 5% of the total exterior façade area:

1. Metal
2. Wood
3. Concrete

b. Color

- i. Color palettes with hues appropriate to industrial aesthetic are encouraged.
- ii. Large areas of bright colors (greater than 30% of facade) are considered inappropriate for the industrial nature of the development.



RECOMMENDED

Bright colors are used in limited areas as accent to a primary color or material.



NOT RECOMMENDED

Multiple large areas of bright colors are inappropriate for the industrial development.

c. Glazing

- i. Buildings shall be designed with non-reflective glass to minimize potential glare impacts and all projects shall comply with Municipal Code performance standards for glare.
- ii. Clear glass is encouraged to maintain uniformity throughout the development.

**RECOMMENDED**

Clear glass provides a visual transparency from exterior to interior and vice versa, activating the street.

**NOT RECOMMENDED**

Reflective glass, even in small quantities causes glare issues.

12. UTILITY EQUIPMENT

Utility installations and transformer boxes on lots fronting Delaware Avenue shall be placed underground, in utility sheds, or screened from public view from Delaware Avenue.

- a. Utility meters and panel boxes may be surface mounted to buildings in limited locations pending Delaware Addition Association approval and subject to the below screening requirements.
- b. All panels and meters for Commercial / Industrial buildings shall be located on north or south ends of buildings (on Service Streets) at the furthest distance from Primary Streets.
- c. All utility equipment, including roof mounted, roof-top and other visible mechanical equipment, shall be screened from public view as seen from street level along Delaware Avenue with material compatible with the materials of the building and shall be subject to review and approval by the Planning Department either as part of the design permit process or with the building plans for a new use.

13. MECHANICAL EQUIPMENT

- a. Mechanical equipment, including roof mounted, roof-top and other visible mechanical equipment, external radio or television or telecommunications transmitting or receiving antennas or other electronic antennas or dishes, shall not require screening, except where visible from street level along Delaware Avenue, and shall meet the following requirements:
 - i. Not be installed on a Lot fronting Delaware Avenue so as to be visible from Delaware Avenue unless incorporated into the roof design and/or fully screened from public view from Delaware Avenue street level with material compatible with the materials of the building, subject to review and approval by the Planning Department either as a part of the design permit process or with the building plans for a new use.
 - ii. Be appropriately located in other areas so as to mitigate views from the Common Areas provided such mitigation does not significantly increase the cost of the antenna system or significantly decrease the efficiency or performance of the transmitting device.
- b. All tenants and businesses shall fully comply with the Noise Ordinance of the City of Santa Cruz. Businesses shall be required to mitigate excessive noise identified as a possible conflict with an adjacent use and particular consideration should be given to the mixed-use nature of the site.

D. REFERENCED DOCUMENTS

1. Exhibit A: Site Master Plan
2. Exhibit B: Revised Vesting Tentative Map
3. Exhibit G: Building Envelope / Parcel Matrix

IV. LANDSCAPE DESIGN: GUIDING PRINCIPLES AND REQUIREMENTS

The Landscape Master Plan (Exhibit L and sheets L1.00 - L1.04 of the approved project plans) for the Delaware Addition embodies all the principal goals of the development, which include a commitment to a pedestrian-friendly streetscape, environmental benefits, and low water-use plants, while maintaining an overall industrial character.

In addition, the planting program is intended to unify components of the project site through the selective use of trees, shrubs, grasses, groundcovers, and vines. Landscaping is used to define and enhance communal areas as well as spaces associated with individual businesses and residences.

Common Open Space such as plazas (Lot M and Lot N), roadways, and the riparian corridor and trail (Lot Y) shall be installed and maintained by the Master Developer / Delaware Addition Association and shall include all elements depicted on the approved plans.

Private Open Space elements shall be installed and maintained by the owner of each parcel.

A. REQUIREMENTS

The landscape development of the site shall follow the Landscape Master Plan (Exhibit L and sheets L1.00 - L1.04 of the approved project plans). Modifications to planting areas and paving materials may be permitted, but will require approval by the Delaware Addition Association and the Planning Director.

1. PLANTING

- a. All trees, espaliers, shrubs, grasses, and vines shall be selected from the Plant Palette (Exhibit J) or the Santa Cruz County Water-Smart website (<http://www.santacruz.watersavingplants.com/>) and may not be listed on the California invasive plant inventory (<http://www.cal-ipc.org/ip/inventory/>).
- b. Modifications may be permitted, but will require submittal to and approval by the Delaware Addition Association and the City Planning Department.

2. TURF GRASS

- a. Turf grass shall be limited to no more than 25% of the total landscape area.
- b. Only water-conserving species such as tall and hard fescues shall be utilized.
- c. Turf grass shall not be placed in areas less than 8 feet wide or on slopes greater than 10%.

3. FENCES

- a. Fences may be used to define private exterior space within the rear and side yards of individual lots. Fencing is not encouraged to be located adjacent to streets consistent with the goal of providing a pedestrian-friendly streetscape. Fences that are adjacent to a street may be permitted up to a maximum height of 42 inches with approval of the Delaware Addition Association and approval of a Conditional Fence Permit by the City Planning Department.
- b. Fences shall be a maximum 6 feet in height along the east and north perimeter property lines of the development. Fences greater than 6 feet and up to a maximum of 8 feet in height may be permitted along the east and north perimeter property lines of the development with approval of the Delaware Addition Association and with approval of a Conditional Fence Permit by the City Planning Department.
- c. The fences east of the Riparian Corridor trail and west of the 80'-0" & 70'-0" Development Setbacks defined by the Creeks and Wetlands Management Plan shall not exceed 4 feet in height, must be open-style, and align with lot lines along Common Area Parcel Lot Y. Closed-style fencing may be located east of the 80'-0" & 70'-0" Development Setbacks, up to 6 feet in height on private parcels Lot 18, Lot 20, Lot 46, Lot 47, Lot 48, Lot 49, lot 50, Lot 51 and Lot 52.
- d. Chain link fencing, barb wire fencing and electric fencing is prohibited upon completion of Construction.

4. STREET FURNITURE & EQUIPMENT

- a. All street furniture, such as mailboxes, tables, benches, trash receptacles (those not located in Trash Enclosures), and bicycle racks, shall be selected from the Street Furniture Guide (Exhibit K). Product substitutions may be permitted, but will require the approval of the Delaware Addition Association and the City Planning Department.
- b. The location of all street furniture to be installed is indicated on the Proposed Locations - Street Furniture (Exhibit M).
- c. Class I and Class II Bicycle parking shall conform to the Association of Pedestrian and Bicycle Professionals (APBP) Guidelines and shall be provided by private parcel owners to meet the quantities as required by the City of Santa Cruz Municipal Code Bike Parking & Shower Facility Ordinance and shall be adequately documented on materials submitted for Building Permit.
- d. Locations of street furniture and equipment may be modified, but will require the approval of the Delaware Addition Association and the City Planning Department.
- e. Other Waste and Recycling Containers
 - i. Waste and recycling shall be held within the Trash Enclosures.
 - ii. All rubbish, trash, recycling, and garbage shall be placed in sanitary containers, and all such containers and equipment for the storage or disposal of such materials shall be stored inside of Buildings or Units. If stored outside of Buildings or Units, these containers shall be appropriately screened (e.g. landscaping or fencing) from view from the Common Areas and neighboring lots to the extent reasonable and feasible for industrial areas.
 - iii. All trash receptacles shall meet the requirements of the City of Santa Cruz Department of Public Works.

5. IRRIGATION

- a. Water conservation is important to the development and all projects within development must comply with City of Santa Cruz Water Efficient Landscape Ordinance or other ordinance in effect at the time of development. Prior to connection to the City's Water Supply, the Master Developer / Delaware Addition Association shall obtain all permits, inspections and pay all required fees of the City of Santa Cruz Water Department.
- b. Per the Irrigation Master Plan (Exhibit I), parcels shall include dedicated landscape irrigation meters for planting areas over 5,000 square feet. Also required are smart controllers for irrigation that utilize either an on-site weather station or a moisture-sensing device with drip irrigation, in addition to bubbler heads for tree plantings.

B. REFERENCED DOCUMENTS

1. Exhibit B: Revised Vesting Tentative Map
2. Exhibit G: Building Envelope / Parcel Matrix
3. Exhibit I: Irrigation Master Plan
4. Exhibit J: Plant Palette
5. Exhibit K: Street Furniture Guide
6. Exhibits L: Landscape Master Plan
7. Exhibit M: Proposed Locations - Street Furniture

V. LIGHTING DESIGN: GUIDING PRINCIPLES AND REQUIREMENTS

Build-out of the site will include exterior lighting, as is typical of an urban setting. Site lighting will provide illumination, but not be overly bright. The Site Lighting Master Plan (Exhibit O) illustrates the layout of street and landscape lighting and includes fixture types which will be installed by the Master Developer as part of the site infrastructure. Additional exterior lighting installed on private parcels shall be unobtrusive, harmonious with the local area and located and directed so that only the intended area is illuminated and off site glare is fully controlled. Where feasible, use of solar lighting and high efficiency lighting is encouraged.

A. REQUIREMENTS

1. Street and building mounted lighting shall strive for energy efficiency and the minimization of nighttime light pollution, while meeting all city and state regulations.
2. Exterior Lighting for the building and parking areas shall provide adequate security while minimizing excessive off-site glare.
3. Separate exterior lighting plans shall be provided at the buildout of each lot or group of lots.
4. Parking areas lighting source(s) shall not be visible from offsite.

B. REFERENCED DOCUMENTS

1. Exhibit O: Site Lighting Master Plan

VI. SIGNAGE DESIGN: GUIDING PRINCIPLES AND REQUIREMENTS

A. INTRODUCTION

1. INTENT

This section guides the design and fabrication of the private building and tenant signage throughout the development project. The goal of the signage guidelines is to define a visual aesthetic for the overall project signage that is both eclectic and cohesive at the same time; allowing building / property owners and tenants to be individually expressive with their own business signage while working within a prescribed series of materials and color palettes that fit within the larger design context.

2. GENERAL SIGNAGE ATTRIBUTES

Industrial, rough, rustic, multi-material, expressing the fabrication, “makerly” (expressing how the sign was made), 3-dimensional, bold, etc.

3. APPROPRIATE MATERIALS

Steel and / or other metals, painted stencils, concrete, wood, found objects, etc.

4. HOW TO USE THIS SECTION

Each of the sign types contains a two page spread.

The first page has text describing the type of sign as well as specific guidelines related to characteristics such as materials, finishes, colors, types of illumination and sign placement on the property / building. This page also includes a section that highlights the specific requirements from the city (called out as separate from the guidelines).

The second page includes an area at the top of the page for a series of drawings, which can include an overall building elevation, a property plan, and / or a close-up detail to visually showcase how big the signs can be and where they can be placed on individual buildings / properties. This page also includes photo-based samples of relevant visual precedents.

5. SUBMITTING DESIGNS FOR APPROVAL

All proposed building signage needs to be presented to and reviewed by the Delaware Addition Association prior to fabrication and installation.

Signage that complies with the enclosed criteria does not require approval of a Sign Permit through the City of Santa Cruz Planning Department and compliance will be reviewed as part of the building permit plan check process

B. DEFINITIONS

For the purpose of these guidelines:

1. **Single-Tenant Buildings** are defined as those buildings that have only one tenant occupying an entire building and are identified with only one building parcel number for addressing purposes.
2. **Multi-Tenant Buildings** are defined as those buildings that are subdivided into individual units, each with their own tenant and their own building parcel number for addressing purposes.

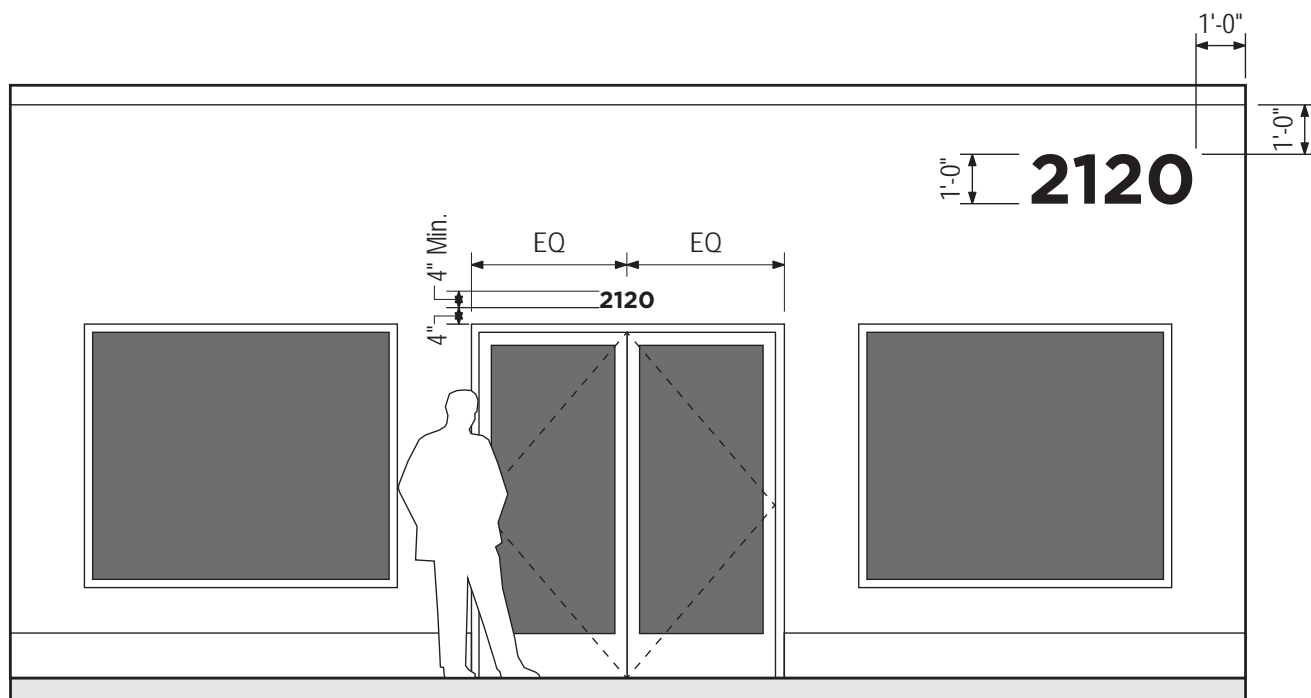
C. BUILDING ADDRESSES

The building address sign is used to identify the building number for both auto and pedestrian traffic, as well as provide wayfinding for fire and life-safety services.

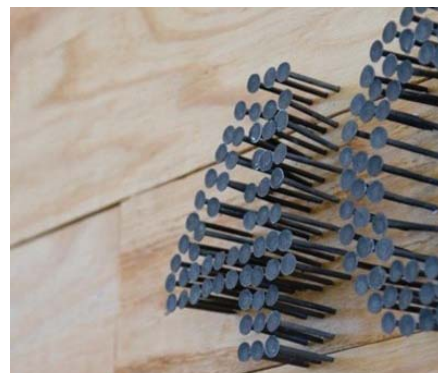
1. RECOMMENDATIONS

- a. Quantity
 - i. One main building address sign is required for each master tenant building
 - ii. One building address sign is required for each individual tenant in a multi-tenant building
- b. Size
 - i. Building address signs located above or adjacent to the entry doors should include a minimum of 6" tall numbers
 - ii. Building address signs located towards the top of the building face should include a minimum of 12" tall numbers
 - iii. Supergraphic size building address numbers should not exceed 96" tall
- c. Materials
 - i. Individual pin-mounted metal numbers
 - ii. Metal stencils with cut out numbers
 - iii. Painted numbers on exterior walls
 - iv. Numbers etched into the wall surface
 - v. "Found-object" or recycled numerals
- d. Finishes
 - i. All material finishes shall be unfinished, rough, matte, or satin
 - ii. No high gloss finishes allowed
- e. Colors
 - i. If the address is to support first responder efforts, the color of the numbers shall provide a strong contrast to the color of the wall or material surface that the numbers are placed on
 - ii. If there is a second decorative building address (in addition to one for first responders) the second address can have less contrast with the wall surface if desired
- f. Illumination
 - i. Illumination is not required for any building address sign
 - ii. Any back-lit building address signs shall not have any exposed visible light source
 - iii. Any front-lit building address signs shall not have light sources shining directly the face of a pedestrian
 - iv. LED or other energy-efficient lighting source is required
- g. Placement
 - i. Building address signs shall be visible from the street.
 - ii. The building name sign shall be placed on the side of the building that includes the main entrance to the building
 - iii. Individual tenant address signs shall be placed either above the main entrance to the tenant, directly on the door, or to the handle side of the door
 - iv. For multi-tenant buildings, the address for each tenant shall be consistently placed for all tenants

2. PLACEMENT + SIZING



3. PRECEDENTS



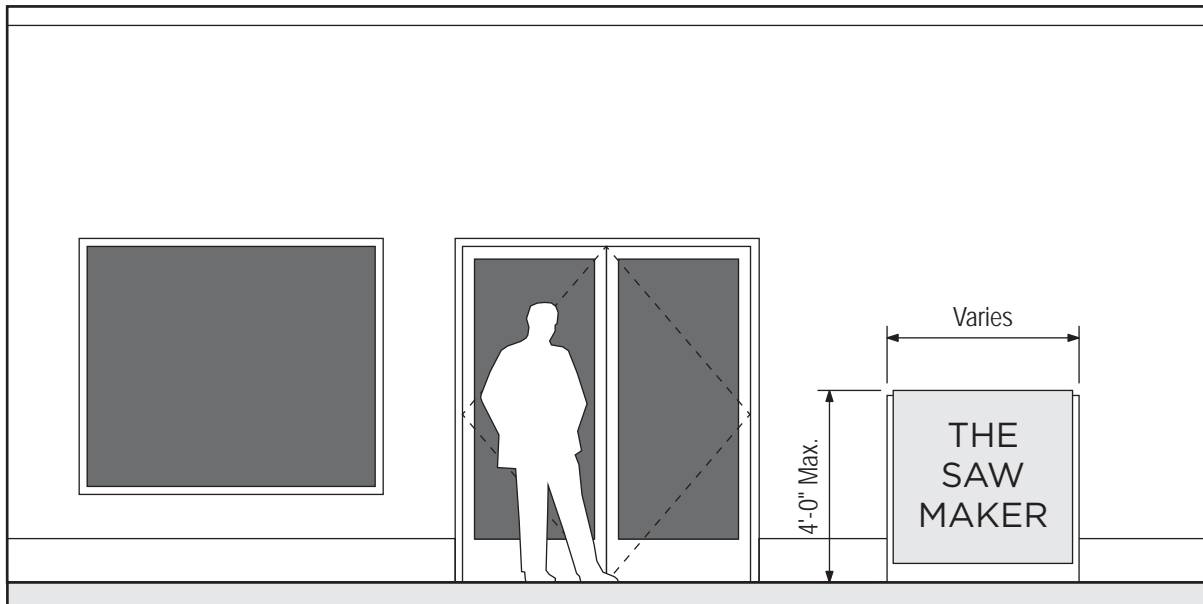
D. BUILDING MONUMENT SIGNS

Building monument signs are used to identify the brand / logo for single-tenant buildings.

1. RECOMMENDATIONS

- a. Quantity
 - i. One building monument sign allowed per single-tenant building
 - ii. No building monument signs allowed for multi-tenant buildings
 - iii. No building monument sign shall be allowed if the single-tenant building chooses to locate a building name sign directly on the facade of the building
- b. Size
 - i. Building monument signs shall be no taller than 4' from the top of finished grade
 - ii. The maximum sign area shall comply with the Signage Regulations provided in Part 4 of Chapter 24.12 of the City of Santa Cruz Zoning Code
- c. Materials
 - i. An unfinished concrete base is recommended for all building monuments signs
 - ii. Secondary materials may include, metals, woods, or additional concrete finishes
 - iii. Plastic and acrylic signs are not permitted without the approval of a Sign Permit
 - iv. Signs may include pin-mounted letters, metal or stone panels with cut out/stencil lettering
 - v. No more than two secondary materials shall be used on a monument sign
- d. Finishes
 - i. Sign finishes shall work in coordination with the overall materiality of the building
 - ii. Contrasting finishes are encouraged (combining rough and smooth finishes where possible)
- e. Colors
 - i. Overall, building monument signs shall have a neutral color base (concrete, stone, wood, or other natural earthtone colors)
 - ii. Building monument signs can incorporate accent colors that coordinate with the building colors, as long as that accent color is limited to no more than 25% of the sign face
- f. Illumination
 - i. Monument signs can include back-lit/halo pin mounted letters
 - ii. Monument signs can include exterior uplighting as long as the main light source does not shine directly into a pedestrian or auto drivers faces
 - iii. LED or other energy-efficient lighting source is required
 - iv. Interior lit signs are not permitted
- g. Placement
 - i. The building monument sign shall be placed in the landscaping strip in front of each master tenant building (on the same side as the main building entrance)
 - ii. The entire length of a building sign shall be placed within 12' of the main entrance
 - iii. Building monument signs shall be placed so that one side of the sign faces the right of way with a blank face to the building facade

3. PLACEMENT + SIZING



4. PRECEDENTS



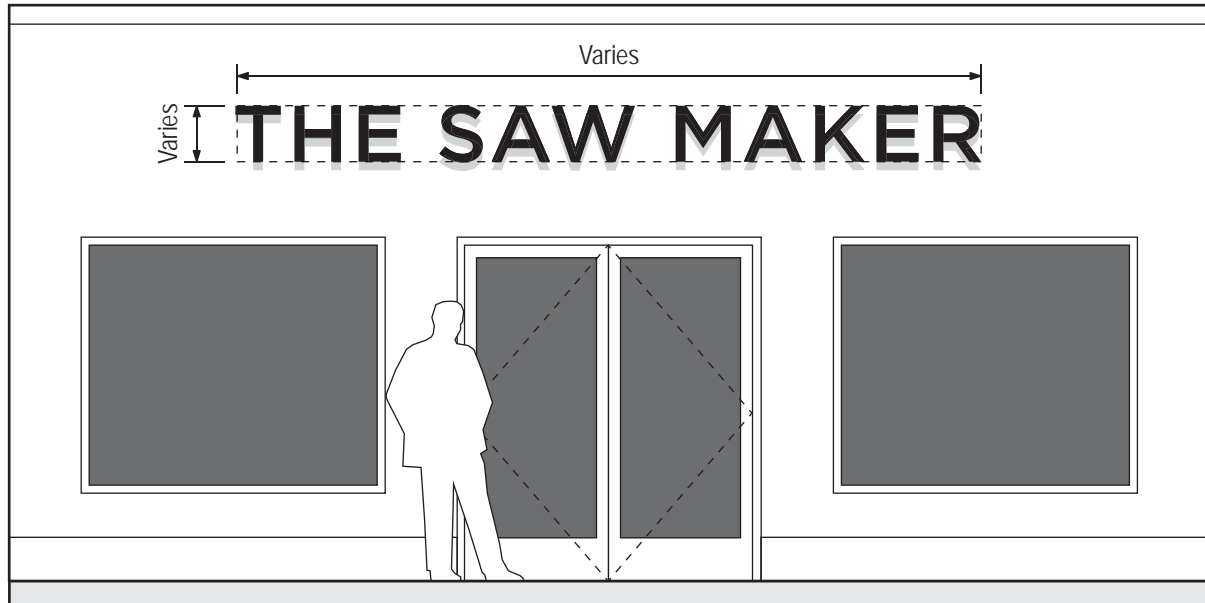
E. BUILDING NAME (SINGLE-TENANT) SIGNS

Building name signs identify the brand / logo for a single-tenant in a building.

1. RECOMMENDATIONS

- a. Quantity
 - i. One building name sign allowed per each single-tenant building
 - ii. No building name sign shall be allowed if the building owner has chosen to use a building monument sign to identify the single-tenant logo
 - iii. No building name sign shall be allowed on multi-tenant buildings
- b. Size
 - i. The maximum sign area shall comply with the Signage Regulations for Wall Signs provided in Part 4 of Chapter 24.12 of the City of Santa Cruz Zoning Code
- c. Materials
 - i. Pin-mounted letters
 - ii. Stencil / cut-out letters
 - iii. Other “found objects” or 3-D letters
- d. Finishes
 - i. Sign finishes shall be coordinated with the overall building materials
 - ii. Sign can include letters or other architectural elements that are integrated with the overall design of the facade
- e. Colors
 - i. Sign colors shall be coordinated with the overall building colors or the master tenant brand identity colors
- f. Illumination
 - i. Individual letters can be back-lit / halo
 - ii. Building name signs can be externally illuminated from the front with down-lit “goose-neck” style lighting fixtures as long as the light source does not shine directly into a driver’s or pedestrian’s face
 - iii. Building name signs can be externally illuminated from the front with up-lit lighting fixtures as long as it does not negatively impact any light pollution regulations from the city
 - iv. Internally illuminated sign cans with printed graphics are not allowed
 - v. LED or other energy-efficient lighting source is required
- g. Placement
 - i. The building name sign shall be placed on the side of the building that includes the main entrance to the building
 - ii. Building name signs can be placed at the top of the building facade

3. PLACEMENT + SIZING



4. PRECEDENTS



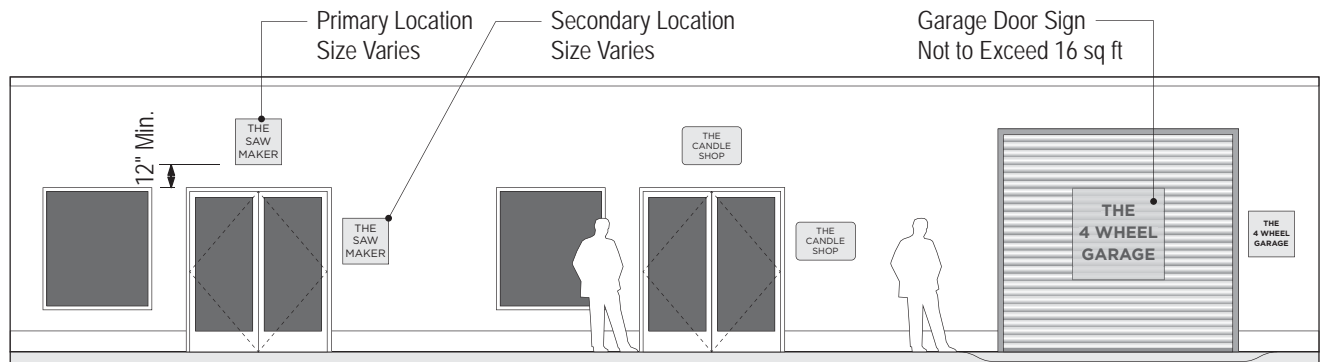
F. INDIVIDUAL TENANT STOREFRONT SIGNS

Individual tenant name signs identify the brands of the various tenants within a multi-tenant building and are placed directly on the surface of the building.

1. RECOMMENDATIONS

- a. Quantity
 - i. Each individual tenant in multi-tenant buildings shall be allowed one tenant storefront sign (or one tenant blade sign, or one garage door sign, but not more than one sign per tenant)
- b. Size
 - i. Tenant storefront signs that are attached to the wall surface shall be no larger than 4 square feet
 - ii. Tenant storefront signs that are painted on garage doors shall be no larger than 16 square feet
- c. Materials
 - i. Wood or metal background panels
 - ii. Pin-mounted letters (wood or metal)
 - iii. Wood or metal panels with dye cut / stenciled letters
 - iv. Painted signs on garage doors
- d. Finishes
 - i. All material finishes shall be unfinished, rough, matte, or satin
 - ii. No high gloss finishes allowed
- e. Colors
 - i. Tenant storefront sign backgrounds to be neutral in color
 - ii. Tenant storefront sign accents can match the tenant brand
- f. Illumination
 - i. Individual letters and sign panels can be back-lit / halo
 - ii. Signs can be externally illuminated from the front with down-lit goose-neck lighting fixtures as long and the light source does not shine directly into the face of a pedestrian or driver
 - iii. External up-lighting may be permitted if it can be demonstrated that the lighting will not illuminate beyond the proposed signage
 - iv. Internally illuminated sign cans with printed graphics are not allowed
 - v. LED or other energy-efficient lighting source is required
- g. Placement
 - i. Individual tenant signs may be located on the first floor only unless a single tenant exterior entryway to an upper floor has been provided
 - ii. Individual tenant signs shall be placed above the main door into the tenant space when there is only glass windows on either side of the entry door
 - iii. When there is a solid wall adjacent to the entry door, the tenant sign may be placed to the handle side of the door
 - iv. When there is a garage door, the tenant sign may be placed on the entire garage door surface
 - v. All individual tenant storefront signs within a multi-tenant building shall be placed in the same relative location, with the exception of the garage doors sign

3. PLACEMENT + SIZING



4. PRECEDENTS



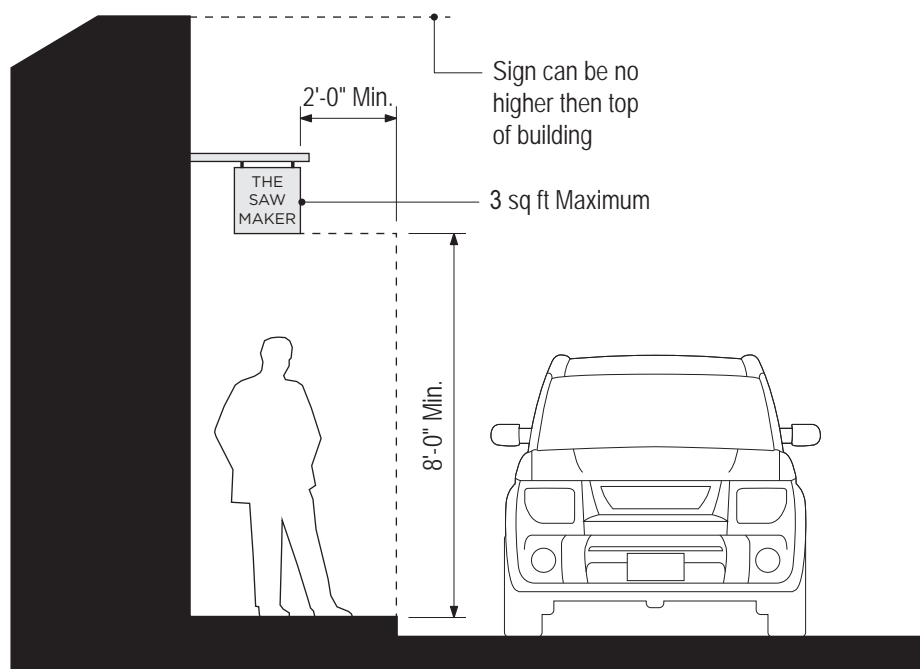
G. INDIVIDUAL TENANT BLADE SIGNS

Individual tenant name signs identify the brands of the various tenants within a multi-tenant building and project outward from the surface of the building.

1. RECOMMENDATIONS

- a. Quantity
 - i. Each individual tenant in multi-tenant buildings shall be allowed one tenant blade sign (or one tenant storefront sign, but not both)
- b. Size
 - i. Tenant blade signs shall be no larger than 3 square feet
 - ii. The size of the background panel shall be consistent for all tenants within a multi-tenant building
- c. Materials
 - i. Wood or metal background panels
 - ii. Pin-mounted letters (wood or metal)
 - iii. Wood or metal panels with dye cut / stenciled letters
 - iv. Painted artwork on solid sign panel
 - v. "Found-object" or recycled numerals
- d. Finishes
 - i. All material finishes shall be unfinished, rough, matte, or satin
 - ii. No high gloss finishes allowed
- e. Colors
 - i. Tenant blade sign backgrounds to be neutral in color
 - ii. Tenant blade sign accent colors can match the tenant brand colors
- f. Illumination
 - i. Signs can be externally illuminated from the front with down-lit goose-neck lighting fixtures as long and the light source does not shine directly into a driver's or pedestrian's face
 - ii. External up-lighting may be permitted if it can be demonstrated that the lighting will not illuminate beyond the proposed signage
 - iii. All lighting fixtures shall be consistent across all tenant blade signs within a multi-tenant building
 - iv. Internally illuminated sign cans with printed graphics are not allowed
 - v. LED or other energy-efficient lighting source is required
- g. Placement
 - i. Individual tenant blade signs shall be placed above the main door into the tenant space, and can be centered over the door or above the handle side of the door
 - ii. Tenant blade signage are not permitted above the first story of the building
 - iii. All individual tenant blade signs within a multi-tenant building shall be placed in the same location relevant to the main entry door
 - iv. Shared entryways shall not utilize multiple blade signs for upper story tenants

3. PLACEMENT + SIZING



4. PRECEDENTS



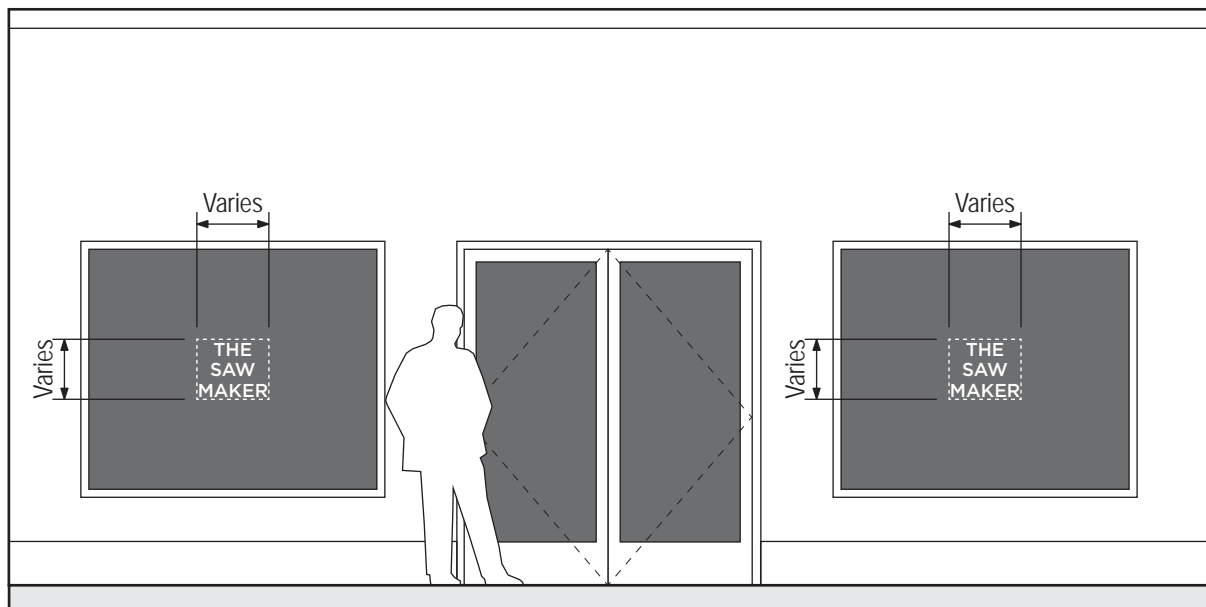
H. WINDOW SIGNS

Window signs are used to communicate tenant names, hours and misc. information in a more pedestrian scaled format.

1. RECOMMENDATIONS

- a. Quantity
 - i. Each individual tenant is allowed one name sign, which can include a branded tagline or message
 - ii. Each individual tenant is allowed one hours sign
- b. Size
 - i. Window signs shall not exceed 25% of the overall size of the window
- c. Materials
 - i. Individually cut out vinyl artwork
 - ii. No solid clear vinyl sheets with printed artwork allowed
 - iii. No paper signs placed in temporary sleeves are allowed
- d. Finishes
 - i. All vinyl shall be matte or satin finish
 - ii. No high-gloss finish allowed
- e. Colors
 - i. All window signs shall be white or a light grey in color
- f. Illumination
 - i. Not applicable
- g. Placement
 - i. The tenant name sign can be placed either in the main door leading into the space or on the window to the handle side of the main entry door
 - ii. Hours signs can be placed either in the main door leading into the space or on the window to the handle side of the main entry door
 - iii. Additional signs may be placed inside the tenant space to identify the type of service provided, as long as these signs are not attached to the window
 - iv. All vinyl shall be placed on the second (interior) surface) of the glass

3. PLACEMENT + SIZING



4. PRECEDENTS

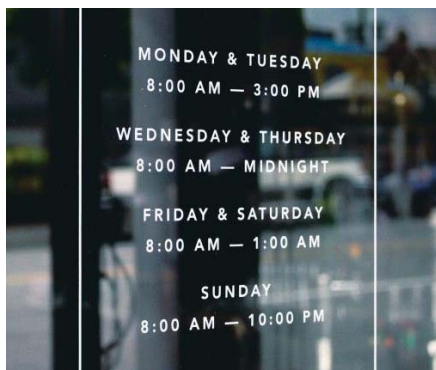
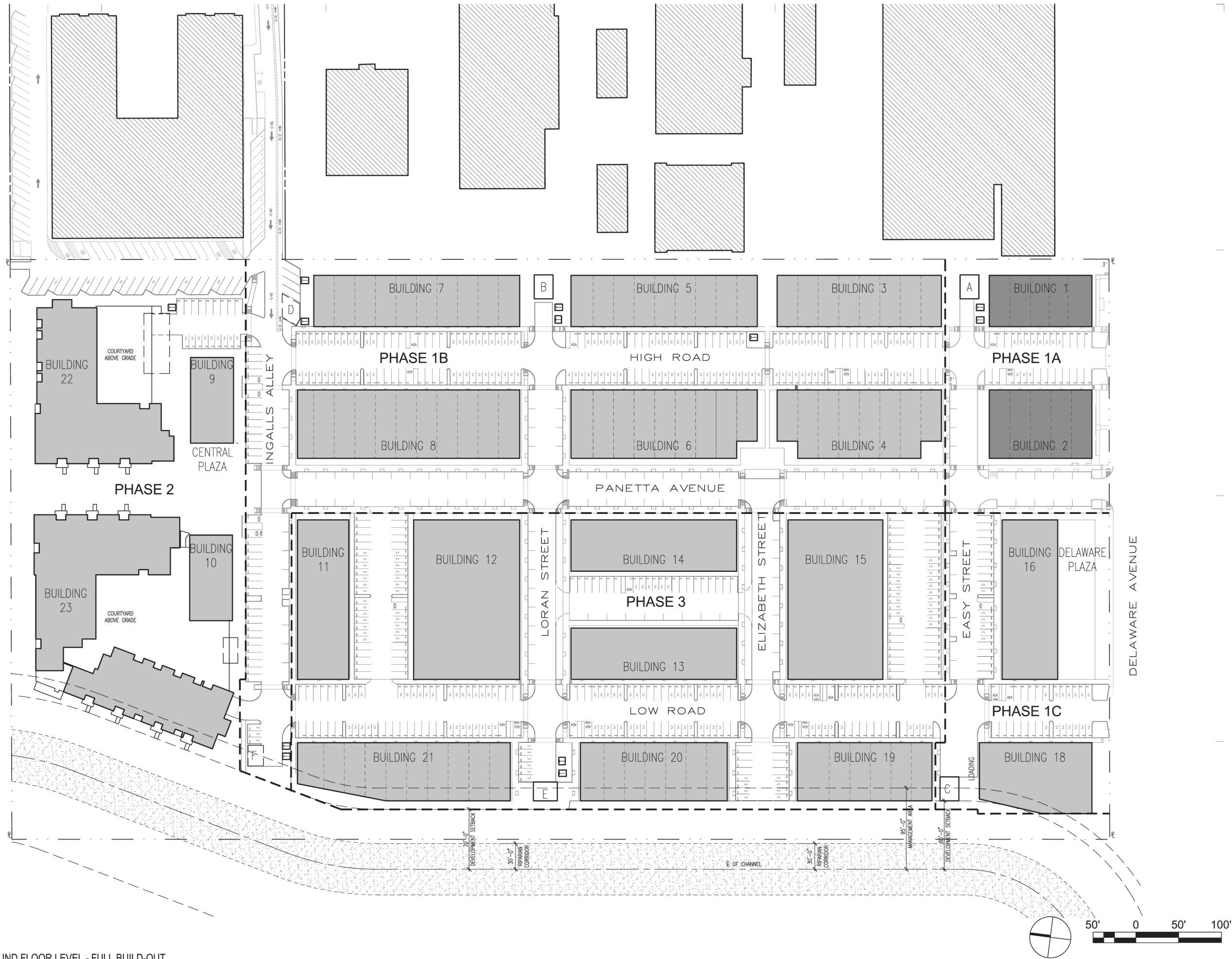


EXHIBIT A: SITE MASTER PLAN

DELAWARE ADDITION DESIGN GUIDELINES

SANTA CRUZ, CALIFORNIA



ARCHITECTS
LMS^A
LEDDY MAYTUM STACY ARCHITECTS
677 HARRISON STREET
SAN FRANCISCO, CA 94107
T 415 495 1700
F 415 495 1717
W www.lmsarch.com

STAMP

CONSULTANTS

PROJECT

**DELAWARE ADDITION
MASTER PLAN**
2120 Delaware Avenue, Santa Cruz, CA 95060

No.	REVISION	DATE
1	REVISION	09.01.2016

DATE: 01 MAY 2016
JOB No: 1405
PHASE: LAND USE APPLICATION
ISSUED FOR: -
PERMIT No: -
SCALE: AS NOTED

SHEET TITLE

SITE
MASTER PLAN

SHEET No

EXHIBIT A

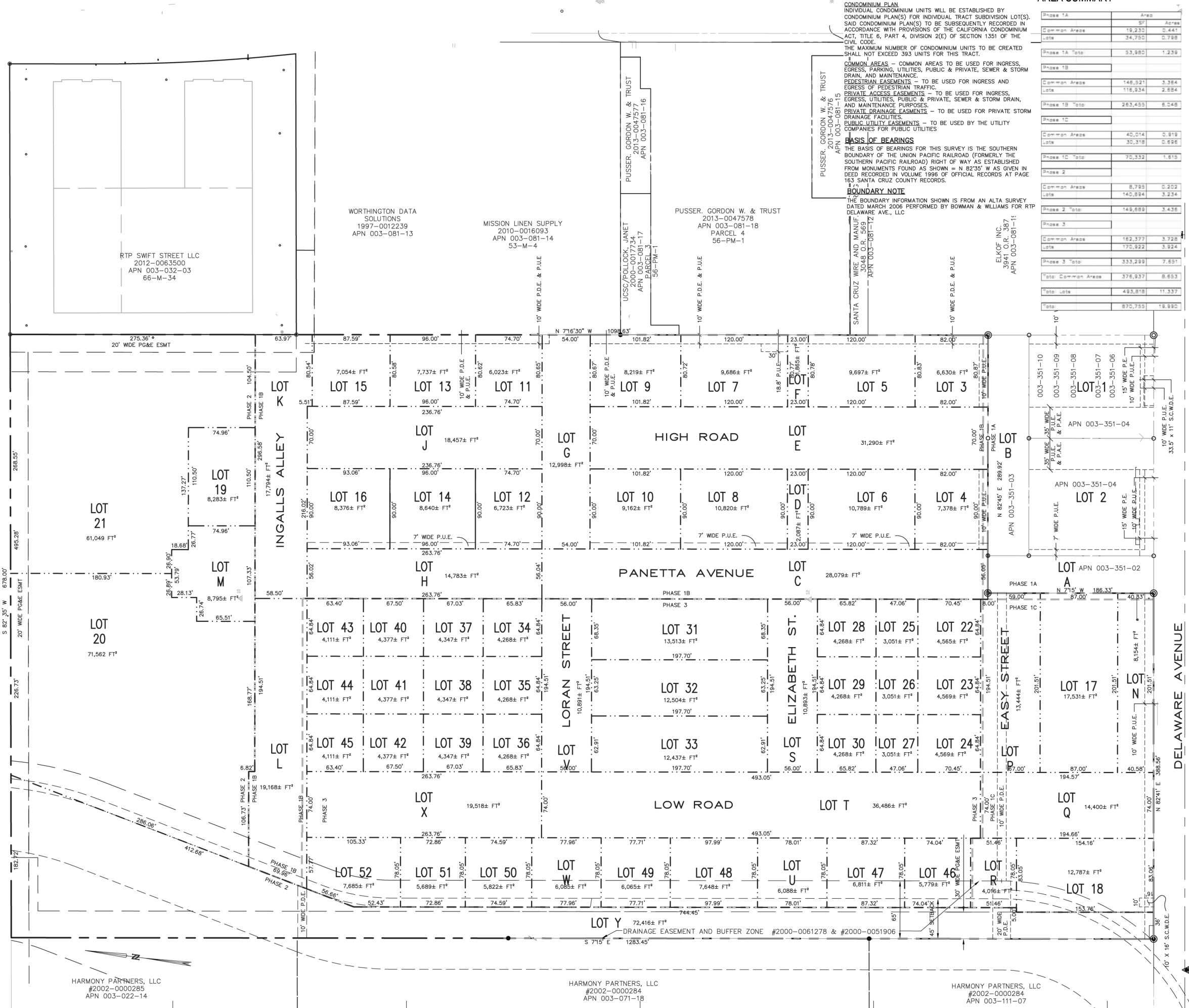
EXHIBIT B: REVISED VESTING TENTATIVE MAP

DELAWARE ADDITION DESIGN GUIDELINES

SANTA CRUZ, CALIFORNIA

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SANTA CRUZ COUNTY REGIONAL TRANSPORTATION COMMISSION



HARMONY PARTNERS, LLC
#2002-0000285
APN 003-022-14

HARMONY PARTNERS, LLC
#2002-0000284
APN 003-071-18

HARMONY PARTNERS, LLC
#2002-0000284
APN 003-111-07

AREA SUMMARY

Phase 1A	Area	SF	Acres
Common Areas	19,230	0.441	
Lots	34,750	0.798	
Phase 1A Total	53,980	1.239	
Phase 1B			
Common Areas	148,921	3.384	
Lots	116,934	2.684	
Phase 1B Total	265,855	6.068	
Phase 1C			
Common Areas	40,014	0.919	
Lots	30,318	0.696	
Phase 1C Total	70,332	1.615	
Phase 2			
Common Areas	8,795	0.202	
Lots	140,894	3.234	
Phase 2 Total	149,689	3.436	
Phase 3			
Common Areas	162,377	3.728	
Lots	170,922	3.924	
Phase 3 Total	333,299	7.651	
Total Common Areas	376,937	8.653	
Total Lots	493,818	11.337	
Total	870,755	19.990	

CONDOMINIUM PLAN
INDIVIDUAL CONDOMINIUM UNITS WILL BE ESTABLISHED BY
CONDOMINIUM PLAN(S) FOR INDIVIDUAL TRACT SUBDIVISION LOT(S).
SAID CONDOMINIUM PLAN(S) TO BE SUBSEQUENTLY RECORDED IN
ACCORDANCE WITH PROVISIONS OF THE CALIFORNIA CONDOMINIUM
ACT, TITLE 6, PART 4, DIVISION 2(E) OF SECTION 1351 OF THE
CIVIL CODE.
THE MAXIMUM NUMBER OF CONDOMINIUM UNITS TO BE CREATED
SHALL NOT EXCEED 393 UNITS FOR THIS TRACT.
COMMON AREAS - COMMON AREAS TO BE USED FOR INGRESS,
EGRESS, PARKING, UTILITIES, PUBLIC & PRIVATE, SEWER & STORM
DRAIN, AND MAINTENANCE.
PEDESTRIAN EASEMENTS - TO BE USED FOR INGRESS AND
EGRESS OF PEDESTRIAN TRAFFIC.
PRIVATE ACCESS EASEMENTS - TO BE USED FOR INGRESS,
EGRESS, UTILITIES, PUBLIC & PRIVATE, SEWER & STORM DRAIN,
AND MAINTENANCE PURPOSES.
PRIVATE DRAINAGE EASEMENTS - TO BE USED FOR PRIVATE STORM
DRAINAGE FACILITIES.
PUBLIC UTILITY EASEMENTS - TO BE USED BY THE UTILITY
COMPANIES FOR PUBLIC UTILITIES.
BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTHERN
BOUNDARY OF THE UNION PACIFIC RAILROAD (FORMERLY THE
SOUTHERN PACIFIC RAILROAD) RIGHT OF WAY AS ESTABLISHED
FROM MONUMENTS FOUND AS SHOWN = N 82°35' W AS GIVEN IN
DEED RECORDED IN VOLUME 1986 OF OFFICIAL RECORDS AT PAGE
163 SANTA CRUZ COUNTY RECORDS.
BOUNDARY NOTE
THE BOUNDARY INFORMATION SHOWN IS FROM AN ALTA SURVEY
DATED MARCH 2006 PERFORMED BY BOWMAN & WILLIAMS FOR RTP
DELAWARE AVE., LLC

LOT AREAS

Parcel	SF	Acres
Common Areas	376,937	8.653
Lots	493,818	11.337
TOTALS	870,755	19.990

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Lots	493,818	11.337
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STAMP



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BOWMAN & WILLIAMS
CONSULTING CIVIL ENGINEERS
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PROJECT

DELAWARE ADDITION MASTER PLAN

2120 Delaware Avenue, Santa Cruz, CA 95060

NO REVISION DATE

REVISION 07.06.2016
REVISION 09.01.2016
REVISION 11.01.2016

DATE: 1 MAY 2016
JOB No: 1405
PHASE: LAND-USE APPLICATION
ISSUED FOR:
PERMIT No:
SCALE: 1" = 50'

SHEET TITLE

REVISED VESTING
TENTATIVE MAP

SHEET No

EXHIBIT B

EXHIBIT C: SITE ORGANIZATION DIAGRAM

DELAWARE ADDITION DESIGN GUIDELINES

SANTA CRUZ, CALIFORNIA

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EXHIBIT C

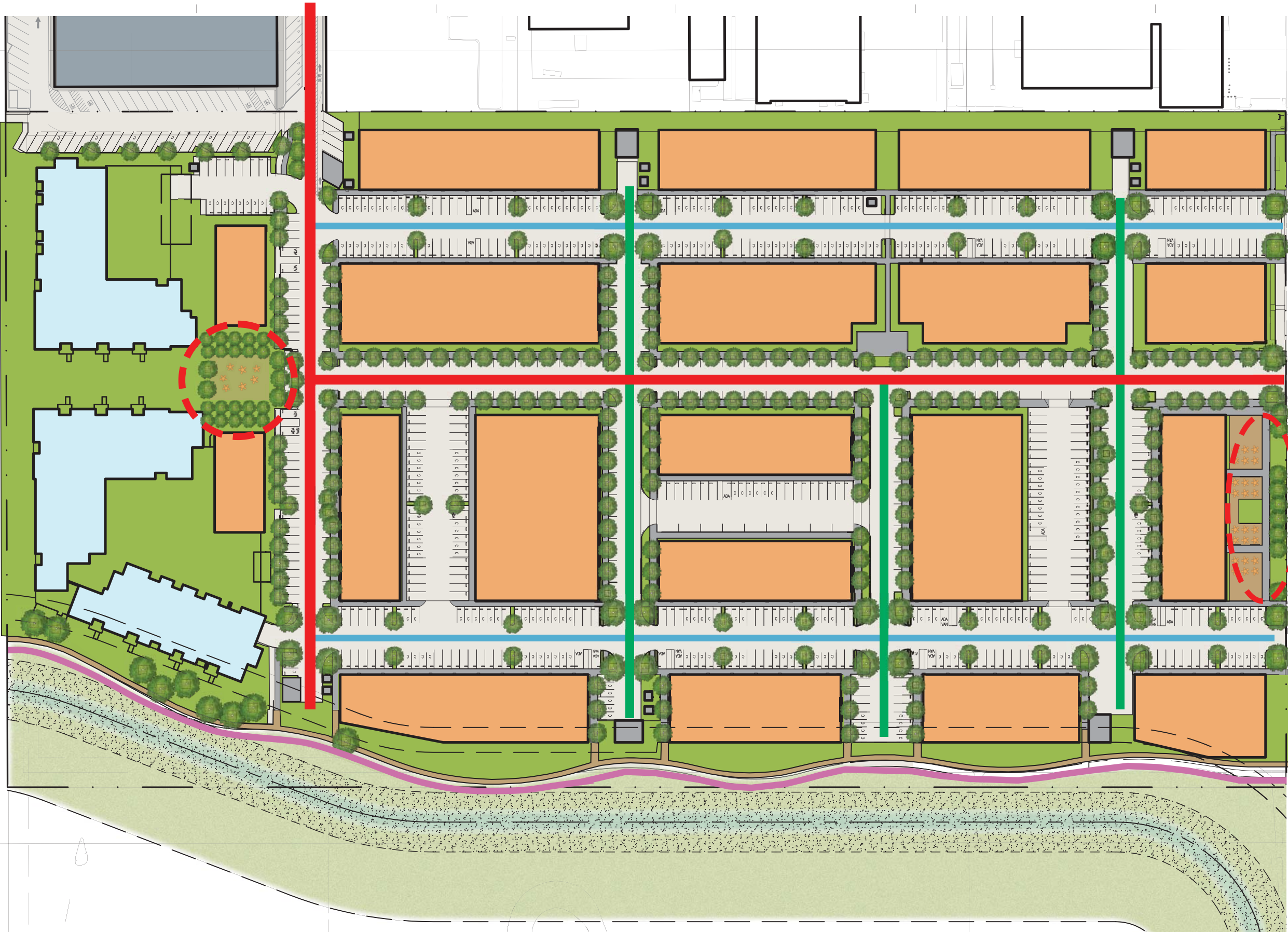


EXHIBIT D: PLANNED DEVELOPMENT POTENTIAL USES

DELAWARE ADDITION DESIGN GUIDELINES

SANTA CRUZ, CALIFORNIA

EXHIBIT D: PLANNED DEVELOPMENT POTENTIAL USES

The following is a list of uses applicable to all properties located within the Delaware Addition Development.

- A. All uses are subject to the City Performance Standards, and Live Entertainment and Alcohol Regulations of Chapter 24.12 that are in effect at the time of Review.
- B. All merchandise storage, display, or sales areas shall be wholly within a completely enclosed building or structure or shall be screened so as not to be visible from an adjacent public street or publicly operated parking lot, except that the area within a completely roofed street alcove or entryway may be utilized for merchandise display, provided that such merchandise is displayed inside the line of the building face.
- C. Temporary uses consisting of outdoor events, displays and sales of merchandise lasting a maximum of five days will require approval of a Five Day Permit by the City of Santa Cruz Planning Department, consistent with Section 24.10.180 of the City Zoning Code.
- D. Use Determination. Any other use or service establishment of the same general character as the Permitted Uses or Conditional Uses listed below and which will not impact the present or potential use of adjacent uses may be permitted with approval of an Administrative Use Permit.
- E. Any use requiring an Administrative Use Permit or a Special Use Permit shall be processed according to the procedures specified in Section V below.

I. PRINCIPALLY PERMITTED USES

The following uses are principally permitted and do not require approval of a use permit; however, a Zoning Clearance must be obtained by the City of Santa Cruz Planning and Community Development Department prior to obtaining a business license for the use.

General Rule: Any use that was principally permitted on September 9, 2008 within the IG/Per-2/CZ-O Zone, or which has become a principally permitted use within such Zone since that date, shall be permitted within the project site.

A. WAREHOUSE, INDOOR

- 1. Small and large scale storage uses including vehicle and boat storage.

B. INDUSTRIAL / MANUFACTURING

- 1. The engineering, fabrication, and development of goods, materials, vehicles, boats, and food and beverage products.
- 2. Assembly, packaging, and delivery of goods and materials including food and beverage products.
- 3. Cleaning, repair, and alteration services.
- 4. Parking of Fleet Vehicles, subject to 1 parking space per vehicle.
- 5. Accessory Uses that are directly related to and supportive of a permitted use, that occupy no more than 20 percent of the gross building floor area, or 1,000 square feet whichever is less, and where incidental retail sales has hours of operation similar to or less than the related permitted use but not exceeding the hours of 8:00 a.m. to 10:00 p.m.

C. RESEARCH AND DEVELOPMENT

- 1. Laboratories and Workspaces, including offices, for research and development of goods, services, or ideas.

- D. PROFESSIONAL / BUSINESS OFFICES including, but not limited to:
 - 1. Professional / Business Offices
 - 2. Banks as an office use without a teller counter
 - 3. Post Office
 - 4. Medical / Health Offices / Services
- E. RETAIL USES - Limited to 10 percent of the total square footage of the development.
 - 1. Sales of small- and large-scale goods, food, beverage, pharmaceuticals, and equipment, but not heavy equipment rental services or temporary uses.
 - 2. Eating and drinking establishments, including take-out but not drive-through facilities and subject to the Live Entertainment and Alcohol regulations of Chapter 24.12 of the City Zoning Code.
- F. SPORTS AND RECREATIONAL USES such as bowling alleys, climbing walls, skating rinks, mini-golf, health clubs, swimming instruction, archery, and arcades.
- G. PHYSICAL FITNESS such as yoga studios, fitness / weight lifting gyms or studios.
- H. SCHOOLS AND STUDIOS such as acting, art, music, dance, martial arts, adult school, and work force training.
- I. PERSONAL SERVICES such as printing, photography, catering, and beauty salon / spa.

II. ADMINISTRATIVE USE PERMIT

- A. WAREHOUSE
 - 1. Any principally permit warehouse use with outdoor storage
 - 2. Tow Truck Company
 - 3. Transportation Services (Airport Shuttles, Ambulance, Buses, Taxis, etc.)
 - 4. Trucking, Motor Freight
- B. LIGHT INDUSTRIAL / MANUFACTURING
 - 1. Butcher
 - 2. Leather Tanning
 - 3. Pet Sitting Services, Animal Boarding, Kennels
 - 4. Utilities and Resources (gas / electric, water, etc.)
 - 5. Wireless Telecommunications Facilities, subject to the most current regulations in the City Zoning Ordinance.
- C. RETAIL
 - 1. Heavy Equipment Rental Services and Supplies
 - 2. Temporary Structures and Uses - Subject to approval of a Five Day Permit as per Subsection I.C. above.

D. MISCELLANEOUS

1. Farmer's Markets
2. Open Air Galleries
3. Parking Garages

III. SPECIAL USE PERMIT**A. LIGHT INDUSTRIAL / MANUFACTURING**

1. Chemical, Allied Products
2. Paper and Allied Products

B. LARGE FAMILY DAYCARE**IV. PROHIBITED USES**

1. Adult Entertainment
2. Agricultural Uses
3. Alcoholism and Drug Information and Treatment Centers
4. Any Manufacturing use involving the primary production of products from new materials found to be incompatible with the neighborhood or the city as a whole based on noise, odor, air quality, or other adverse environmental impact
5. Asphalt and Asphalt Products (Retail, Wholesale, and Manufacturing)
6. Auto Salvage
7. Banks, Drive-through or Tellers
8. Bars, Cocktail Lounges, Nightclub
9. Bed and Breakfast, Hotel, or Motel, Apartment Hotels, or other short term stay uses
10. Billiard Parlors
11. Boarding Houses
12. Cemeteries and Memorial Parks
13. Chemical Plants
14. Firewood Storage
15. Fraternal Organizations, Halls, and Auditoriums
16. Garbage Collection
17. Gas Equipment and Propane
18. Gas Stations
19. Gun Shops and Retail
20. Shooting Ranges
21. Hookah Parlors, Smoke Shops
22. Horticulture, Cultivating, Harvesting, and Processing of Medical Marijuana
23. Landfills
24. Liquor Stores
25. Manufacturing of Bulk Petroleum, Scrap and Waste Materials
26. Medical Marijuana Dispensaries

27. Mortuaries, Crematories
28. No use which either produces or utilizes asbestos in any manufacturing process.
29. Pawn Shop
30. Private or Public Non-Vocational Educational Schools or Facilities
31. Refinery of Petroleum products or other industrial activities in support of off-shore oil drilling
32. Recycling Centers
33. Tattoo Parlors
34. Body Piercing
35. Thrift Stores
36. Wastewater Treatment Plants

V. PROCEDURES FOR USE PERMIT

Subject to Section 3.3 of the Development Agreement, Administrative Use Permits and Special Use Permits shall be processed in accordance with Part I, Chapter 24.08 of the most current Zoning Ordinance except as specified in this Section.

A. ADMINISTRATIVE USE PERMITS

1. The Zoning Administrator is hereby authorized to issue use permits for all uses designated in the district regulations of this title as being subject to the issuance of an administrative use permit.
2. A public hearing shall be held, except where the proposed use is temporary, as defined herein.

B. SPECIAL USE PERMITS

1. The Planning Commission is hereby authorized to issue use permits for all uses designated in the district regulations of this title as being subject to the issuance of a special use permit and use permits for all uses designated as being subject to the issuance of an administrative use permit when an application for an administrative use permit has been referred to the Planning Commission by the Zoning Administrator.
2. A public hearing shall be held by the Planning Commission.

C. FINDINGS REQUIRED

In approving an Administrative or Special Use Permit, it shall be determined by the hearing body that:

1. The proposed structure or use conforms to the requirements and intent of Delaware Addition Planned Development, and of the General Plan, relevant area plans, and the Coastal Land Use Plan, where appropriate;
2. That any additional conditions stipulated as necessary in the public interest have been imposed; and
3. That such use or structure will not constitute a nuisance or be detrimental to the public welfare of the community.

EXHIBIT E: BUILDING AREA BREAKDOWN

DELAWARE ADDITION DESIGN GUIDELINES

SANTA CRUZ, CALIFORNIA

EXHIBIT E: BUILDING AREA BREAKDOWN BASED ON SITE MASTER PLAN

Area Breakdown, Floor by Floor

	COMMERCIAL / INDUSTRIAL	APARTMENTS	TOTALS
First Floor	259,415	51,533	310,948
Second Floor / Mezzanine	133,670	48,976	182,646
Third Floor	1,440	48,976	50,416
Fourth Floor	0	44,241	44,241
Loft Level	0	0	0
Sub Totals	394,525	193,726	588,251

Note: The Second Floor / Mezzanine commercial area of 133,670 square feet includes 56,880 square feet in not more than 87 commercial condominiums that may be designated 'Flex' and used for residential purposes as confirmed by Resolution No. NS-28,820.

EXHIBIT G: BUILDING ENVELOPE / PARCEL MATRIX

DELAWARE ADDITION DESIGN GUIDELINES

SANTA CRUZ, CALIFORNIA

EXHIBIT G: BUILDING ENVELOPE / PARCEL MATRIX

The Building Envelope / Parcel Matrix provides the general guidelines for compliance with specific parcel requirements and restrictions, including but not limited to allowable uses, required setbacks, open space, maximum footprint and allowable projections. Variations from the Matrix are allowed as specified herein or provided the overall scheme and designs are consistent within the project site.

The Matrix is sorted by Parcel Number, and required setbacks – front, left side, right side and rear – are based upon the identified “Street Frontage.” Though the the street address often coincides with the street frontage, sometimes it does not, so the Matrix is best used in tandem with the Revised Tentative Map (Exhibit B), along with the Legend below.

LEGEND

Allowable Uses

- U1 Retail | Office | R+D | Light Manufacturing | Warehouse
 U2 Residential

Required Setbacks

See dimensions indicated on the Building Envelope / Parcel Matrix.

Allowable Projections

	P0	P1	P2	P3	P4
CANOPIES	City of Santa Cruz	Depth: 8'-0" max. Length: 1/3 of building max. Clear Height Below: 10'-0" min.	Depth: 6'-0" max. Length: 1/3 of building max. Clear Height Below: 10'-0" min.	Depth: 6'-0" max. Length: 1/3 of building max. Clear Height Below: 10'-0" min.	Depth: 6'-0" max. Length: 1/3 of building max. Clear Height Below: 10'-0" min.
SUNSCREENS	City of Santa Cruz	Depth: 3'-0" max. Length: Unlimited Clear Height Below: 10'-0" min.	Depth: 3'-0" max. Length: Unlimited Clear Height Below: 10'-0" min.	Depth: 3'-0" max Length: Unlimited Clear Height Below: 10'-0" min.	Depth: 3'-0" max Length: Unlimited Clear Height Below: 10'-0" min.
UNENCLOSED DECKS	City of Santa Cruz	DEPTH: 4'-0" max Length: 1/3 of building max. Clear Height Below: 10'-0" min.	Not Permitted	Depth: 4'-0" max Length: 1/3 of building max. Clear Height Below: 10'-0" min.	Depth: 4'-0" max Length: 1/3 of building max. Clear Height Below: 10'-0" min.
ENCLOSED PROJECTIONS	City of Santa Cruz	Depth: 3'-0" max Length: 1/3 of building max. Clear Height Below: 10'-0" min.	Depth: 3'-0" max Length: 1/3 of building max. Clear Height Below: 10'-0" min.	Depth: 3'-0" max Length: 1/3 of building max. Clear Height Below: 10'-0" min.	Depth: 3'-0" max Length: 1/3 of building max. Clear Height Below: 10'-0" min.
FIRST FLOOR DECKS / PATIOS	City of Santa Cruz	Depth: Unlimited Length: 1/3 of building max.	Depth: Unlimited Length: 1/3 of building max.	Depth: Unlimited Length: Unlimited	Depth: 10'-0" max. Length: Unlimited
FIRST FLOOR GARDEN WALLS / FENCES	City of Santa Cruz	Not Permitted	Not Permitted	Depth: 10'-0" max. Length: Unlimited Height: 6'-0" max.	Depth: 10'-0" max. Length: Unlimited Height: 6'-0" max.
FIRST FLOOR ARBORS	City of Santa Cruz	Not Permitted	Not Permitted	Depth: 8'-0" max. Length: Unlimited Clear Height Below: 8'-0" min.	Depth: 8'-0" max. Length: Unlimited Clear Height Below: 8'-0" min.

Parcel	Street Frontage (use as reference to determine left and right sides of parcel / lot)	Allowable Uses	Max Bldg. Depth	Building Height and Number of Stories			Required Setbacks from parcel line (To determine right and left sides by facing parcel / lot from street frontage)				Allowable Projections over parcel line (To determine right and left sides by facing parcel / lot from street frontage)				Trash Enclosure	Remarks
				Maximum Allowable Bldg. Height	Minimum Required Bldg. Height	Minimum Number of Stories	Front	Left Side	Right Side	Rear	Front	Left Side	Right Side	Rear		
1	High Road	U1	60'-0"	50'-0"	12'-0"	1	37'-0"	0'-0"	20'-0"	19'-0"	P1	P2	P0	P3	A	
2	Panetta Avenue	U1	80'-0"	50'-0"	24'-0"	2	37'-0"	20'-0"	0'-0"	7'-6"	P1	P2	P0	P1	A	
3	High Road	U1	68'-0"	50'-0"	12'-0"	1	2'-0"	0'-0"	10'-0"	10'-0"	P1	-	P2	P3	A	
4	Panetta Avenue	U1	80'-0"	50'-0"	24'-0"	2	8'-0"	0'-0"	10'-0"	0'-0"	P1	-	P2	P1	A	
5	High Road	U1	68'-0"	50'-0"	12'-0"	1	2'-0"	0'-0"	0'-0"	10'-0"	P1	P2	-	P3	A	
6	Panetta Avenue	U1	80'-0"	50'-0"	24'-0"	2	8'-0"	0'-0"	0'-0"	0'-0"	P1	P2	-	P1	A	
7	High Road	U1	68'-0"	50'-0"	12'-0"	1	2'-0"	0'-0"	0'-0"	10'-0"	P1	-	P2	P3	B	
8	Panetta Avenue	U1	80'-0"	50'-0"	24'-0"	2	8'-0"	0'-0"	0'-0"	0'-0"	P1	-	P2	P1	B	
9	High Road	U1	68'-0"	50'-0"	12'-0"	1	2'-0"	2'-0"	0'-0"	10'-0"	P1	P2	-	P3	B	
10	Panetta Avenue	U1	80'-0"	50'-0"	24'-0"	2	8'-0"	2'-0"	0'-0"	0'-0"	P1	P2	-	P1	B	
11	High Road	U1	68'-0"	50'-0"	12'-0"	1	2'-0"	0'-0"	2'-0"	10'-0"	P1	-	P2	P3	B	
12	Panetta Avenue	U1	80'-0"	50'-0"	24'-0"	2	8'-0"	0'-0"	2'-0"	2'-0"	P1	-	P2	P1	B	

Parcel	Street Frontage (use as reference to determine left and right sides of parcel / lot)	Allowable Uses	Max Bldg. Depth	Building Height and Number of Stories			Required Setbacks from parcel line (To determine right and left sides by facing parcel / lot from street frontage)				Allowable Projections over parcel line (To determine right and left sides by facing parcel / lot from street frontage)				Trash Enclosure	Remarks
				Maximum Allowable Bldg. Height	Minimum Required Bldg. Height	Minimum Number of Stories	Front	Left Side	Right Side	Rear	Front	Left Side	Right Side	Rear		
13	High Road	U1	68'-0"	50'-0"	12'-0"	1	2'-0"	0'-0"	0'-0"	10'-0"	P1	-	-	P3	B	
14	Panetta Avenue	U1	80'-0"	50'-0"	24'-0"	2	8'-0"	0'-0"	0'-0"	2'-0"	P1	-	-	P1	B	
15	High Road	U1	68'-0"	50'-0"	12'-0"	1	2'-0"	15'-0"	0'-0"	10'-0"	P1	P1	-	P3	B	
16	Panetta Avenue	U1	80'-0"	50'-0"	24'-0"	2	8'-0"	2'-0"	0'-0"	2'-0"	P1	P1	-	P1	B	
17	Delaware Avenue	U1 / U2	65'-0"	50'-0"	15'-0"	1	20'-0"	0'-0"	8'-0"	2'-0"	P0	P1	P1	P2	C	
18	Delaware Avenue	U1	131'-6"	50'-0"	15'-0"	1	20'-0"	0'-0"	0'-0"	2'-0"	P0	P1	P1	P2	C	
19	Ingalls Alley	U1	55'-0"	50'-0"	15'-0"	1	10'-0"	0'-0"	10'-0"	10'-0"	P1	P1	P2	P2	D	
20	Ingalls Alley	U1 / U2	-	50'-0"	15'-0"	1	5'-0"	0'-0"	0'-0"	0'-0"	P1	P4	P3	P4	F	
21	Ingalls Alley	U1 / U2	-	50'-0"	15'-0"	1	0'-0"	0'-0"	20'-0"	20'-0"	P1	P4	P3	P4	D	
22	Easy Street	U1	68'-6"	50'-0"	24'-0"	2	8'-0"	2'-0"	0'-0"	0'-0"	P2	-	P1	-	C	
23	Easy Street	U1	68'-6"	50'-0"	24'-0"	2	2'-0"	0'-0"	0'-0"	0'-0"	P2	-	-	-	C	
24	Easy Street	U1	68'-6"	50'-0"	24'-0"	2	2'-0"	0'-0"	0'-0"	0'-0"	P2	P1	-	-	C	

Parcel	Street Frontage (use as reference to determine left and right sides of parcel / lot)	Allowable Uses	Max Bldg. Depth	Building Height and Number of Stories			Required Setbacks from parcel line (To determine right and left sides by facing parcel / lot from street frontage)				Allowable Projections over parcel line (To determine right and left sides by facing parcel / lot from street frontage)				Trash Enclosure	Remarks
				Maximum Allowable Bldg. Height	Minimum Required Bldg. Height	Minimum Number of Stories	Front	Left Side	Right Side	Rear	Front	Left Side	Right Side	Rear		
25	Panetta Avenue	U1	56'-9"	50'-0"	24'-0"	2	8'-0"	0'-0"	0'-0"	0'-0"	P1	P2	-	-	C	
26	-	U1	-	50'-0"	24'-0"	2	0'-0"	0'-0"	0'-0"	0'-0"	-	-	-	-	C	
27	Low Road	U1		50'-0"	24'-0"	2	0'-0"	0'-0"	0'-0"	0'-0"	P1	-	-	-	C	
28	Elizabeth Street	U1	63'-10"	50'-0"	24'-0"	2	8'-0"	2'-0"	0'-0"	0'-0"	P2	P1	-	-	C	
29	Elizabeth Street	U1	63'-10"	50'-0"	24'-0"	2	2'-0"	0'-0"	0'-0"	0'-0"	P2	-	-	-	C	
30	Elizabeth Street	U1	63'-10"	50'-0"	24'-0"	2	2'-0"	0'-0"	0'-0"	0'-0"	P2	-	P1	-	C	
31	Panetta Avenue	U1	60'-0"	50'-0"	24'-0"	2	8'-0"	2'-0'	2'-0"	0'-0"	P1	P2	P2	P2	E	
32	Elizabeth Street	U1	193'-8"	50'-0"	24'-0"	2	2'-0"	2'-0"	2'-0"	2'-0"	P2	P2	P2	P2	E	
33	Low Road	U1	60'-0"	50'-0"	24'-0"	2	0'-0"	2'-0"	2'-0"	0'-0"	P1	P2	P2	P2	E	
34	Loran Street	U1	63'-10"	50'-0"	24'-0"	2	2'-0"	0'-0"	8'-0"	0'-0"	P2	-	P1	-	E	
35	Loran Street	U1	63'-10"	50'-0"	24'-0"	2	2'-0"	0'-0"	0'-0"	0'-0"	P2	-	-	-	E	
36	Loran Street	U1	63'-10"	50'-0"	24'-0"	2	2'-0"	0'-0"	0'-0"	0'-0"	P2	P1	-	-	E	

Parcel	Street Frontage (use as reference to determine left and right sides of parcel / lot)	Allowable Uses	Max Bldg. Depth	Building Height and Number of Stories			Required Setbacks from parcel line (To determine right and left sides by facing parcel / lot from street frontage)				Allowable Projections over parcel line (To determine right and left sides by facing parcel / lot from street frontage)				Trash Enclosure	Remarks
				Maximum Allowable Bldg. Height	Minimum Required Bldg. Height	Minimum Number of Stories	Front	Left Side	Right Side	Rear	Front	Left Side	Right Side	Rear		
37	Panetta Avenue	U1	56'-9"	50'-0"	24'-0"	2	8'-0"	0'-0"	5'-0"	0'-0"	P1	-	P2	-	E	
38	-	U1	60'-0"	50'-0"	24'-0"	2	6'-6"	0'-0"	0'-0"	0'-0"	-	-	-	-	E	
39	Low Road	U1	63'-10"	50'-0"	24'-0"	2	0'-0"	5'-0"	0'-0"	0'-0"	P1	P2	-	-	E	
40	Panetta Avenue	U1	56'-9"	50'-0"	24'-0"	2	8'-0"	0'-0"	0'-0"	0'-0"	P1	-	-	-	E	
41	-	U1	64'-+10"	50'-0"	24'-0"	2	0'-0"	0'-0"	0'-0"	0'-0"	-	-	-	-	E	
42	Low Road	U1	64'-10"	50'-0"	24'-0"	2	0'-0"	0'-0"	0'-0"	0'-0"	P1	-	-	-	E	
43	Ingalls Alley	U1	60'-0"	50'-0"	24'-0"	2	2'-0"	8'-0"	0'-0"	2'-0"	P1	P1	-	P2	E	
44	Ingalls Alley	U1	60'-0"	50'-0"	24'-0"	2	2'-0"	0'-0"	0'-0"	2'-0"	P1	-	-	P2	E	
45	Ingalls Alley	U1	60'-0"	50'-0"	24'-0"	2	2'-0"	0'-0"	0'-0"	2'-0"	P1	-	P1	P2	E	
46	Low Road	U1	68'-0"	50'-0"	12'-0"	1	0'-0"	2'-0"	0'-0"	10'-0"	P1	P2	-	P4	C	
47	Low Road	U1	68'-0"	50'-0"	12'-0"	1	0'-0"	0'-0"	2'-0"	10'-0"	P1	-	P2	P4	C	
48	Low Road	U1	68'-0"	50'-0"	12'-0"	1	0'-0"	2'-0"	0'-0"	10'-0"	P1	P2	-	P4	E	

Parcel	Street Frontage (use as reference to determine left and right sides of parcel / lot)	Allowable Uses	Max Bldg. Depth	Building Height and Number of Stories			Required Setbacks from parcel line (To determine right and left sides by facing parcel / lot from street frontage)				Allowable Projections over parcel line (To determine right and left sides by facing parcel / lot from street frontage)				Trash Enclosure	Remarks
				Maximum Allowable Bldg. Height	Minimum Required Bldg. Height	Minimum Number of Stories	Front	Left Side	Right Side	Rear	Front	Left Side	Right Side	Rear		
49	Low Road	U1	68'-0"	50'-0"	12'-0"	1	0'-0"	0'-0"	2'-0"	10'-0"	P1	-	P2	P4	E	
50	Low Road	U1	68'-0"	50'-0"	12'-0"	1	0'-0"	2'-0"	0'-0"	10'-0"	P1	P2	-	P4	E	
51	Low Road	U1	68'-0"	50'-0"	12'-0"	1	0'-0"	0'-0"	0'-0"	10'-0"	P1	-	-	P4	E	
52	Low Road	U1	68'-0"	50'-0"	12'-0"	1	0'-0"	0'-0"	2'-0"	10'-0"	P1	-	P1	P4	E	
A	Panetta Avenue															
B	Easy Street Trash Enclosure A															
C	Panetta Avenue															
D	Pedestrian Path															
E	High Road															
F	Pedestrian Path															
G	Loran Street Trash Enclosure B															
H	Panetta Avenue															

Parcel	Street Frontage (use as reference to determine left and right sides of parcel / lot)	Allowable Uses	Max Bldg. Depth	Building Height and Number of Stories			Required Setbacks from parcel line (To determine right and left sides by facing parcel / lot from street frontage)				Allowable Projections over parcel line (To determine right and left sides by facing parcel / lot from street frontage)				Trash Enclosure	Remarks
				Maximum Allowable Bldg. Height	Minimum Required Bldg. Height	Minimum Number of Stories	Front	Left Side	Right Side	Rear	Front	Left Side	Right Side	Rear		
I	NOT USED															
J	High Road															
K	Ingalls Alley Trash Area D															
L	Ingalls Alley Trash Area F															
M	Central Plaza															
N	Transit Plaza															
O	NOT USED															
P	Easy Street															
Q	Low Road															
R	Loading Trash Enclosure C															
S	Elizabeth Street															
T	Low Road															

Parcel	Street Frontage (use as reference to determine left and right sides of parcel / lot)	Allowable Uses	Max Bldg. Depth	Building Height and Number of Stories			Required Setbacks from parcel line (To determine right and left sides by facing parcel / lot from street frontage)				Allowable Projections over parcel line (To determine right and left sides by facing parcel / lot from street frontage)				Trash Enclosure	Remarks
				Maximum Allowable Bldg. Height	Minimum Required Bldg. Height	Minimum Number of Stories	Front	Left Side	Right Side	Rear	Front	Left Side	Right Side	Rear		
U	Parking															
V	Loran Street															
W	ParkingTrash Enclosure E															
X	Low Road															
Y	Riparian Corridor Trail															

EXHIBIT I: IRRIGATION MASTER PLAN

DELAWARE ADDITION DESIGN GUIDELINES

SANTA CRUZ, CALIFORNIA

EXHIBIT I: IRRIGATION MASTER PLAN & MASTER SPECIFICATIONS

The following irrigation master plan and master specification are intended to be used as a standard for irrigation installation throughout the Delaware Addition project. All new irrigation must meet City of Santa Cruz standards and water conservation ordinances. Any irrigation materials deviating from the master plan and specification shall be submitted to the Delaware Addition Association for review and approval prior to installation.

I. GENERAL

A. SUMMARY

- Work Included: Install irrigation system complete and with equipment as specified.
- Related Work: Consult all other applicable Sections. Coordinate installation with the work of other trades.
 - Water stub out(s) for irrigation system - Division 15
 - Installation of irrigation water meter(s) - Division 15
 - Electrical stubout(s) for controller(s) - Division 16

B. QUALITY ASSURANCE:

- Permits and Fees: Obtain and pay for all permits required.
- Manufacturer's Specifications: Follow Manufacturer's current printed specifications and drawings in all cases where the manufacturers of articles used in the Contract furnish directions covering points not specified or shown in the Drawings.
- Ordinances and Regulations: All local, municipal and state laws, codes, and regulations governing or relating to all portions of this work are hereby incorporated into and made a part of these Specifications. Anything contained in these Specifications shall not be construed to conflict with any of the above codes, regulations, or requirements of the same. However, when these Specifications and Drawings call for or describe materials, workmanship, or construction of a better quality, higher standard, or larger size than is required by the above codes and regulations, the provisions of these Specifications and Drawings shall take precedence.
- Explanation of Drawings:
 - Due to the scale of the Drawings, it is not possible to indicate all offsets, fittings, sleeves, etc., which may be required. Carefully investigate the conditions affecting all of the work and plan accordingly, and furnish all required fittings. Install system in such a manner to avoid conflicts with planting, utilities, and architectural features.
 - Do not install the irrigation system as shown on the Drawings when it is obvious in the field that obstructions, grade differences or discrepancies in are dimensions exist that might not have been considered in engineering. Bring such obstructions or differences to the attention of the Landscape Architect. In the event this notification is not given, the Contractor shall assume full responsibility for any revision necessary.

C. SUBMITTALS

- Materials List:
 - Within ten (10) days after the award of the Contract, submit three (3) copies of the complete lists of materials proposed for installation, and obtain the Landscape Architect's written approval thereof before proceeding. Use only accepted materials and items of equipment.
 - List all materials by manufacturer's name and model number.
- Manuals:
 - Prior to the final acceptance of the irrigation system, furnish three (3) individually bound Service Manuals to the Landscape Architect for use by the Owner. The manuals shall contain complete enlarged drawings, diagrams and spare parts lists of all equipment installed showing manufacturer's name and address. In addition, each Service Manual shall contain the following:
 - a. Index sheet indicating the Contractor's name, address and phone number.
 - b. Copies of equipment warranties and certificates.

- c. List of equipment with names, addresses and telephone numbers of all local manufacturer's representatives.
 - d. Complete operating and maintenance instructions in sufficient detail to permit operating personnel to understand, operate and maintain all equipment.
- Record Drawings:
 - Dimension from two (2) permanent points of reference, building corners, sidewalk, or road intersections, etc., the location of the following items:
 - a. Connection to existing water lines.
 - b. Connection to electrical power.
 - c. Gate valves.
 - d. Routing of sprinkler pressure lines.
 - e. Remote control valves.
 - f. Routing of control valves.
 - g. Quick coupling valves.
 - h. Other related equipment as directed by Landscape Architect.
 - i. All sleeve locations.
 - Deliver a reproducible Record Drawing to the Landscape Architect within seven (7) working days before the date of Final Inspection. Delivery of the record drawings shall not relieve the Contractor of the responsibility of furnishing required information in the future.
- Controller Plan:
 - Permanently install one 'bubble diagram' controller plan in each controller housing. The plan shall show the area controlled by each valve and any major permanent structure, such as buildings and roads.
 - These charts to be waterproof and install as accepted by the Landscape Architect at the coverage test of the irrigation system.
- Maintenance Material - Supply the following tools to the Owner;
 - Three (3) sets of specialized tools required for removing, disassembling and adjusting each type of sprinkler, valve or other equipment supplied on this project.
 - Two (2) keys for each type of equipment enclosure.
 - Two (2) keys for each type of automatic controller.
 - Two (2) quick-coupler keys and matching hose swivels for each type of quick coupling valve installed.
 - Two (2) five foot valve keys for operation of gate valves.

D. PRODUCT DELIVERY, STORAGE AND HANDLING

- Furnish and deliver materials in manufacturer's packaging, bearing and original legible labeling.
- Handle and store all equipment in accordance with manufacturer's current printed specifications.

E. SEQUENCING AND SCHEDULING

- Acceptance: Do not install main line trenching prior to acceptance by Landscape Architect of rough grades completed under another Section.

- Coordination: Coordinate with the work of other sections to insure the following sequence of events.
 - Sleeves and Conduits: Installation of all sleeves and conduits to be located under paving, through walls, and under building slab prior to placement of those materials.
 - Bubbler Heads in Tree Planter Pockets: Install after placement of tree, but prior to backfill with planter soil mix.

F. WARRANTY

- Provide a Warranty for the irrigation system in accordance with the attached warranty form, and file with the Owner or his representative prior to acceptance of the irrigation system.
- Include a copy of the warranty form in the Operations and Maintenance Manual.
- Retype the warranty form onto the Contractor's letterhead and contain the following information:

WARRANTY FOR IRRIGATION SYSTEM

We hereby warrant that the irrigation system we have furnished and installed is free from defects in materials and workmanship, and the work has been completed in accordance with the Drawings and Specifications, ordinary wear and tear and unusual abuse, or neglect expected. We agree to repair or replace all defects in material or workmanship which may develop during the period of one (1) year from date of acceptance and also to repair or replace any damage resulting from the repairing of such defects at no additional cost to the Owner. We shall make such repairs or replacements within a reasonable time, as determined by the Owner, after receipt of written notice. In the event of our failure to make such repairs or replacements within a reasonable time after receipt of written notice from the Owner, we authorize the Owner to proceed to have said repairs or replacements made at our expense and we will pay the costs and charges therefore upon demand.

PROJECT: _____

LOCATION: _____

CONTRACTOR: _____

Company

License #

ADDRESS: _____

PHONE: _____

DATE OF FINAL ACCEPTANCE: _____

NAME: _____

SIGNED: _____ DATE: _____

G. MAINTENANCE

- Routine: Inspect and adjust all spray valves and control valves including raising or lowering of spray valve heights to accommodate plant growth, to achieve uniform irrigation at all times. Verify correct operating pressure.
- Controller: Inspect regularly for power interruption and reset clock as required. Adjust station timing to accommodate changes in plant growth.

- System Failure: Perform all repairs within one (1) operating period. Replacements to match removed products and materials in all respects. Report promptly all damage not resulting from Contractor's operations. Repair all damage caused by Contractor at no expense to Owner.
- Climate Change: Do not run the irrigation system during the rainy season. Set and program automatic controllers in response to seasonal requirements and requirements of newly - planted materials.

II. PRODUCTS

A. GENERAL

- Use only new materials of brands and types noted on Drawings or Equipment List. Substitutions shall be approved and accepted by the Landscape Architect.
- Point of water connection: Provide and installed under the civil contract work to each lot or parcel according to the codes of the utility.

B. PIPE

- Pressure Main Line Pipe and Fittings: All PVC fittings shall bear the manufacturer's trademark name, material designation, size, applicable I.P.S. schedule and NSF seal of approval.
 - PVC pressure rated pipe: ASTM D2241 NSF approved Type I, Grade I, PVC. All pipe must meet Federal Specifications pS-22-70, with an appropriate standard dimension ratio (S.D.R.)
 - PVC scheduled pipe: ASTM D1785 NSF approved Type I, Grade I, PVC. All pipe must meet Federal Specifications PS-21-70.
 - PVC solvent-weld fittings: ASTM D2466 Schedule 40, 1-2, II-I NSF approved.
 - Solvent cement and primer for PVC solvent-weld pipe and fittings: Type and installation methods prescribed by the manufacturer.
 - Connections between main lines and RCVs: Schedule 80 PVC (threaded both ends) nipples and fittings.
 - Galvanized pipe: ASTM A-53 and A120-84, ANSI B1.20.1 and B36.10 Seamless standard weight steel.
 - Copper pipe: ASTM B 42-84 or as specified by local plumbing code, Type L or K copper water pipe. Refer to plumbing plans. Pipe is provided under the plumbing work.
- PVC Non-Pressure Lateral Line Piping and Sleeving:
 - PVC pressure rated pipe: ASTM D2241 NSF approved Type I Grade I, PVC and Federal Specification PS-22-70, with an appropriate standard dimension ratio (S.D.R.).
 - PVC scheduled pipe: ASTM D1785 NSF approved Type I Grade I, PVC and Federal Specification PS-21-70.
 - PVC solvent - weld fittings: ASTM D2466 Schedule 40, 1-2, II-I NSF approved.
 - Flexible PVC: ASTM D-2287 Algae-resistant flexible PVC.
 - Polyethylene: ASTM D2237-83, 80 PSI.
 - Copper: ASTM B-42-84 Type L or K.

C. CONTROLLER

- Type: Hunter, model no. as shown on Equipment List.

D. BACKFLOW ASSEMBLY

- Type: Hunter, model no. as shown on Equipment List.

E. REMOTE CONTROL VALVES

- Type: Hunter, model no. as shown on Equipment List.

F. QUICK COUPLING VALVES

- Type: Hunter, model no. as shown on Equipment List.

G. CONTROL WIRES

- Inside electrical conduit: Copper, single conductor with UL approval, THHN or THWN, size AWG 14-1. Paige Electric or equal.
- Direct bury: Copper, single conductor with UL approval for direct burial, size AWG-UF 14-1. Paige Electric or equal.
- Wire color: Common ground wire with white insulating jacket; individual control wires with insulating jacket of color other than white.
- Splices: 3M or Paige Electric DBR/Y6.

H. BOXES FOR REMOTE CONTROL VALVES

- Type: 14" X 19" rectangular plastic valve box – Rain Bird, Brooks, Carson or accepted equal.
- Box and Lid Color: Green

I. GATE VALVES:

- Valves: 125-pound WSP bronze gate valve with union bonnet, non-rising stem and solid wedge disc.

J. BOXES FOR GATE VALVES

- Box: 10" round plastic valve box – Rain Bird, Brooks, Carson or accepted equal.
- Color: Green

K. POP-UP SPRAY HEADS

- Type: Hunter, model no. as shown on Equipment List.

L. EMITTERS

- Type: Hunter, model no. as shown on Equipment List.

M. MISCELLANEOUS INSTALLATION MATERIALS:

- Solvent cement and primers for solvent weld joints: Make and type approved by manufacturer(s) of pipe and fittings. Maintain cement proper consistency throughout use.
- Pipe joint compound: as shown on Equipment List. Do not use on plastic valve or sprinkler inlet port.
- Coatings for below grade steel pipe and fittings: Koppers Bitumastic #300-M coal tar epoxy and wrapped with 50-mil polyethelene tape to 6" above finish grade.

N. MISCELLANEOUS EQUIPMENT/ACCESSORIES

- Concrete Pads: See Portland Cement Concrete Paving - Section 02415.
- Sleeves: See Drawings.
- Key(s) for Quick-Coupling Valves:
 - Type: Same manufacturer as Quick-Coupling valve.
 - Quantity: One (1) key.

III. EXECUTION

A. EXAMINATION

- Sleeves and Conduits: Verify that all installed sleeving and conduits are undisturbed and are free of defects or errors introduced by the work of other sections.
- Water Meter/Water Pressure: Test and verify that installation of irrigation water meter by others has generated level of water pressure specified on Drawings.
- Copper pipe in-structure/Stub-outs: Verify that all copper pipe and stub-outs to be provided under another contract are correctly sized, located and installed as noted on Drawings.
- Notification: Submit written notification to Landscape Architect within ten (10) working days of above inspections describing all acceptable and non-acceptable site conditions.

B. INSTALLATION

- Conduits and Sleeves:
 - Coordination:
 - a. Sleeving will be existing only when installed under another subcontract. Inspect as specified above.
 - b. For all other installations, provide conduit and sleeve materials and coordinate installation with other trades.
 - Extent: Install conduits and sleeves where control wires and pipes pass under paving or through walls. Extend 12 inches beyond edges of paving and walls and cap ends until ready for use.
- Excavating and Trenching:
 - Existing Installations: Restore to their original conditions, damaged surfaces and underground installations as a result of the excavations at no cost to Owner.
 - Trenches: Dig trenches wide enough to allow a minimum of 6 inches between parallel pipe lines. Provide a minimum cover from finish grade as follows:
 - a. 18 inch deep: Over pipe on pressure side of irrigation control valve, control wires and quick-coupling valves.
 - b. 12 inch deep: Over pipe on non-pressure side of irrigation control valve.
 - c. Direct Burial PVC Piping Under Pavement: Provide a minimum of 4 inches of sand backfill on all sides and 24 inch cover to bottom of paving.
 - d. 18 inch deep: Control Wire and Flow Sensor Cable.
 - Sawcutting: Saw cut existing AC paving a minimum 12 inch wide. Compact backfill to 95 percent dry density and legally dispose waste off site. Patch to match existing AC pavement.
- Irrigation Water Meter: Installed under the civil work per the requirements of the local water district and local codes.
- Backflow Prevention Device: Install according to local codes and manufacturer's current printed instructions. Install enclosure as specified.
- Pipe Line Assembly:
 - General:
 - a. Install pipes and fittings in accordance with manufacturer's current printed Specifications.
 - b. Clean all pipes and fittings of dirt, scales and moisture before assembly.

- c. Solvent-Welded Joints for PVC Pipes:
 - d. Solvents: Use solvents and methods specified by pipe manufacturer.
 - e. Curing Period: Minimum of 1 hour before applying any external stress on the piping and at least 24 hours before placing the joint under water pressure.
- Threaded Joints for Plastic Pipes:
 - a. Tape: Use Teflon tape on threaded PVC fittings.
 - b. Joining: Use strap-type friction wrench only. Do not use metal-jawed wrench.
- Laying of Pipe:
 - a. Bedding On-grade: Remove from trench all rocks or clods. Bed pipes in at least 2 inches of soil excavated from trench. Backfill on all sides of piping to provide a uniform bearing.
 - b. Snaking: Snake pipe from side to side of trench bottom to allow for expansion and contraction. Minimum allowance for snaking is one (1) additional ft. per 100 ft. of pipe.
 - c. Moisture Restrictions: Do not lay PVC pipe when there is water or ice in the trench. Do not assemble PVC pipe unless the pipe is perfectly dry.
- Gate Valves: Locate in planted areas. Install box flush with finish grade and aligned with grade.
- Control Valves:
 - Install in valve boxes where shown on Drawings and group together where practical. Install box flush with finish grade and aligned with grade.
 - Where two or more valves are installed adjacent to each other, provide at least twelve (12) inches of separation. Align boxes in a row.
 - Permanently mark valve box lid with valve number and controller letter using a propane heated embosser with metal plates for letters and numbers.
- Sprinkler Heads:
 - Pop-up Heads:
 - a. Place all pop-up sprinkler heads in lawn areas on temporary risers with top of heads 4 inches above finish grade.
 - b. Place pop-up sprinkler heads 6 inches from edge of and flush with top of adjacent header boards and mowing bands; 12 inches from impermeable walks, curbs, and paved areas at time of installation.
 - Bubblers:
 - a. Coordination: Coordinate installation with planting contractor to insure timely and proper placement of heads at new planting.
- Automatic Controller:
 - General: Install per local code and manufacturer's current printed Specifications.
 - Connection to Valves: Connect remote control valves to controller in clockwise sequence to correspond with station setting beginning with Stations 1, 2, 3, etc.

- Labeling: Affix controller name (i.e., "CONTROLLER A") on inside of controller cabinet door with minimum of 1 in. high permanent letters.
- Irrigation Diagram: Affix a non-fading copy of irrigation diagram to cabinet door below controller name. Irrigation diagram to be sealed between two plastic sheets, 20 mil. minimum thickness. Use a reduced copy of the Record Drawing, for the irrigation diagram clearly showing all valves operated by the controller, station number, valve size, and type of planting irrigated.
- Control Wiring:
 - General: Install control wires in common trenches with sprinkler mains and laterals wherever possible. Lay to the bottom side of pipe line. Provide looped slack at valves. Snake wires in trench to allow for contraction of wires. Tie wires in bundles at 10 ft. intervals.
 - Extra Length: Provide 30 inches of extra control wire at each remote control valve splice to facilitate the removal of the remote control bonnet to finish grade without cutting wires.
 - Spare: Install one unconnected spare control wire running from the controller through each intermediate control valve box.
 - Size: Minimum size of wire is to be determined strictly by the manufacturer's current printed specifications for remote control valves, but not smaller than # 14.
 - Detection Wire: Install a bare copper wire #12 or greater on top of the PVC supply line for the purpose of possible future mine detection search as the control wires are being installed on the bottom of the PVC supply line with electrical tape every ten (10) feet.
 - Splicing: Crimp control wire splices at remote control valves. Seal with specified splicing materials. In-line splices will be allowed only on runs exceeding 2500 ft.
- Mastic and Tape: Install mastic and tape on all below grade metallic piping. Install per manufacturer's current printed specifications extending mastic and tape to 6 inches above finish grade.
- Closing of Pipe and Flushing of Lines:
 - Capping: Cap or plug all openings as soon as lines have been installed to prevent entrance of materials that would obstruct the pipe. Leave in place until removal is necessary for completion of installation.
 - Flushing: Thoroughly flush out all water lines before installing heads, valves and other hydrants.

C. FIELD QUALITY CONTROL

- Adjustment of the System:
 - Flush and adjust all sprinkler heads for optimum performance and to prevent overspray onto walks, roadways, and buildings.
 - Set all sprinkler heads set perpendicular to finished grades unless otherwise noted on the Drawings.
- Testing of Irrigation System:
 - In the presence of the Landscape Architect test all pressure lines under hydrostatic pressure of 125 pounds per square inch, and prove watertight.
 - Sustain pressure in lines for not less than two (2) hours. If leaks develop, repair and repeat test until entire system passes.
 - When the landscape sprinkler system is completed, perform a coverage test in the presence of the Landscape Architect, to determine if the water coverage for planting areas is adequate.
 - Test controllers individually in the presence of the Owner's Representative and the Landscape Architect. Demonstrate that all control valves operate electrically. Provide vehicles and radio equipment as necessary to expedite this process.
 - Demonstrate to Landscape Architect that irrigation scheduling programmed into controller is adequate for plant requirements without causing runoff, and that scheduling capacities of

controller are utilized.

D. BACKFILL AND COMPACTING

- General: After system is operating and required tests and reviews have been made, backfill excavations and trenches with clean soil, free of debris.
- Backfill For All Trenches: Regardless of the type of pipe covered, compact to minimum 95 percent density under pavements, and 85 percent under planted areas.
- Backfill at Existing Underground Pipes: Use only backfill material which has been screened to eliminate all materials larger than 3/8 in. when backfilling adjacent to existing underground pipe lines.
- Compacting: Compact trenches in areas to be planted by thoroughly flooding the backfill. Jetting process may be used in those areas.
- Finishing: Dress off all areas to finish grades.

E. MAINTENANCE

- The entire sprinkler irrigation system shall be under full automatic operation for a period of two (2) days prior to any planting.
- The Landscape Architect reserves the right to waive or shorten the operation period.

F. CLEAN-UP

- Clean-up as each portion of work progresses. Remove refuse and excess dirt from the site. Paving shall be swept or air blown. Repair damages incurred on the work of others and restore to original conditions.

G. REVIEWS PRIOR TO ACCEPTANCE:

- Notify the Landscape Architect in advance for the following reviews, according to the time indicated:
 - Pre-construction conference - 7 days.
 - Supply line pressure test and control wire installation - 72 hours.
 - Coverage and controller test - 72 hours.
 - Final inspection - 7 days.
- No reviews will commence without record drawings. In the event the Contractor calls for a review without record drawings, without completing previously noted corrections, or without preparing the system for review, he shall be responsible for reimbursing the Landscape Architect at the rate of two and one-half times the normal office hourly rate per hour portal to portal (plus transportation costs) for the inconvenience. No further reviews will be scheduled until this charge has been paid.

H. FINAL REVIEW

- Operate each system in its entirety for the Landscape Architect at time of final review. Any items deemed not acceptable by the Landscape Architect shall be reworked to the complete satisfaction of the Landscape Architect.
- Provide evidence to the Landscape Architect that the Owner has received all accessories and equipment as required before final review can occur.

Know what's below.
Call before you dig.**DELAWARE ADDITION
MASTER PLAN**
2120 Delaware Avenue, Santa Cruz, CA 95060DATE: 01 MAY 2016
JOB No: 1405
PHASE: LAND USE APPLICATION
ISSUED FOR: -
PERMIT No: -
SCALE: 1"=50'-0"IRRIGATION
MASTER
PLAN**SHEET NOTES**

- 1 NEW CISTERN, IRRIGATION PUMP, AND 2.5" PRESSURIZED PIPE TO THE IRRIGATION MAIN LINE PROVIDED UNDER THE CIVIL WORK, SEE CIVIL PLANS.
- 2 EXISTING SUMP PUMP: SUMP PUMP DRAWS WATER FROM A CURTAIN DRAIN AND FILLS THE CISTERN.
- 3 2.5" PRESSURIZED MAIN LINE TO CAPPED IRRIGATION POINT OF CONNECTION.
- 4 POINT OF CONNECTION FOR IRRIGATION AT EXISTING 2.5" CAPPED IRRIGATION MAIN LINE.
- 5 CURTAIN DRAIN



JDE

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California Landscape Architect License 3163

PROJECT

DELAWARE ADDITION
MASTER PLAN
2120 Delaware Avenue, Santa Cruz, CA 95060

No REVISION DATE

DATE : 01 MAY 2016
JOB No: 1405
PHASE: LAND USE APPLICATION
ISSUED FOR:
PERMIT No: -
SCALE: NONE

SHEET TITLE

IRRIGATION
EQUIPMENT
&
NOTES

SHEET No

EXHIBIT I | L2.01

STANDARD EQUIPMENT LIST

Item	Manufacturer	Model no.
1" Remote control valve for bubblers or spray zones	Hunter	ICV-101G-FS-R (non-potable)
1.5" Remote control valve for bubblers or spray zones	Hunter	ICV-151G-FS-R (non-potable)
1" Remote control valve for emitter zones	Hunter	PCZ-101 with non-potable handle
Gate valve	Nibco	T-113-IRR
Quick coupling valve	Hunter	HQ-33LRC-R (non-potable)
Main line	PW Pipe or equal	Schedule 40 PVC (purple for non-potable); 18" soil cover
Lateral line	PW Pipe or equal	Schedule 40 PVC (purple for non-potable); 12" soil cover
Sleeve	PW Pipe or equal	Schedule 40 or Class 200 PVC: same soil cover as pipe contained inside the sleeve.
Main line fittings	Lasco or equal	PVC schedule 40
Lateral line fittings	Lasco or equal	PVC schedule 40
Controller & Climate sensor	Hunter	PCC or I-Core & Solar Sync
Wire	Paige Electric	#14-AWG-UF
Wire nuts	Paige Electric	DBR/Y6
Pop-up shrub spray	Hunter	PROS-06 with required nozzle
Pop-up turf spray	Hunter	PROS-06 with required nozzle
Shrub bubbler to individual plants	Hunter	PCN-25 on a flex riser
Tree bubbler to individual trees	Hunter	RZWS-36-25-CV-R (purple for non-potable)
Shrub emitter to individual plants	Hunter	HEB-10 (1 GPH)
Multi-outlet emitter to grouped plants	Rain Bird or Olson	XBD-81 (8 outlets) or EH-12 (1704, 12 outlets); 1gph/outlet
Distribution tube and accessories for multi-outlet emitter	Rain Bird or Olson	(use tube and accessories that matches the same manufacturer as the emitter)
Shrub subsurface drip tube for closely spaced mass plantings	Hunter	PLD-06-18-R (non-potable); 3"-4" soil cover
Valve boxes	Carson or equal	910 or 1419, bolt lock
Bricks under valve boxes	Common red or gray brick	
Pipe thread sealant	Rectorseal	T-Plus-2
PVC pipe cement	IPS-Weld on	711
PVC pipe primer	IPS-Weld on	P70

Note: Backflow protection is not required since the irrigation water is pumped from an underground cistern.

MAXIMUM APPLIED WATER ALLOWANCE (MAWA) (per the City of Santa Cruz MWEL0 calculation)

Given:
Santa Cruz water budget formula: (0.7)(Eto)(.00083)(LA) = CCF
ET adjustment factor Eto CONVERSION FACTOR LA CCF Gallons
Basis for lot water use, 1 acre: 0.7 36.6 0.00083 43,560 = 930 695,639

Eto (inches) =				Jan 1.5	Feb 1.8	March 2.6	April 3.5	May 4.3	June 4.4	July 4.8	August 4.4	Sept 3.8	Oct 2.8	Nov 1.7	Dec 1.2	Year 36.6	
Lot	Square Feet	CCF/yr	Gallons/yr	CCF/mo.	Gallons/mo	CCF/mo.	Gallons/mo	CCF/mo.	Gallons/mo	CCF/mo.	Gallons/mo	CCF/mo.	Gallons/mo	CCF/mo.	Gallons/mo	CCF/yr	Gallons/Yr
1	3,439	73	54,920	2.91	2,176	3.51	2,626	5.22	3,901	7.02	5,252	8.63	6,452	8.83	6,602	7.62	54,993
2	2,136	46	34,111	1.81	1,351	2.18	1,631	3.24	2,423	4.36	3,262	5.36	4,008	5.48	4,101	4.73	34,157
3	1,151	25	18,381	0.97	728	1.17	879	1.75	1,306	2.35	1,758	2.89	2,160	2.95	2,210	2.55	18,406
4	508	11	8,113	0.43	321	0.52	388	0.77	576	1.04	776	1.27	953	1.30	975	1.13	8,123
5	2,296	49	36,666	1.94	1,453	2.34	1,753	3.48	2,605	4.69	3,506	5.76	4,308	5.89	4,408	5.09	36,715
6	1,292	28	20,633	1.09	817	1.32	987	1.96	1,466	2.64	1,973	3.24	2,424	3.32	2,480	2.86	20,660
7	2,278	49	36,379	1.93	1,441	2.33	1,739	3.45	2,584	4.65	3,479	5.71	4,274	5.85	4,373	5.05	36,428
8	1,063	23	16,976	0.90	673	1.09	812	1.61	1,206	2.17	1,623	2.67	1,994	2.73	2,041	2.36	16,998
9	2,008	43	32,067	1.70	1,270	2.05	1,533	3.05	2,278	4.10	3,067	5.04	3,767	5.15	3,855	5.62	32,110
10	967	21	15,443	0.82	612	0.99	738	1.47	1,097	1.97	1,477	2.43	1,814	2.48	1,856	2.14	15,463
11	1,505	32	24,034	1.27	952	1.54	1,149	2.28	1,707	3.07	2,298	3.78	2,824	3.86	2,889	4.21	24,066
12	802	17	12,808	0.68	507	0.82	612	1.22	910	1.64	1,225	2.01	1,505	2.06	1,540	1.78	12,825
13	1,803	38	28,793	1.53	1,141	1.84	1,377	2.73	2,045	3.68	2,753	4.52	3,383	4.63	3,461	4.00	28,832
14	776	17	12,392	0.66	491	0.79	593	1.18	880	1.58	1,185	1.95	1,456	1.99	1,490	1.72	12,409
15	2,225	48	35,533	1.88	1,408	2.27	1,699	3.37	2,524	4.54	3,398	5.58	4,175	5.71	4,272	4.93	35,580
16	945	20	15,091	0.80	598	0.96	722	1.43	1,072	1.93	1,443	2.37	1,773	2.43	1,814	2.09	15,112
17	1,836	39	29,320	1.55	1,162	1.87	1,402	2.78	2,083	3.75	2,804	4.61	3,445	4.71	3,525	4.07	29,360
18	1,726	37	27,564	1.46	1,092	1.76	1,318	2.62	1,958	3.52	2,636	4.33	3,238	4.43	3,314	3.83	27,601
19	75	2	1,198	0.06	47	0.08	57	0.11	85	0.15	115	0.19	141	0.19	144	0.17	1,199
20	182	4	2,906	0.15	115	0.19	139	0.28	206	0.37	278	0.46	341	0.47	349	0.40	2,910
21	13,181	281	210,496	11.15	8,339	13.46	10,065	19.99	14,953	26.91	20,129	33.06	24,730	33.83	25,306	36.91	210,778
22	357	8	5,701	0.30	226	0.36	273	0.54	405	0.73	545	0.90	670	0.92	685	1.00	5,709
23	357	8	5,701	0.30	226	0.36	273	0.54	405	0.73	545	0.90	670	0.92	685	1.00	5,709
24	357	8	5,701	0.30	226	0.36	273	0.54	405	0.73	545	0.90	670	0.92	685	1.00	5,709
25	379	8	6,053	0.32	240	0.39	289	0.57	430	0.77	579	0.95	711	0.97	728	1.06	6,061
26	0	0	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0
27	0	0	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0
28	649	14	10,364	0.55	411	0.66	496	0.98	736	1.33	991	1.63	1,218	1.67	1,246	1.44	10,378
29	130	3	2,076	0.11	82	0.13	99	0.20	147	0.27	199	0.33	244	0.33	250	0.29	2,079
30	130	3	2,076	0.11	82	0.13	99	0.20	147	0.27	199	0.33	244	0.33	250	0.29	2,079
31	1,821	39	29,081	1.54	1,152	1.86	1,390	2.76	2,066	3.72	2,781	4.57	3,417	4.67	3,496	5.10	29,120
32	0	0	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0
33	243	5	3,881	0.21	154	0.25	186	0.37	276	0.50	371	0.61	456	0.62	467	0.54	3,886
34	646	14	10,316	0.55	409	0.66	493	0.98	733	1.32	987	1.62	1,212	1.66	1,240	1.43	10,330
35	127	3	2,028	0.11	80	0.13	97	0.19	144	0.26	194	0.32	238	0.33	244	0.28	2,031
36	127	3	2,028	0.11	80	0.13	97	0.19	144	0.26	194	0.32	238	0.33	244	0.28	2,031
37	481	10	7,681	0.41	304	0.49	367	0.73	546	0.98	735	1.21	902	1.23	923	1.07	7,692
38	0	0	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0
39	0	0	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0
40	0	0	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0
41	109	2	1,741	0.09	69	0.11	83	0.17	124	0.22	166	0.27	205	0.28	209	0.24	1,743
42	0	0	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0
43	702	15	11,211	0.59	444	0.72	536	1.06	796	1.43	1,072	1.76	1,317	1.80	1,348	1.56	11,226
44	211	5	3,370	0.18	133	0.22	161	0.32	239	0.43	322	0.53	396	0.54	405	0.47	3,374
45	212	5	3,386	0.18	134	0.22	162	0.32	241	0.43	324	0.53	398	0.54	407	0.47	3,390
46	881	19	14,069	0.75	557	0.90	673	1.34	999	1.80	1,345	2.21	1,653	2.26	1,691	1.95	14,088
47	1,000	21	15,970	0.85	633	1.02	764	1.52	1,134	2.04	1,527	2.51	1,876	2.57	1,920	2.22	15,991
48	1,127	24	17,998	0.95	713	1.15	861	1.71	1,279	2.30	1,721	2.83	2,114	2.89	2,164	2.50	18,022
49	920	20	14,692	0.78	582	0.94	702	1.40	1,044	1.88	1,405	2.31	1,726	2.36	1,766	2.04	14,712
50	876	19	13,989	0.74	554	0.89	669	1.33	994	1.79	1,338	2.20	1,644	2.25	1,682	1.94	14,008
51	727	16	11,610	0.61	460	0.74	555	1.10	825	1.48	1,110	1.82	1,364	1.87	1,396	1.61	11,625
52	1,591	34	25,408	1.35	1,007	1.62	1,215	2.41	1,805	3.25	2,430	3.99	2,985	4.08	3,054	3.53	25,442
A	795	17	12,696	0.67	503	0.81	607	1.21	902	1.62	1,214	1.99	1,492	2.04	1,526	1.76	12,713
B	3,850	82	61,483	3.26	2,436	3.93	2,940	5.84	4,368	7.86	5,880	9.66	7,223	9.88	7,391	8.53	61,565
C	1,188	25	18,972	1.00	752	1.21	907	1.80	1,348	2.43	1,814	2.98	2,229	3.05	2,281	2.63	18,997
D	1,242	27	19,834	1.05	786	1.27	948	1.88	1,409	2.54	1,897	3.12	2,330	3.19	2,384	2.75	19,861
E	959	20	15,315	0.81	607	0.98	732	1.45	1,088	1.96	1,465	2.41	1,799	2.46	1,841	2.13	15,335
F	437	9	6,979	0.37	276	0.45	334	0.66	496	0.89	667	1.10	820	1.12	839	0.97	6,988
G	1,662	35	26,542	1.41	1,052	1.70	1,269	2.52	1,885	3.39	2,538	4.17	3,118	4.27	3,191	3.68	26,577
H	345	7	5,510	0.29	218	0.35	263	0.52	391	0.70	527	0.87	647	0.89	662	0.76	5,517
J	218	5	3,481	0.18	138	0.22	166	0.33	247	0.45	333	0.55	409	0.56	419	0.48	3,486
K	2,029	43	32,402	1.72	1,284	2.07	1,549	3.08	2,302	4.14	3,099	5.09	3,807	5.21	3,895	4.50	32,446
L	1,947	42	31,093	1.65	1,232	1.99	1,487	2.95	2,209	3.98	2,973	4.88	3,653	5.00	3,738	4.32	31,135
M	714	15	11,402	0.60	452	0.73	545	1.08	810	1.46	1,090	1.79	1,340	1.83	1,371	1.58	11,418
N	2,251	48	35,948	1.90	1,424	2.30	1,719	3.41	2,554	4.60	3,438	5.65	4,223	5.78	4,322	4.99	35,996
P	461	10	7,362	0.39	292	0.47	352	0.70	523	0.94	704	1.16	865	1.18	885	1.02	7,372
Q	1,413	30	22,565	1.20	894	1.44	1,079	2.14	1,603	2.88	2,158	3.54	2,651	3.63	2,713	3.13	22,595
R	471	10	7,522	0.40	298	0.48	360	0.71	534	0.96	719	1.18	884	1.21	904	1.04	7,532
S	1,623	35	25,919	1.37	1,027	1.66	1,239	2.46	1,841	3.31	2,479	4.07	3,045	4.17	3,116	3.60	25,953
T	1,876	40	29,959	1.59	1,187	1.92	1,432	2.85	2,128	3.83	2,865	4.71	3,520	4.82	3,602	4.16	29,999
U	688	15	10,987	0.58	435	0.70	525	1.04	781	1.40	1,051	1.73	1,291	1.77	1,321	1.53	11,002
V	1,501	32	23,970	1.27	950	1.53	1,146	2.28	1,703	3.06	2,292	3.76	2,816	3.85	2,882	3.33	24,003
W	230	5	3,673	0.19	146	0.23	176	0.35	261	0.47	351	0.58	432	0.59	442	0.51	3,678
X	304	6	4,855														

ESTIMATED TOTAL WATER USE (ETWU) (based upon a plant factor of .3 or 30% of ETo)

Given:

Santa Cruz water budget formula: (0.7)(Eto)(.00083)(LA) = CCF

ET adjustment factor Eto CONVERSION FACTOR LA CCF Gallons
Basis for lot water use, 1 acre: 0.3 36.6 0.00083 43,560 = 399 298,131

Eto (inches) =				Jan 1.5	Feb 1.8		March 2.6		April 3.5		May 4.3		June 4.4		July 4.8		August 4.4		Sept 3.8		Oct 2.8		Nov 1.7		Dec 1.2		Year 36.6		
Lot	Square Feet	CCF/yr	Gallons/yr	CCF/mo.	Gallons/mo	CCF/mo.	Gallons/mo	CCF/mo.	Gallons/mo	CCF/mo.	Gallons/mo	CCF/mo.	Gallons/mo	CCF/mo.	Gallons/mo	CCF/mo.	Gallons/mo	CCF/mo.	Gallons/mo	CCF/mo.	Gallons/mo	CCF/mo.	Gallons/mo	CCF/mo.	Gallons/mo	CCF/yr	Gallons/yr		
1	3,439	31	23,537	1.25	932	1.50	1,125	2.24	1,672	3.01	2,251	3.70	2,765	3.78	2,830	4.13	3,087	3.78	2,830	3.27	2,444	2.41	1,801	1.42	1,061	0.99	740	31.47	23,568
2	2,136	20	14,619	0.77	579	0.93	699	1.39	1,039	1.87	1,398	2.30	1,718	2.35	1,757	2.56	1,917	2.35	1,757	2.03	1,518	1.50	1,118	0.88	659	0.61	459	19.54	14,639
3	1,151	11	7,878	0.42	312	0.50	377	0.75	560	1.01	753	1.24	926	1.27	947	1.38	1,033	1.27	947	1.09	818	0.81	603	0.47	355	0.33	248	10.53	7,888
4	508	5	3,477	0.18	138	0.22	166	0.33	247	0.44	332	0.55	408	0.56	418	0.61	456	0.56	418	0.48	361	0.36	266	0.21	157	0.15	109	4.65	3,481
5	2,296	21	15,714	0.83	623	1.00	751	1.49	1,116	2.01	1,503	2.47	1,846	2.53	1,889	2.76	2,061	2.53	1,889	2.18	1,632	1.61	1,202	0.95	708	0.66	494	21.01	15,735
6	1,292	12	8,843	0.47	350	0.57	423	0.84	628	1.13	846	1.39	1,039	1.42	1,063	1.55	1,160	1.42	1,063	1.23	918	0.90	676	0.53	399	0.37	278	11.82	8,854
7	2,278	21	15,591	0.83	618	1.00	745	1.48	1,108	1.99	1,491	2.45	1,832	2.51	1,874	2.73	2,045	2.51	1,874	2.16	1,619	1.59	1,193	0.94	703	0.65	490	20.84	15,612
8	1,063	10	7,275	0.39	288	0.47	348	0.69	517	0.93	696	1.14	855	1.17	875	1.28	954	1.17	875	1.01	755	0.74	557	0.44	328	0.31	229	9.73	7,285
9	2,008	18	13,743	0.73	544	0.88	657	1.31	976	1.76	1,314	2.16	1,615	2.21	1,652	2.41	1,802	2.21	1,652	1.91	1,427	1.41	1,051	0.83	620	0.58	432	18.37	13,761
10	967	9	6,618	0.35	262	0.42	316	0.63	470	0.85	633	1.04	778	1.06	796	1.16	868	1.06	796	0.92	687	0.68	506	0.40	298	0.28	208	8.85	6,627
11	1,505	14	10,300	0.55	408	0.66	493	0.98	732	1.32	985	1.62	1,210	1.66	1,238	1.81	1,351	1.66	1,238	1.43	1,069	1.05	788	0.62	464	0.43	324	13.77	10,314
12	802	7	5,489	0.29	217	0.35	262	0.52	390	0.70	525	0.86	645	0.88	660	0.96	720	0.88	660	0.76	570	0.56	420	0.33	247	0.23	172	7.34	5,496
13	1,803	16	12,340	0.65	489	0.79	590	1.17	877	1.58	1,180	1.94	1,450	1.98	1,483	2.16	1,618	1.98	1,483	1.71	1,281	1.26	944	0.74	556	0.52	388	16.50	12,356
14	776	7	5,311	0.28	210	0.34	254	0.50	377	0.68	508	0.83	624	0.85	638	0.93	697	0.85	638	0.74	551	0.54	406	0.32	239	0.22	167	7.10	5,318
15	2,225	20	15,228	0.81	603	0.97	728	1.45	1,082	1.95	1,456	2.39	1,789	2.45	1,831	2.67	1,997	2.45	1,831	2.11	1,581	1.56	1,165	0.92	687	0.64	478	20.36	15,249
16	945	9	6,468	0.34	256	0.41	309	0.61	459	0.83	618	1.02	760	1.04	778	1.13	848	1.04	778	0.90	672	0.66	495	0.39	292	0.27	203	8.65	6,476
17	1,836	17	12,566	0.67	498	0.80	601	1.19	893	1.61	1,202	1.97	1,476	2.02	1,511	2.20	1,648	2.02	1,511	1.74	1,305	1.29	961	0.76	566	0.53	395	16.80	12,583
18	1,726	16	11,813	0.63	468	0.76	565	1.12	839	1.51	1,130	1.86	1,388	1.90	1,420	2.07	1,549	1.90	1,420	1.64	1,226	1.21	904	0.71	533	0.50	371	15.79	11,829
19	75	1	513	0.03	20	0.03	25	0.05	36	0.07	49	0.08	60	0.08	62	0.09	67	0.08	62	0.07	53	0.05	39	0.03	23	0.02	16	0.69	514
20	182	2	1,246	0.07	49	0.08	60	0.12	88	0.16	119	0.20	146	0.20	150	0.22	163	0.20	150	0.17	129	0.13	95	0.08	56	0.05	39	1.67	1,247
21	13,181	121	90,213	4.78	3,574	5.77	4,313	8.57	6,409	11.53	8,627	14.17	10,599	14.50	10,845	15.82	11,831	14.50	10,845	12.52	9,366	9.23	6,902	5.44	4,067	3.79	2,835	120.61	90,333
22	357	3	2,443	0.13	97	0.16	117	0.23	174	0.31	234	0.38	287	0.39	294	0.43	320	0.39	294	0.34	254	0.25	187	0.15	110	0.10	77	3.27	2,447
23	357	3	2,443	0.13	97	0.16	117	0.23	174	0.31	234	0.38	287	0.39	294	0.43	320	0.39	294	0.34	254	0.25	187	0.15	110	0.10	77	3.27	2,447
24	357	3	2,443	0.13	97	0.16	117	0.23	174	0.31	234	0.38	287	0.39	294	0.43	320	0.39	294	0.34	254	0.25	187	0.15	110	0.10	77	3.27	2,447
25	379	3	2,594	0.14	103	0.17	124	0.25	184	0.33	248	0.41	305	0.42	312	0.45	340	0.42	312	0.36	269	0.27	198	0.16	117	0.11	82	3.47	2,597
26	0	0	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0
27	0	0	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0	0.00	0
28	649	6	4,442	0.24	176	0.28	212	0.42	316	0.57	425	0.70	522	0.71	534	0.78	583	0.71	534	0.62	461	0.45	340	0.27	200	0.19	140	5.94	4,448
29	130	1	890	0.05	35	0.06	43	0.08	63	0.11	85	0.14	105	0.14	107	0.16	117	0.14	107	0.12	92	0.09	68	0.05	40	0.04	28	1.19	891
30	130	1	890	0.05	35	0.06	43	0.08	63	0.11	85	0.14	105	0.14	107	0.16	117												

EXHIBIT J: PLANT PALETTE

DELAWARE ADDITION DESIGN GUIDELINES

SANTA CRUZ, CALIFORNIA

EXHIBIT J: PLANT PALETTE

BOTANICAL NAME	COMMON NAME	REMARKS
LARGE SCALE TREES		
<i>ABIES BRACTEATA</i>	SANTA LUCIA FIR	*
<i>ABIES PINSAPO</i>	SPANISH FIR	
<i>ARAUCARIA COLUMNARIS</i>	NEW CALADONIAN PINE	
<i>ARBUTUS MENZIESII</i>	MADRONE	*
<i>CASUARINA CUNNINGHAMIANA</i>	RIVER SHE-OAK	
<i>CEDRUS ATLANTICA 'GLAUCA'</i>	BLUE ATLAS CEDAR	
<i>CEDRUS DEODARA</i>	DEODOR CEDAR	
<i>CUPRESSUS FORBESII</i>	TECATE CYPRESS	* WOULD BENEFIT FROM PRO-ACTIVE STRUCTURAL PRUNING
<i>FAGUS SYLVATICA 'DAWYCK PURPLE'</i>	PURPLE BEECH	
<i>FRAXINUS DIPETALA</i>	FLOWERING ASH	* REQUIRES PRE-TAGGING
<i>FRAXINUS LATIFOLIA</i>	OREGON ASH	*
<i>GEIJERA PARVIFLORA</i>	AUSTRALIAN WILLOW	
<i>GINKGO BILOBA</i>	MAIDENHAIR TREE	
<i>LAURUS NOBILIS 'SARATOGA'</i>	SWEET BAY	
<i>LYONOTHAMNUS FLORIBUNDUS</i>	CATALINA IRONWOOD	* MAY BE USED AS REPLACEMENT FOR REDWOODS
<i>MELALEUCA QUINQUENERVIA</i>	PAPERBARK TREE	
<i>METASEQUOIA GLYPTOSTROBOIDES</i>	DAWN REDWOOD	
<i>PICEA PUNGENS 'GLAUCA'</i>	BLUE SPRUCE	
<i>PINUS BRUTIA</i>	CALABRIAN PINE	
<i>PINUS CANARIENSIS</i>	CANARY ISLAND PINE	
<i>PINUS PINEA</i>	ITALIAN STONE PINE	REQUIRES ADEQUATE ROOM AND EARLY TRAINING FOR GOOD STRUCTURAL DEVELOPMENT
<i>PINUS TORREYANA</i>	TORREY PINE	* PLANT WITH OTHER TREES, BUT PROVIDE ROOM FOR GROWTH WITH INTENTION OF THINNING OTHER TREES AS PINE DEVELOPS
<i>PLATANUS ACERIFOLIA 'COLUMBIA'</i>	LONDON PLANE TREE	
<i>PLATANUS ACERIFOLIA 'YARWOOD'</i>	LONDON PLANE TREE	
<i>PLATANUS RACEMOSA</i>	WESTERN SYCAMORE	*
<i>PRUNUS ILICIFOLIA VAR. INTEGRIFOLIA</i>	HOLLYLEAF CHERRY	*
<i>QUERCUS AGRIFOLIA</i>	COAST LIVE OAK	*
<i>QUERCUS ILEX</i>	HOLLY OAK	SUBJECT TO APHIDS
<i>QUERCUS LOBATA</i>	VALLEY OAK	*
<i>QUERCUS RUBRA</i>	RED OAK	
<i>QUERCUS SUBER</i>	CORK OAK	
<i>QUERCUS VIRGINIANA</i>	SOUTHERN LIVE OAK	
<i>SCHINUS MOLLE</i>	CALIFORNIA PEPPER TREE	*
<i>TAXUS BREVIFOLIA</i>	WESTERN YEW	*
<i>TILIA CORDATA</i>	LITTLE-LEAF LINDEN	

TRISTANIA CONFERTA	BRISBANE BOX	KNOWN AS LOPHOSTEMON CONFERTUS
TRISTANIOPSIS LAURINA 'ELEGANT'	WATER GUM	
SMALL TO MEDIUM SCALE TREES		
ACER CIRCINATUM	VINE MAPLE	*
ACER MACROPHYLLUM	BIG LEAF MAPLE	
ACER PALMATUM	JAPANESE MAPLE	MOUND PLANTING, MOIST WELL-DRAINED SOIL, EASTERN EXPOSURE
ARBUTUS 'MARINA'	NCN	
CERCIS CANADENSIS	EASTERN REDBUD	MAY REQUIRE MORE WATER THAN WESTERN REDBUD
CERCIS OCCIDENTALIS	WESTERN REDBUD	*
x CHITALPA TASHKENTENSIS	NCN	*
CORNUS NUTTALLII	PACIFIC DOGWOOD	*MOUND PLANTING, MOIST WELL-DRAINED SOIL, EASTERN EXPOSURE
GARRYA ELLIPTICA	COAST SILK TASSEL	*
KOELREUTERIA PANICULATA	GOLDENRAIN TREE	
LAGERSTROEMIA SPECIES	CRAPE MYRTLE	
LEPTOSPERMUM LAEVIGATUM	AUSTRALIAN TEA TREE	
MALUS SPECIES	FLOWERING CRABAPPLE	SUSCEPTIBLE TO APHIDS, AVOID PLANTING IN PARKING LOT, SENSITIVE TO REFLECTIVE HEAT
MELALEUCA ARMILLARIS	DROOPING MELALEUCA	
METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	
MYOPORUM LAETUM	MYOPORUM	VERY HARDY, SUSCEPTIBLE TO RECENT THRIPS OUTBREAK (KLAMBOTHRIPS MYOPORI) CAUSING LEAF DISTORTION
OLEA EUROPAEA	OLIVE	
PISTACIA CHINENSIS	CHINESE PISTACHE	
PODOCARPUS GRACILIOR	FERN PINE	
PRUNUS CERASIFERA 'KRAUTER VESUVIUS'	PURPLE LEAF PLUM	
PRUNUS ILICIFOLIA LYONII	CATALINA CHERRY	
PRUNUS SERRULATA	FLOWERING CHERRY	
PRUNUS X YEDOENSIS 'AKEBONO'	YOSHINO FLOWERING CHERRY	
PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT PEAR	CHANTICLEER' IS MORE COLUMNAR IN FORM
SHRUBS/PERENNIALS		
ALOE STRIATA	CORAL ALOE	
ALOE STRIATULA	NCN	
ANEMONE JAPONICA	JAPANESE ANEMONE	
ANIGOZANTHOS HYBRIDS	KANGAROO PAW	
ARCTOSTAPHYLOS 'DR. HURD'	DR. HURD MANZANITA	*
ARCTOSTAPHYLOS HOOKERI	MONTEREY MANZANITA	*
ARCTOSTAPHYLOS HOOVERI	HOOVER'S MANZANITA	*

ARCTOSTAPHYLOS MANZANITA	COMMON MANZANITA	*
ARCTOSTAPHYLOS PAJAROENSIS	PAJARO MANZANITA	
ARCTOSTAPHYLOS 'SUNSET'	SUNSET MANZANITA	
ARCTOSTAPHYLOS 'WINTERGLOW'	WINTERGLOW MANZANITA	*
ARTEMISIA CALIFORNICA	CALIFORNIA SAGEBRUSH	*
ASTELIA NERVOSA	SILVER SPEAR	
ATHYRIUM FILIX-FEMINA	LADY FERN	*
BACCHARIS PILULARIS	DWARF COYOTE BRUSH	*
BERBERIS AQUIFOLIUM	OREGON GRAPE	* ALSO KNOWN AS MAHONIA
BERBERIS NERVOSA	LONGLEAF BARBERRY	* ALSO KNOWN AS MAHONIA
BERBERIS NEVINII	NEVIN BARBERRY	* ALSO KNOWN AS MAHONIA
CALYCANTHUS OCCIDENTALIS	SPICEBUSH	*
CARPENTERIA CALIFORNICA	BUSH ANEMONE	*
CEANOTHUS SPECIES	WILD LILAC	*
CERCOPARPUS SPECIES	MOUNTAIN MAHOGANY	*
COTINUS COGGYGRIA	SMOKE BUSH	
COTONEASTER SPECIES	COTONEASTER	
DAPHNE ODORA	WINTER DAPHNE	
DENDROMECON SPECIES	BUSH POPPY	*
ECHIUM CANDICANS	PRIDE OF MADEIRA	
ELAEAGNUS PUNGENS	SILVERBERRY	
FEIJOA SELLOWIANA	PINEAPPLE GUAVA	
FREMONTODENDRON CALIFORNICUM	FLANNEL BUSH	*
FREMONTODENDRON 'DARA'S GOLD'	FLANNEL BUSH	*
FREMONTODENDRON 'KEN TAYLOR'	FLANNEL BUSH	*
FREMONTODENDRON 'PACIFIC SUNSET'	FLANNEL BUSH	*
GREWIA OCCIDENTALIS	LAVENDER STARFLOWER	
HESPERALOE PARVIFLORA	RED YUCCA	
HETEROMELES ARBUTIFOLIA	TOYON	*
HEUCHERA MAXIMA	ISLAND ALUM ROOT	*
HEUCHERA MICRANTHA 'PALACE PURPLE '	CORAL BELLS	*
HEUCHERA SANGUINEA	CORAL BELLS	*
KNIPHOFIA UVARIA	RED-HOT POKER	
LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	
LEONOTIS LEONURUS	LION'S TAIL	
LEPTOSPERMUM SPECIES	TEA TREE	
LONICERA INVOLUCRATA	TWINBERRY	*
MAHONIA REPENS	CREeping MAHONIA	* ALSO KNOWN AS BERBERIS
MELALEUCA SPECIES	MELALEUCA	
MIMULUS AURANTIACUS	STICKY MONKEY FLOWER	*
MONARDELLA SPP.	COYOTE MINT	*
MYRICA CALIFORNICA	CALIFORNIA WAX MYRTLE	*
PENSTEMON SPECIES	BEARD TONGUE	*
PHILADELPHUS LEWISII	WILD MOCK ORANGE	*
PHLOMIS FRUTICOSA	JERUSALEM SAGE	

<i>PHORMIUM TENAX</i>	NEW ZEALAND FLAX	
<i>PITTOSPORUM TENUIFOLIUM</i> , 'MARJORIE' CHANNON'	VARIEGATED PITTOSPORUM	
<i>PRUNUS ILICIFOLIA</i>	HOLLY LEAF CHERRY	*
<i>PRUNUS CAROLINIANA</i>	CAROLINA LAUREL CHERRY	
<i>PUNICA GRANATUM</i> 'NANA'	DWARF POMEGRANATE	
<i>RHAMNUS ALATERNUS</i>	ITALIAN BUCKTHORN	
<i>RHAMNUS CALIFORNICA</i> 'EVE CASE'	COFFEEBERRY	*
<i>RHUS INTEGRIFOLIA</i>	LEMONADE BERRY	*
<i>RHUS OVATA</i>	SUGAR BUSH	*
<i>RIBES AUREUM</i>	GOLDEN CURRANT	*
<i>RIBES MALVACEUM</i>	CHAPARRAL CURRANT	*
<i>RIBES SANGUINEUM</i>	FLOWERING CURRANT	*
<i>RIBES VIBURNIFOLIUM</i>	EVERGREEN CURRANT	*
<i>ROSA BANKSIAE</i>	LADY BANKS' ROSE	
<i>ROSA CALIFORNICA</i>	CALIFORNIA ROSE	*
<i>ROSA CHINENSIS</i> 'MUTABILIS'	CHINA ROSE	
<i>ROSA RUGOSA</i>	WILD ROSE	
<i>ROSMARINUS OFFICINALIS</i> 'TUSCAN BLUE'	ROSEMARY	
<i>ROSMARINUS OFFICINALIS</i> 'SPICE ISLANDS'	ROSEMARY	
<i>SALVIA APIANA</i>	WHITE SAGE	*
<i>SALVIA BRANDEGEEI</i>	BRANDEGEE SAGE	*
<i>SALVIA CLEVELANDII</i>	CLEVELAND SAGE	*
<i>SALVIA LEUCANTHA</i>	MEXICAN BUSH SAGE	*
<i>SALVIA LEUCOPHYLLA</i>	PURPLE SAGE	*
<i>SALVIA MELLIFERA</i>	BLACK SAGE	*
<i>SALVIA MUNZII</i>	MUNZ'S SAGE	*
<i>SALVIA SONOMENSIS</i>	SONOMA SAGE	*
<i>SALVIA SPATHACEA</i>	HUMMINGBIRD SAGE	*
<i>SAMBUCUS MEXICANA</i>	BLUE ELDERBERRY	*
<i>SAMBUCUS RACEMOSA</i>	RED ELDERBERRY	*
<i>SPIRAEA JAPONICA</i>	SPIREA	
<i>STYRAX OFFICINALIS</i>	SNOWDROP BUSH	*
<i>SYMPHORICARPOS ALBUS</i>	COMMON SNOWBERRY	*
<i>SYMPHORICARPOS MOLLIS</i>	CREEPING SNOWBERRY	*
<i>TEUCRIUM FRUTICANS</i>	BUSH GERMANDER	
<i>UGNI MOLINAE</i>	CHILEAN GUAVA	
<i>VACCINIUM SPP</i>	HUCKLEBERRY	*
<i>WESTRINGIA FRUTICOSA</i>	COAST ROSEMARY	
<i>YUCCA SPP</i>	SPANISH DAGGER	*
<i>ZAUSCHNERIA CALIFORNICA</i>	CALIFORNIA FUSCHIA	*
GRASSES/SEDGES/RUSHES		
<i>CALAMAGROSTIS FOLIOSA</i>	LEAFY REED GRASS	*
<i>CALAMAGROSTIS NUTKAENSIS</i>	PACIFIC REED GRASS	*

CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	
CAREX PANSA	CALIFORNIA MEADOW SEDGE	*
CAREX DIVULSA	BERKELEY SEDGE	* FORMERLY C. TUMULICOLA
ELYMUS GLAUCUS	BLUE WILD RYE	*
FESTUCA CALIFORNICA	CALIFORNIA FESCUE	*
FESTUCA IDAHOENSIS	IDAHOE FESCUE	*
FESTUCA OVINA GLAUCA	SHEEP'S FESCUE	*
FESTUCA RUBRA	RED FESCUE	*
HELIOTRICHON SEMPERVIRENS	BLUE OAT-GRASS	
JUNCUS PATENS	CALIFORNIA GREY RUSH	*
MELICA IMPERFECTA	CALIFORNIA MELIC	*
MISCANTHUS SINENSIS	JAPANESE SILVER GRASS	
MUHLENBERGIA RIGENS	DEER GRASS	*
GROUND COVER		
ACHILLEA MILLEFOLIUM 'MOONSHINE'	YARROW	*
ARCTOSTAPHYLOS DENSIFLORA	VINEHILL MANZANITA	*
ARCTOSTAPHYLOS 'EMERALD CARPET'	MANZANITA	*
ARCTOSTAPHYLOS 'HAVENSNECK'	MANZANITA	*
ARCTOSTAPHYLOS 'HOWARD MCMINN'	MANZANITA	*
BERBERIS X STENOPHYLLA	ROSEMARY BARBERRY	
ASARUM CAUDATUM	WILD GINGER	*
CEANOTHUS GRISEUS HORIZONTALIS	CARMEL CREEPER	*
CISTUS SPECIES	ROCKROSE	
COPROSMA x KIRKII	CREEPING COPROSMA	
CORREA SPECIES	AUSTRALIAN FUCHSIA	
COTONEASTER HORIZONTALIS	COTONEASTER	
FRAGARIA CHILOENSIS	BEACH STRAWBERRY	
GALVEZIA SPECIOSA	ISLAND BUSH SNAPDRAGON	*
GREVILLEA LANIGERA 'COASTAL GEM'	WOOLY GREVILLEA	
IRIS DOUGLASIANA	PACIFIC COAST IRIS	*
LANTANA HYBRID 'SPREADING SUNSET'	TRAILING LANTANA	
LANTANA HYBRID 'SPREADING SUNSHINE'	TRAILING LANTANA	
LANTANA MONTEVIDENSIS 'WHITE LIGHTNIN'	TRAILING LANTANA	
NEPETA RACEMOSA 'WALKER'S LOW'	CATMINT	
MAHONIA REPENS	CREEPING MAHONIA	*
POLYSTICHUM MUNITUM	WESTERN SWORD FERN	*
RHAMNUS CALIFORNICA 'SEA VIEW'	COFFEEBERRY	* CAN BE SHEARED TO KEEP UNDER 18"
ROSMARINUS SPECIES	ROSEMARY	
SALVIA 'BEE'S BLISS'	BEE'S BLISS SAGE	*
SALVIA LEUCOPHYLLA	PURPLE SAGE	*
SALVIA SONOMENSIS	SONOMA SAGE	*
SALVIA SPATHACEA	HUMMINGBIRD SAGE	*
SYMPHORICARPOS MOLLIS	SPREADING SNOWBERRY	*
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	

VINES		
CLEMATIS ARMANDII	EVERGREEN CLEMATIS	
CLEMATIS LASIANTHA	VIRGIN'S BOWER	*
CLYTOSTOMA CALLISTEGIOIDES	VIOLET TRUMPET VINE	
LONICERA HISPIDULA	CALIFORNIA HONEYSUCKLE	*
LONICERA JAPONICA	JAPANESE HONEYSUCKLE	
MANDEVILLA HYBRIDS	MANDEVILLA	
ROSA SPECIES	ROSE	
SOLANUM CRISPUM	POTATO VINE	
TECOMA CAPENSIS	CAPE HONEYSUCKLE	
VITIS CALIFORNICA 'ROGER'S RED'	CALIFORNIA WILD GRAPE	*
WISTERIA SPECIES	WISTERIA	
ACCENT WALL PLANTING		
ACER CIRCINATUM	VINE MAPLE	*
ANIGOZANTHOS HYBRIDS	KANGAROO PAW	
ASTELIA NERVOSA	SILVER SPEAR	
GREWIA OCCIDENTALIS	LAVENDER STARFLOWER	
IRIS DOUGLASIANA	PACIFIC COAST IRIS	*
LEONOTIS LEONURUS	LION'S TAIL	
MISCANTHUS SINENSIS	JAPANESE SILVER GRASS	
PHORMIUM TENAX	NEW ZEALAND FLAX	
WISTERIA SPECIES	WISTERIA	
EROSION CONTROL		
ARCTOSTAPHYLOS 'EMERALD CARPET'	MANZANITA	*
ARCTOSTAPHYLOS BAKERI 'LOUIS EDMUNDS'	SERPENTINE MANZANITA	*
ARTEMESIA CALIFORNICA 'MONTARA'	CALIFORNIA SAGEBRUSH	*
BACCHARIS PILULARIS 'PIGEON POINT'	DWARF COYOTE BRUSH	*
BERBERIS 'STENOPHYLLA'	ROSEMARY BARBERRY	
CEANOTHUS GRISEUS 'HORIZONTALIS'	CARMEL CREEPER	*
CISTUS x PURPUREUS	ORCHID ROCKROSE	
LANTANA HYBRIDS	LANTANA	
RHUS OVATA	SUGAR BUSH	*
ROSA BANKSIAE	LADY BANKS' ROSE	
ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	CREEPING ROSEMARY	
SALVIA APIANA	WHITE SAGE	*
SALVIA CLEVELANDII	CLEVELAND SAGE	*
SALVIA LEUCOPHYLLA	PURPLE SAGE	*
SALVIA MELLIFERA	BLACK SAGE	*

<i>SALVIA SONOMENSIS</i>	SONOMA SAGE	*
<i>SYMPHORICARPOS MOLLIS</i>	SPREADING SNOWBERRY	*
<i>ZAUSCHNERIA CALIFORNICA</i> 'SUMMER SNOW'	CALIFORNIA FUSCHIA	*
OAK UNDERSTORY		
<i>ANEMONE JAPONICA</i>	JAPANESE ANEMONE	
<i>ARCTOSTAPHYLOS SPECIES</i>	MANZANITA	*
<i>CAREX PANSA</i>	CALIFORNIA MEADOW SEDGE	*
<i>CAREX DIVULSA</i>	BERKELEY SEDGE	*FORMERLY C.TUMULICOLA
<i>CARPENTERIA CALIFORNICA</i>	BUSH ANEMONE	*
<i>CEANOTHUS GRISEUS HORIZONTALIS</i> 'YANKEE POINT'	CARMEL CREEPER	*
<i>CEANOTHUS</i> 'JOYCE COULTER'	WILD LILAC	*
<i>FESTUCA CALIFORNICA</i>	CALIFORNIA FESCUE	*
<i>FESTUCA OVINA GLAUCA</i>	SHEEP'S FESCUE	
<i>GREVILLEA ROSMARINIFOLIA</i>	ROSEMARY GREVILLEA	
<i>HETEROMELES ARBUTIFOLIA</i>	TOYON	*
<i>HEUCHERA MAXIMA</i>	ISLAND ALUM ROOT	*
<i>HEUCHERA MICRANTHA</i>	CORAL BELLS	
<i>HYDRANGEA QUERCIFOLIA</i>	OAKLEAF HYDRANGEA	
<i>IRIS DOUGLASIANA</i>	PACIFIC COAST IRIS	*
<i>LEYMUS ARENARIUS</i> 'GLAUCAS'	LYME GRASS	*
<i>MONARDELLA VILLOSA</i>	COYOTE MINT	*
<i>PHILADELPHUS LEWISII</i>	WESTERN MOCK ORANGE	*
<i>PHYSOCARPUS CAPITATUS</i>	NINEBARK	*
<i>RHAMNUS CALIFORNICA</i>	COFFEEBERRY	*
<i>RHAMNUS CROCEA</i>	REDBERRY	*
<i>RIBES MALVACEUM</i>	CHAPARRAL CURRANT	*
<i>RIBES SANGUINEUM</i>	FLOWERING CURRANT	*
<i>RIBES SPECIOSUM</i>	FUSCHIA-FLOWERED GOOSEBERRY	*
<i>SALVIA SPATHACEA</i>	HUMMINGBIRD SAGE	*
<i>SATUREJA DOUGLASII</i>	YERBA BUENA	*
REDWOOD UNDERSTORY		
<i>ASARUM CAUDATUM</i>	WILD GINGER	*
<i>CAREX DIVULSA</i>	BERKELEY SEDGE	* FORMERLY C.TUMULICOLA
<i>CAREX PANSA</i>	CALIFORNIA MEADOW SEDGE	*
<i>CARPENTERIA CALIFORNICA</i>	BUSH ANEMONE	*
<i>CORYLUS CORNUTA CALIFORNICA</i>	WESTERN HAZELNUT	*
<i>ERIODICTYON ANGUSTIFOLIUM</i>	YERBA SANTA	*
<i>FRAGARIA CHILOENSIS</i>	BEACH STRAWBERRY	*
<i>GAULTHERIA SHALLON</i>	SALAL	*
<i>HEUCHERA MAXIMA</i>	ISLAND ALUM ROOT	*
<i>HEUCHERA MICRANTHA</i>	CORAL BELLS	*
<i>MYRICA CALIFORNICA</i>	PACIFIC WAX MYRTLE	*
<i>POLYSTICHUM MUNITUM</i>	WESTERN SWORD FERN	*

<i>RHAMNUS CALIFORNICA</i>	COFFEEBERRY	*
<i>RHODODENDRON OCCIDENTALE</i>	WESTERN AZALEA	*
<i>RIBES VIBURNIFOLIUM</i>	EVERGREEN CURRANT	*
<i>ROSA GYMNOCARPA</i>	WOOD ROSE	*
<i>RUBUS PENTALOBUS</i>	BRAMBLE	
<i>SAMBUCUS CANADENSIS</i>	AMERICAN ELDERBERRY	
<i>TRILLIUM CALIFORNICUM</i>	WAKE ROBIN	*
<i>VACCINIUM OVATUM</i>	EVERGREEN HUCKLEBERRY	

* INDICATES CALIFORNIA NATIVE PLANT SPECIES

EXHIBIT K: STREET FURNITURE GUIDE

DELAWARE ADDITION DESIGN GUIDELINES




SANTA CRUZ, CALIFORNIA

EXHIBIT K: STREET FURNITURE GUIDE

Included in this Guide are the following products that are approved for the exterior public spaces of the Delaware Addition:

- A. Benches
- B. Trash Receptacles
- C. Bicycle Parking
 - 1. Class 1
 - 2. Class 2
- D. Mailboxes
- E. Café Furniture
 - 1. Tables
 - 2. Chairs
 - 3. Umbrellas

<p>BENCHES: Landscape Forms, Santa & Cole Collection, www.landscapeforms.com</p>	<p>Neoromantico Bench, 69"</p> <ul style="list-style-type: none"> • 27" x 31" x 69" • Jarrah seat and back, supported by cast aluminum legs and end frames. Available surface mounted, embedded, or freestanding. 	
<p>TRASH RECEPTACLES: Landscape Forms, www.landscapeforms.com</p>	<p>Scarborough</p> <ul style="list-style-type: none"> • Top or side opening unit with 30-gallon capacity. • Top Opening: 25" diameter x 33" high. • Side Opening: 25" diameter x 40" high. • Metal side panels and spun metal top. • All metal is finished with Landscape Forms' proprietary Pangard II® polyester powdercoat, a hard yet flexible finish that resists rusting, chipping, peeling, and fading. • Optional keyed lock may be added for security. • Freestanding or surface mount option. 	

<p>BICYCLE PARKING (CLASS 1): Dero, www.dero.com</p>	<ul style="list-style-type: none"> • Single-sided or double-sided • 40"W x 48"L x 76"H • Steel with powdercoat finish, ventilating windows on doors allows for easy monitoring of locker's contents. • U-lock/padlock handle or keyed lock options • Levelling feet for uneven surfaces 	
<p>BICYCLE PARKING (CLASS 2): Landscape Forms, www.landscapeforms.com</p>	<p>35: Loop</p> <ul style="list-style-type: none"> • 14"D x 31"H x 36"L • Accommodates one or two bikes using a variety of common locks, including horseshoe style. • Cast aluminum finished with Landscape Forms' propriety Pangard II® polyester powdercoat, a hard yet flexible finish that resists rusting, chipping, peeling, and fading. • Recycled content of 97%, and is 100% recyclable. • Surface mount or embedded option. 	
<p>MAILBOXES: Salisbury Industries, (800) 624-5269, www.mailboxes.com</p>	<p>Model #3316, Cluster Box Unit (F Series)</p> <ul style="list-style-type: none"> • 30½"W x 62¾"H x 18"D • Includes pedestal: 14½" base, 12"W x 12"D. • Meets USPS "F" specifications. • Aluminum with a powdercoat finish in a variety of colors. • Heavy duty cam locks. 	

<p>CAFÉ TABLES & CHAIRS: Landscape Forms, www.landscapeforms.com</p>	<p>Catena Metal Tabletop</p> <ul style="list-style-type: none"> • Catena or Catena Stainless Steel. • Rolled edge detail with choice of diameters: 30", 36", or 42". • Freestanding or surface mount option • Catena base is cast iron. • When umbrella specified with 30" table, support must be surface mounted or embedded to safely anchor table. • When metal umbrella is specified, all tables must be surface mounted. • All metal is finished with Landscape Forms' propriety Pangard II® polyester powdercoat, a hard yet flexible finish that resists rusting, chipping, peeling, and fading. <p>Catena Chair</p> <ul style="list-style-type: none"> • 23"D x 21"W x 17½"H. • Seat is cast aluminum, spindles are stainless steel. • Chairs are stackable. • All metal is finished with Landscape Forms' propriety Pangard II® polyester powdercoat, a hard yet flexible finish that resists rusting, chipping, peeling, and fading. • Meet ANSI/BIFMA performance and safety standards. 	
<p>UMBRELLAS: Shadesapes USA (970) 527-7070 www.shadesapesamericas.com</p>	<p>Spectra Square, Umbrosa Collection</p> <ul style="list-style-type: none"> • 8'2" square canopy with 8'6" post. • Canopy material: Texsilk. • Color: Alba 602. • Includes storage bag. • Concrete mount with rotation spigot. 	

EXHIBIT L: LANDSCAPE MASTER PLAN

DELAWARE ADDITION DESIGN GUIDELINES

SANTA CRUZ, CALIFORNIA

TREE SYMBOL LEGEND

MASTER DEVELOPER FUTURE INSTALLATION

URBAN CORRIDOR STREET TREES:
GINKGO BILOBA 'AUTUMN GOLD'
MAIDENHAIR TREE
36" BOX
MALE SPECIMEN ONLY

LAURUS NOBILIS 'SARATOGA'
SWEET BAY
36" BOX

TILIA CORDATA
LITTLE-LEAF LINDEN
36" BOX

SANTA CRUZ BEACH COTTAGE STREET TREES:
LAGERSTROEMIA HYBRIDS 'NATCHEZ'
GRAPE MYRTLE
36" BOX

MASTER DEVELOPER FUTURE INSTALLATION

RIPARIAN CORRIDOR TREES:
QUERCUS AGRIFOLIA
COAST LIVE OAK
36" BOX

STORMWATER PLANTER TREE:
ACER CIRCINATUM
VINE MAPLE
36" BOX

PLAZA TREES:
PRUNUS X YEDOENSIS 'AKEBONO'
YOSHINO FLOWERING CHERRY
36" BOX

SHRUB PLANTING LEGEND

MASTER DEVELOPER FUTURE INSTALLATION

RIPARIAN CORRIDOR SHRUBS AND GRASSES:
SEE SHEET LI.02

URBAN CORRIDOR SHRUBS:
SEE SHEET LI.02

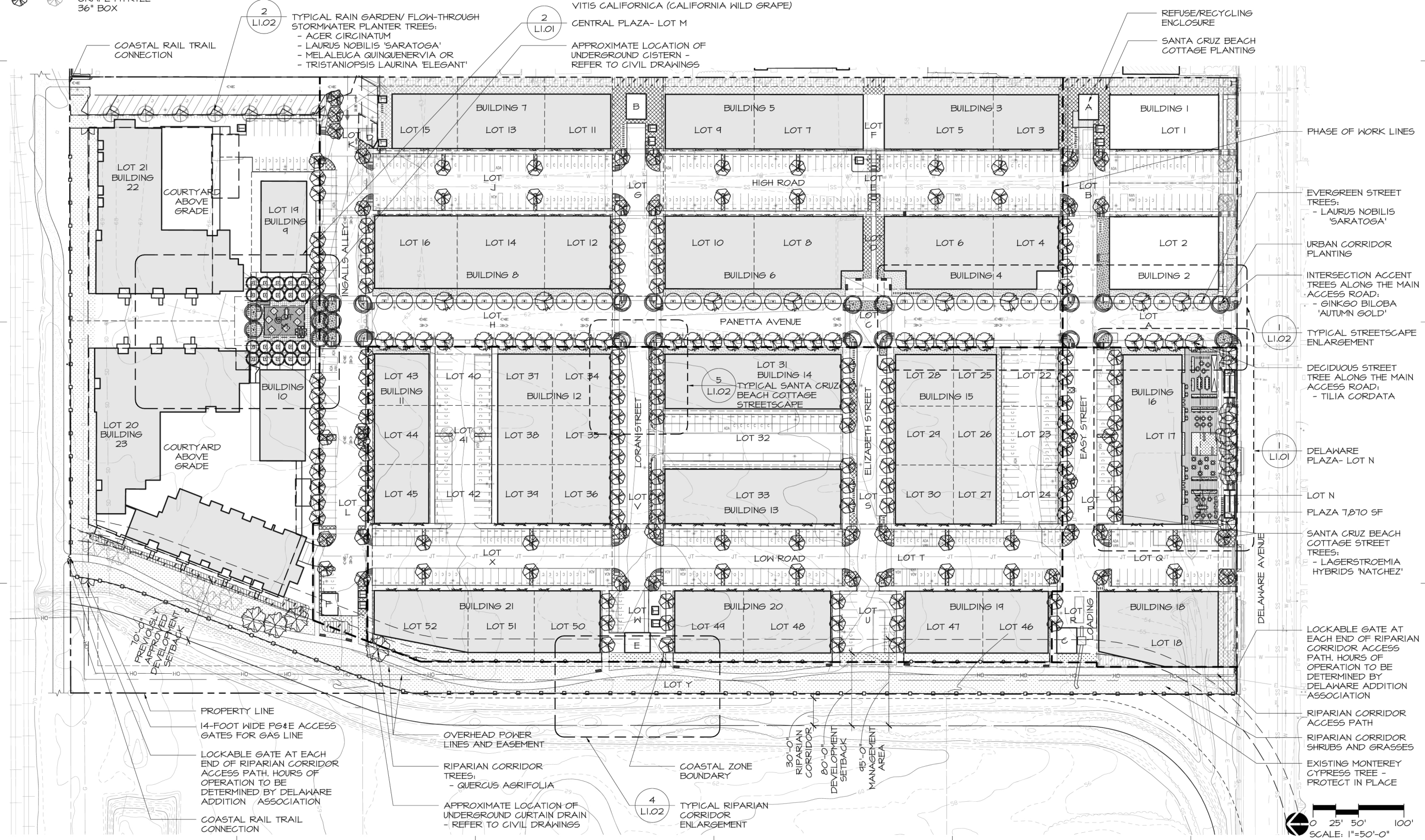
RAIN GARDEN/FLOW-THROUGH:
SEE SHEET LI.02

SANTA CRUZ BEACH COTTAGE PLANTING:
SEE SHEET LI.02

VINES:
ROSA BANKSIAE (LADY BANKS' ROSE)
VITIS CALIFORNICA (CALIFORNIA WILD GRAPE)

NOTES

- ALL SHRUBS TO BE 1 GALLON UNLESS OTHERWISE NOTED.
- 30% OF ALL TREES TO BE 24" BOX MINIMUM, 10% TO BE 15 GALLON MINIMUM.
- ALL AREAS DISTURBED BY GRADING TO BE SEEDED PER CIVIL DRAWINGS.
- RAIN GARDENS AND FLOW-THROUGH PLANTER SOIL MIX (MINIMUM 36-INCHES DEPTH OF SOIL MIX): 50% SAND, 30% COMPOST, 20% TOPSOIL (BY VOLUME).
- THE PROPOSED LANDSCAPE DESIGN SHALL BE IN CONFORMANCE WITH THE LANDSCAPE WATER CONSERVATION STANDARDS OF THE CITY OF SANTA CRUZ. LOW AND MODERATE WATER USE PLANTS, AS IDENTIFIED IN THE WUCOLS GUIDE, SHALL BE INCORPORATED. ALL SPECIES SHALL BE WELL ADAPTED TO THE CLIMATE AND REQUIRE MINIMAL WATER ONCE ESTABLISHED. DRIP IRRIGATION WILL BE USED PREDOMINANTLY. BUBBLER TYPE HEADS MAY BE USED FOR ISOLATED STREET TREE PLANTING. PLANTINGS IN THE RIPARIAN ZONE WILL INCORPORATE NATIVE PLANTS AS WELL AS SELECTED COMPATIBLE, NON-NATIVE TREES AND GRASSES.
- IRRIGATION WATER SOURCE TO BE NON-POTABLE.



ARCHITECTS

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California Landscape Architect License 3163

PROJECT

**DELAWARE ADDITION
MASTER PLAN**
2120 Delaware Avenue, Santa Cruz, CA 95060

No REVISION DATE

REVISION 09.01.2016

DATE: 01 MAY 2016
JOB No: 1405
PHASE: LAND USE APPLICATION
ISSUED FOR: -
PERMIT No: -
SCALE: 1"=50'-0"

SHEET TITLE

LANDSCAPE
MASTER
PLAN

SHEET No

EXHIBIT L

EXHIBIT M: PROPOSED LOCATIONS - STREET FURNITURE

DELAWARE ADDITION DESIGN GUIDELINES

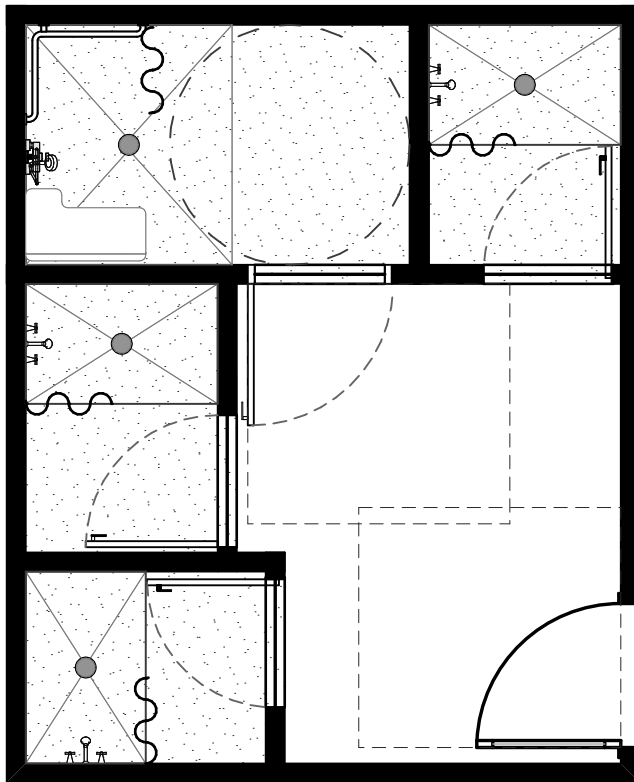
SANTA CRUZ, CALIFORNIA



EXHIBIT N: SHOWER FACILITY GUIDELINES

DELAWARE ADDITION DESIGN GUIDELINES

SANTA CRUZ, CALIFORNIA



SHOWER A

AREAS:

NET: 125 sq ft

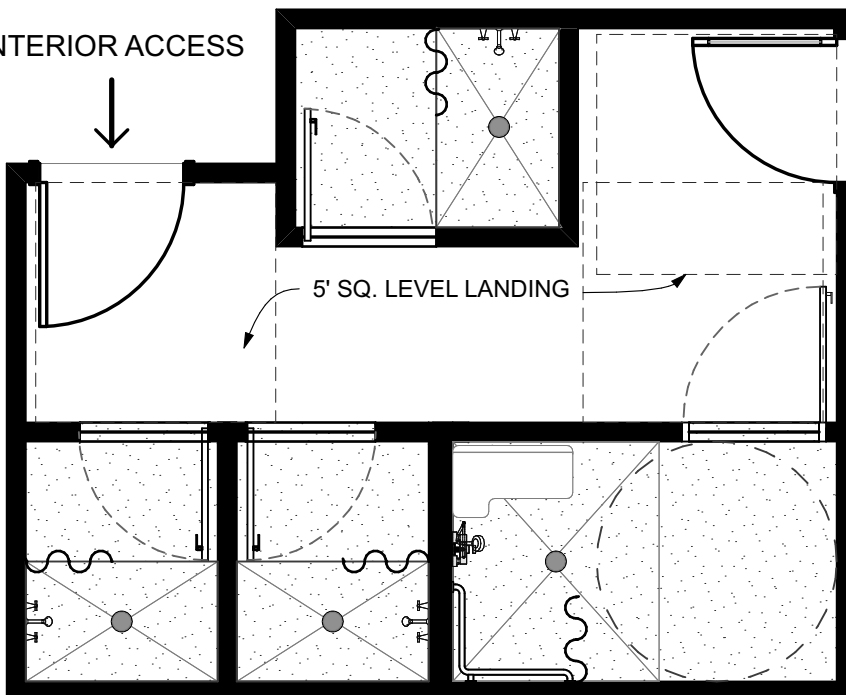
GROSS: 200 sq ft

ACCESSIBLE SHOWER: 40 sq ft

STANDARD SHOWER: 25 sq ft

← EXTERIOR ACCESS ONLY

INTERIOR ACCESS



← EXTERIOR ACCESS

SHOWER B

AREAS:

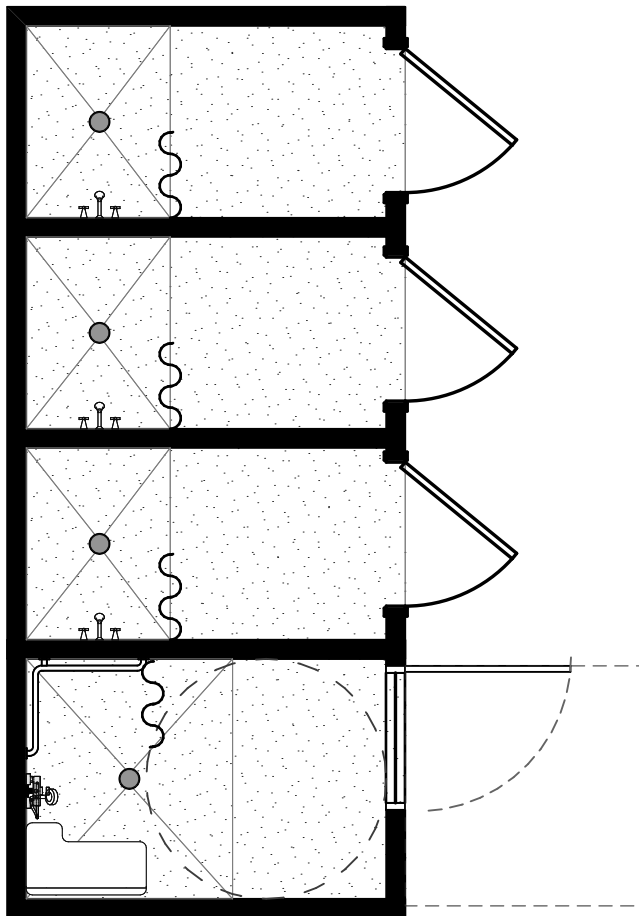
NET: 135 sq ft

GROSS: 235 sq ft

ACCESSIBLE SHOWER: 40 sq ft

STANDARD SHOWER: 25 sq ft

SHOWER PLANS
SCALE: 1/4" = 1'-0"



SHOWER C

AREAS:

NET: 127 sq ft

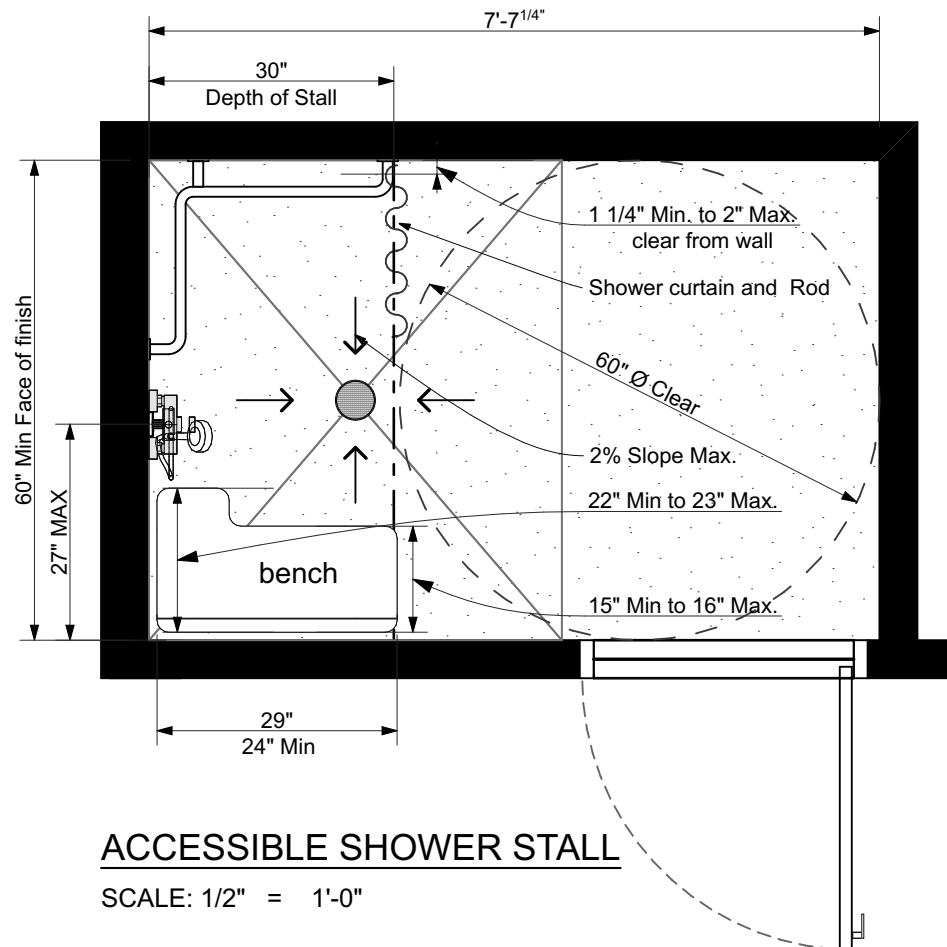
GROSS: 167 sq ft

ACCESSIBLE
SHOWER: 40 sq ft

STANDARD
SHOWER: 30 sq ft

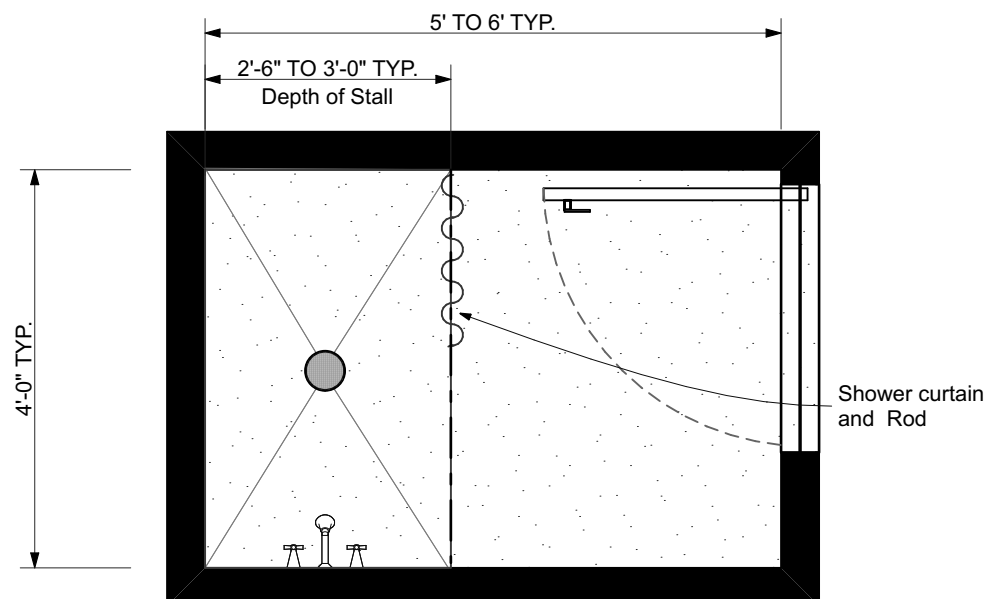
← EXTERIOR
ACCESS

SHOWER PLAN
SCALE: 1/4" = 1'-0"



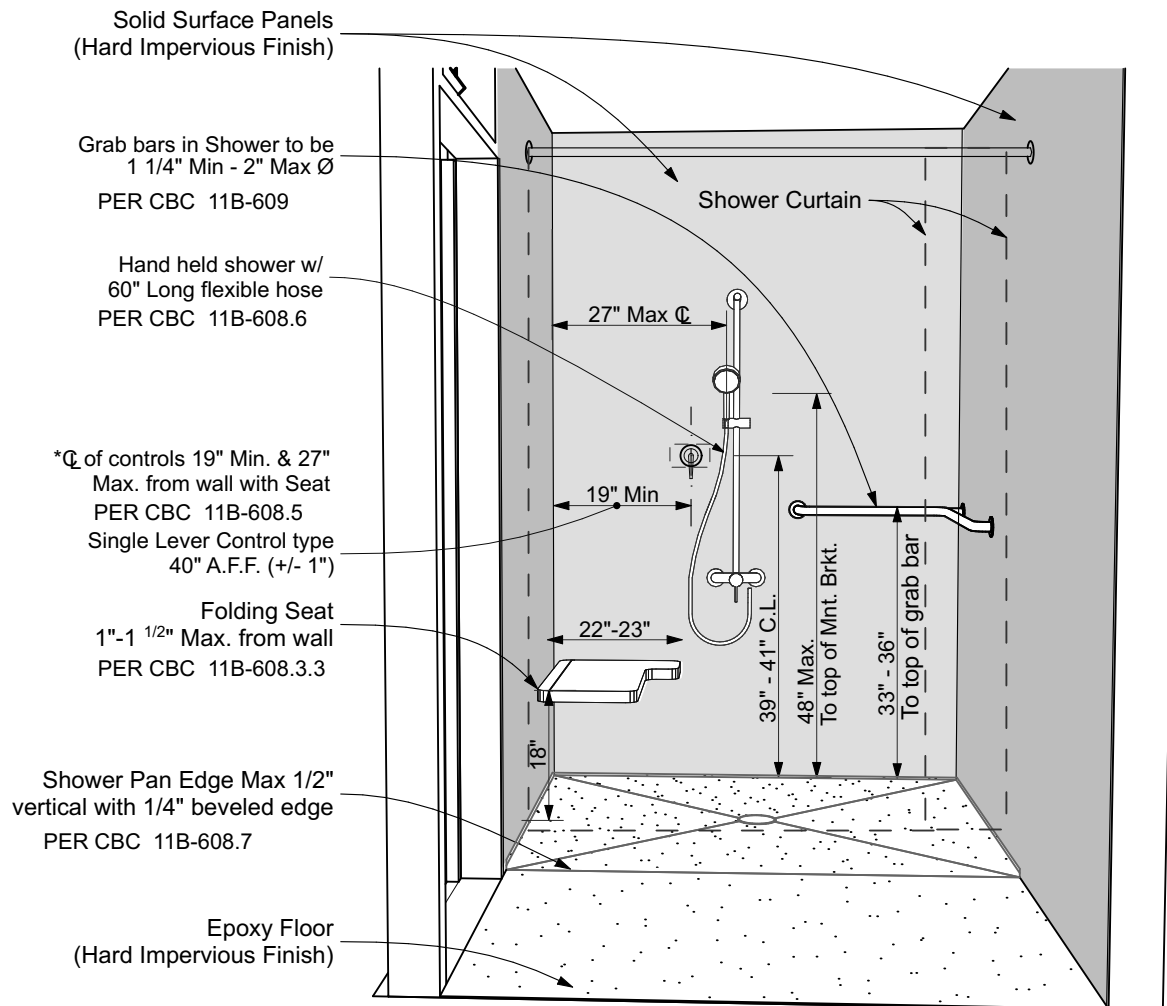
ACCESSIBLE SHOWER STALL

SCALE: 1/2" = 1'-0"



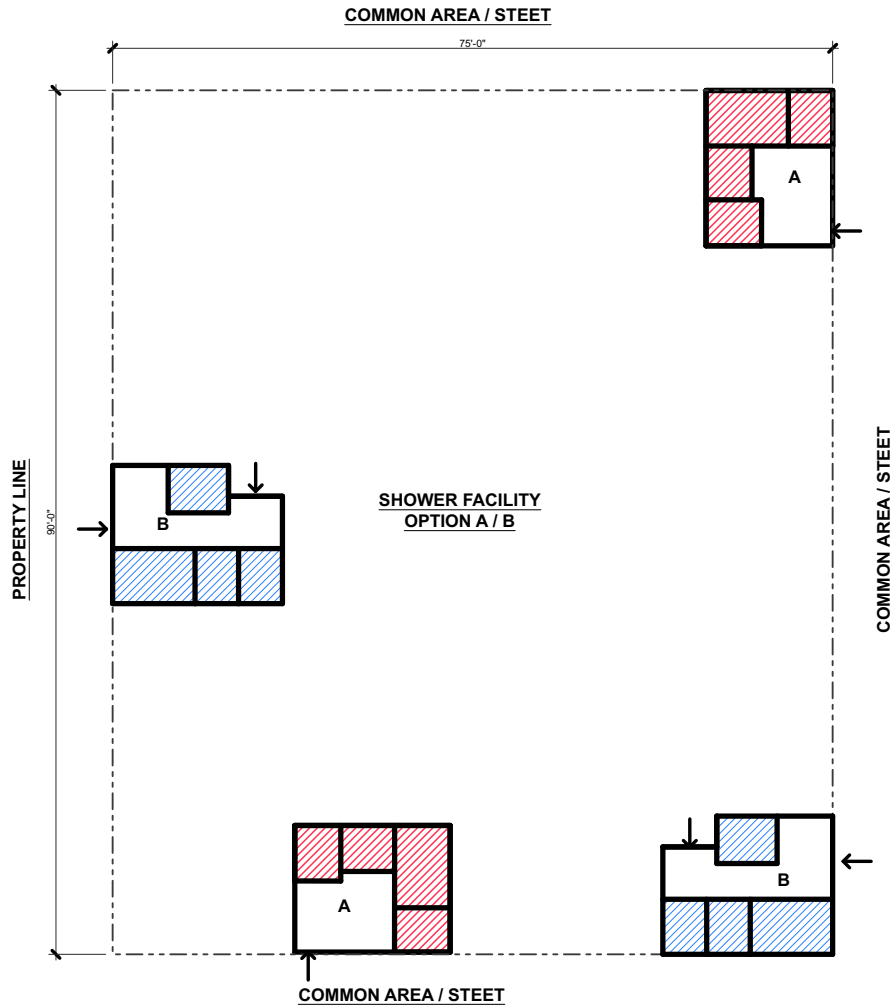
STANDARD SHOWER STALL

SCALE: 1/2" = 1'-0"



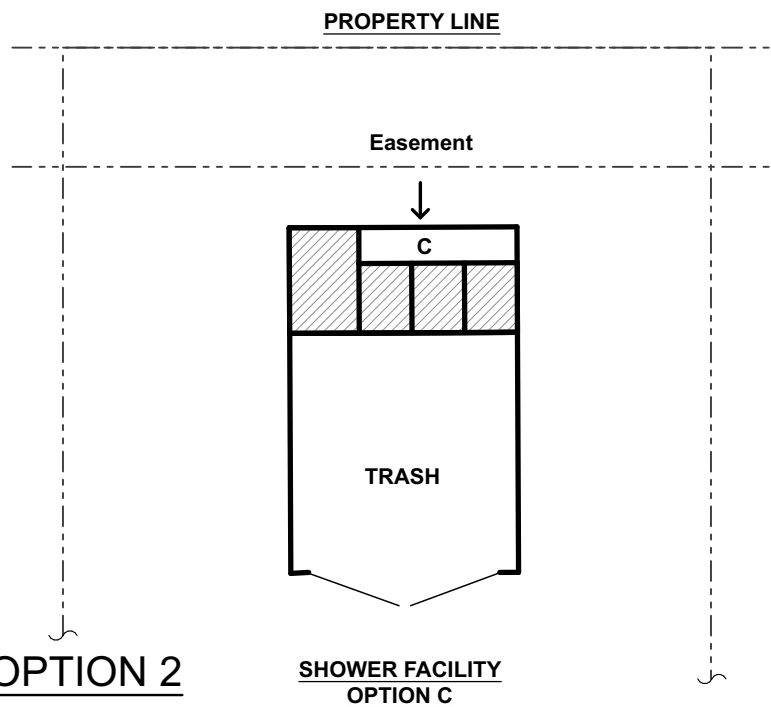
ACCESSIBLE STALL VERTICAL DIMENSIONS

TYPICAL LOT OPTIONS



TYPICAL LOT OPTIONS 1

SCALE: 1" = 20'



TYPICAL LOT OPTION 2

SCALE: 1/16" = 1'-0"

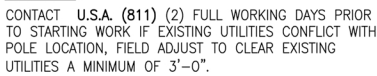
EXHIBIT O: SITE LIGHTING MASTER PLAN

DELAWARE ADDITION DESIGN GUIDELINES

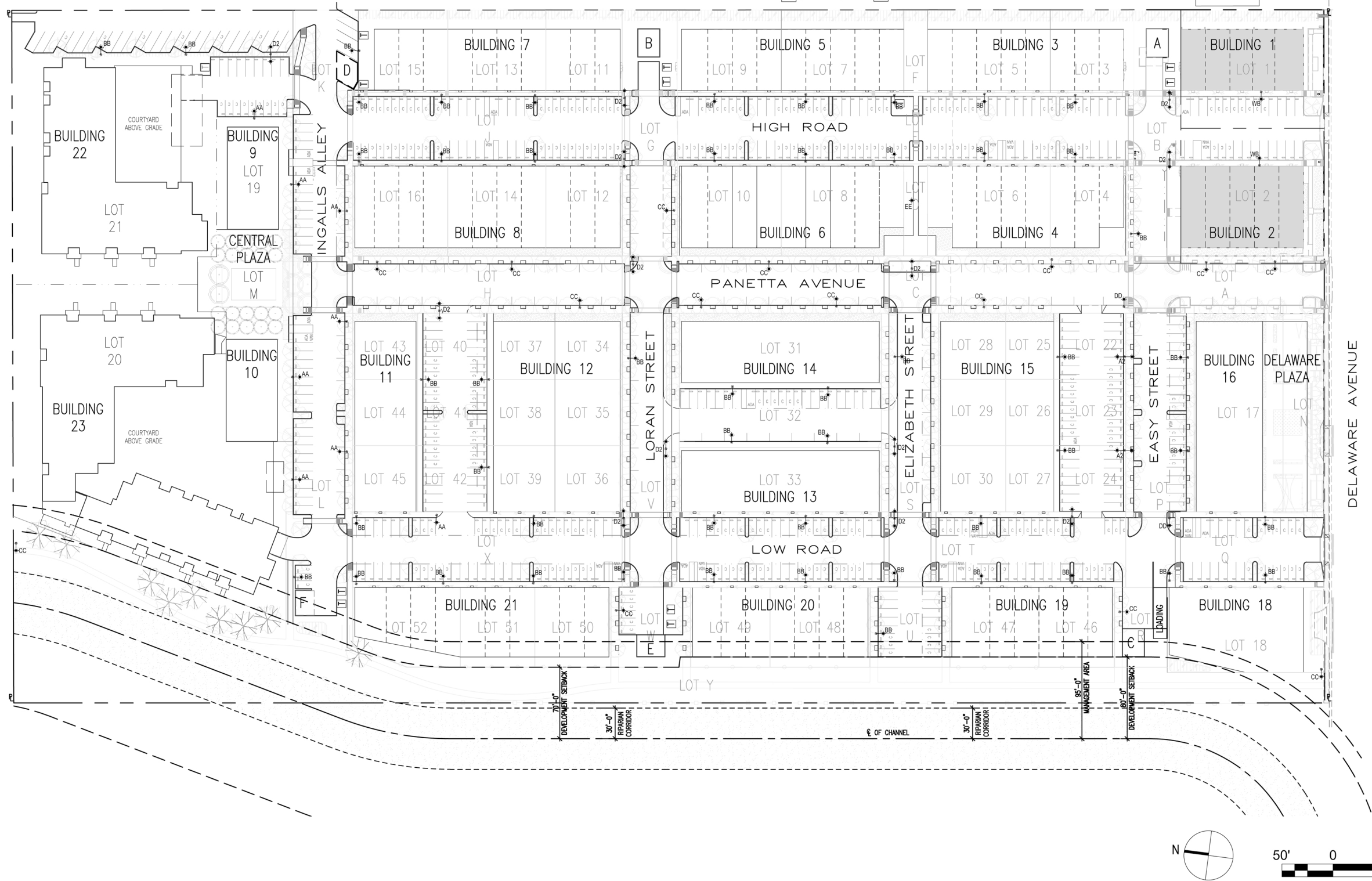
SANTA CRUZ, CALIFORNIA

EcoForm_ECF_LED 03/16 page 1 of 8

Luminaire Schedule LED											
Project: DELAWARE - SANTA CRUZ											
Symbol	Qty	Label	Arrangement	Lum. Watts	Lum. Lumens	LLF	LLD	LDD	BF	Description	Filename
	2	A2	BACK-BACK	51.6	6294	0.900	0.900	1.000	1.000	PHILIPS GARDCO ECF-2-2-55LA-3253-NW @ 16'	ECF-2-55LA-3253-NW.ies
	8	AA	SINGLE	51.6	6294	0.900	0.900	1.000	1.000	PHILIPS GARDCO ECF-1-2-55LA-3253-NW @ 16'	ECF-2-55LA-3253-NW.ies
	52	BB	SINGLE	51.6	6190	0.900	0.900	1.000	1.000	PHILIPS GARDCO ECF-1-3-55LA-3253-NW @ 16'	ECF-3-55LA-3253-NW.ies
	15	CC	SINGLE	51.6	6106	0.900	0.900	1.000	1.000	PHILIPS GARDCO ECF-1-4-55LA-3253-NW @ 16'	ECF-4-55LA-3253-NW.ies
	13	D2	BACK-BACK	51.6	5867	0.900	0.900	1.000	1.000	PHILIPS GARDCO ECF-2-5-55LA-3253-NW @ 16'	ECF-5-55LA-3253-NW.ies
	2	DD	SINGLE	51.6	5867	0.900	0.900	1.000	1.000	PHILIPS GARDCO ECF-1-5-55LA-3253-NW @ 16'	ECF-5-55LA-3253-NW.ies
	2	WB	SINGLE	51.6	6190	0.900	0.900	1.000	1.000	PHILIPS GARDCO ECF-WS-3-55LA-3253-NW @ 16'	ECF-3-55LA-3253-NW.ies
	1	EE	SINGLE	29.7	1490	0.900	0.900	1.000	1.000	STERNBERG EURO 250LED TYPE III ROUND - 50"	E250LED-1RND4572.IES



PRELIMINARY PLANS
NOT FOR CONSTRUCTION



1 SL2 SITE LIGHTING PLAN

Luminaire Schedule LED										
Project: DELAWARE - SANTA CRUZ										
Symbol	Qty	Label	Arrangement	Lum. Watts	Lum. Lumens	LLF	LLD	LDD	BF	Description
	2	A2	BACK-BACK	51.6	6294	0.900	0.900	1.000	1.000	PHILIPS GARDCO ECF-2-2-55LA-3253-NW @ 16'
	8	AA	SINGLE	51.6	6294	0.900	0.900	1.000	1.000	PHILIPS GARDCO ECF-1-2-55LA-3253-NW @ 16'
	52	BB	SINGLE	51.6	6190	0.900	0.900	1.000	1.000	PHILIPS GARDCO ECF-1-3-55LA-3253-NW @ 16'
	15	CC	SINGLE	51.6	6106	0.900	0.900	1.000	1.000	PHILIPS GARDCO ECF-1-4-55LA-3253-NW @ 16'
	13	D2	BACK-BACK	51.6	5867	0.900	0.900	1.000	1.000	PHILIPS GARDCO ECF-2-5-55LA-3253-NW @ 16'
	2	DD	SINGLE	51.6	5867	0.900	0.900	1.000	1.000	PHILIPS GARDCO ECF-1-5-55LA-3253-NW @ 16'
	2	WB	SINGLE	51.6	6190	0.900	0.900	1.000	1.000	PHILIPS GARDCO ECF-WS-3-55LA-3253-NW @ 16'
	1	EE	SINGLE	29.7	1490	0.900	0.900	1.000	1.000	STERNBERG EURO 250LED TYPE III ROUND - 50"
										Filename
										ECF-2-55LA-3253-NW.ies
										ECF-2-55LA-3253-NW.ies
										ECF-3-55LA-3253-NW.ies
										ECF-4-55LA-3253-NW.ies
										ECF-5-55LA-3253-NW.ies
										ECF-5-55LA-3253-NW.ies
										ECF-3-55LA-3253-NW.ies
										E250LED-1RND45T2.IES

PRELIMINARY PLANS
NOT FOR CONSTRUCTION



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COST JOB No: 16-056
PROJ. NO: 16-056
PROJECT

DELAWARE ADDITION
MASTER PLAN
2120 Delaware Avenue, Santa Cruz, CA 95060

No REVISION DATE
REVISION 09.01.2016

DATE: 01 MAY 2016
JOB No: 1405
PHASE: LAND USE APPLICATION
ISSUED FOR: -
PERMIT No: -
SCALE: AS NOTED

SHEET TITLE

SITE LIGHTING
MASTER PLAN

SHEET No

EXHIBIT 0 | 2

EXHIBIT P: DEVELOPMENT AGREEMENT

SECTIONS 3.4.2 - 3.4.6

DELAWARE ADDITION DESIGN GUIDELINES

SANTA CRUZ, CALIFORNIA

COPY of Document Recorded

9-Oct-09 2008-0041799

Has not been compared with
original

SANTA CRUZ COUNTY RECORDER

Conformed Copy

OFFICIAL BUSINESS

Document entitled to free recording
(California Government Code §6103)

RECORDING REQUESTED BY
AND WHEN RECORDED, RETURN TO:

City of Santa Cruz
809 Center Street
Santa Cruz, California 95060

Attention: Director of City Planning
and Community Development

DEVELOPMENT AGREEMENT

CITY OF SANTA CRUZ

AND

RTP - Delaware Avenue, LLC
a Delaware Limited Liability Company

Dated: September 9, 2008

Guidelines are sufficient to meet the requirements of Municipal Code Section 24.08.400 in effect as part of the Existing City Regulations for review of the design of improvements proposed for development of the Project. Therefore, the parties intend that the Design Guidelines will be utilized to provide an expedited process for review of applications for, and issuance of, building permits by City pursuant to the Design Guidelines and the design and landscaping-related conditions of approval in the Project Approvals.

3.4.1. Approval of Design Guidelines for Initial Development. City has reviewed the Design Submittal for the Initial Development, and has determined that the Design Submittal is complete and is consistent with the Design Guidelines. Any authorized Person, upon application to City, and submittal of working drawings consistent with the approved Design Submittal and with Construction Codes and Standards shall be entitled to the prompt issuance of all building and other permits necessary for construction of the Initial Development.

3.4.2. Design Review Process for Subdivision Parcels Other Than Initial Development. Design review for all Project improvements other than the Initial Development shall be governed by this Section 3.4.2 and Sections 3.4.3-3.4.5 below. Prior to application by Owner, Owner's representative, any Transferee, any optionee or buyer of a Subdivision Parcel, any Occupant, or any other authorized Person (collectively

"Applicant") for a building permit to construct improvements on a Subdivision Parcel, Applicant shall make a Design Submittal to City's Planning Department with the appropriate City Application Fee for Design Review. The Planning Department shall assign a planner familiar with the Design Guidelines ("Planner") to review the Design Submittal. Upon receipt of such Design Submittal, the Planner shall determine whether the Design Submittal is complete and, if not, by notice to Applicant indicate in detail the additional design information which is required to make the Design Submittal complete. Upon determination that the Design Submittal is complete, the Planner shall determine whether the design of the improvements as shown by the Design Submittal substantially complies with the Design Guidelines. Minor modifications of design which do not materially intensify the use or affect the overall design standards set forth in the Design Guidelines shall be allowed and shall not affect substantial compliance as that term is used in this Section 3.4.2. If the Planner determines that the design of the improvements for a Subdivision Parcel substantially complies with the Design Guidelines, the Planner shall approve the Design Submittal. If the Planner determines that the design of the improvements for a Subdivision Parcel does not substantially comply with the Design Guidelines, the Planner may approve the design with conditions (provided such conditions are based on the Design Guidelines and are imposed solely to bring the design into substantial

compliance with the Design Guidelines). If the Planner determines, pursuant to this Section 3.4.2 that a Design Submittal for a Subdivision Parcel does not substantially comply with the Design Guidelines and does not conditionally approve the Design Submittal in accordance with the foregoing, then the Planner shall give written notice to the Applicant of such determination, setting forth in detail the specific reasons for the decision. Upon approval of the Design Submittal, Applicant shall have the right to apply for a building permit for the improvements on the Subdivision Parcel as approved, which application shall be processed in accordance with Section 3.3.

3.4.3. Time Limits Applicable to Design Review Procedures. The Planner, pursuant to Section 3.4.2, shall have thirty (30) days after submission by the Applicant of a Design Submittal or additional design documents to determine whether the Design Submittal is complete. If the Planner determines that an Applicant's Design Submittal is incomplete, then the Applicant shall submit additional design documents responsive to the Planner's determination. After any such additional submittal by Applicant, the Planner shall have an additional 30 days to determine whether the subsequent submittal is complete. Once the Design Submittal is complete, then the Applicant shall have the right to a final decision by the Planner denying, approving or conditionally approving the Design Submittal pursuant to Section 3.4.2, which final decision shall be rendered by the Planner

within thirty (30) days after the Design Submittal is complete pursuant to this Section 3.4.3.

3.4.4. Parameters of Decisions. All decisions made under Section 3.4.2 and 3.4.3 by the Planner shall be appealable by the Applicant to the Planning Commission, and subsequently to the City Council, notwithstanding anything to the contrary contained in Applicable City Regulations. All decisions and actions rendered or taken under Sections 3.4.2 and 3.4.3 shall be limited solely to the issues under consideration under such Sections. If the Planner, the Planning Commission, or the City Council, as applicable, makes a final determination of non-substantial compliance pursuant to Section 3.4.2 or 3.4.3, as applicable, or reasonably determines not to approve the specific design features in a Design Submittal for the affected Subdivision Parcel pursuant to Section 3.4.2 or Section 3.4.3, then the Applicant shall have the right, at any time, in addition to any other rights or remedies available under applicable laws, to modify the affected Design Submittal and resubmit such modified design for processing in accordance with Section 3.4.2.

3.4.5. Consultation and Advice in Preparation of Design Submittal. The parties acknowledge that the preparation by the Applicant of a Design Submittal for a Subdivision Parcel requires a high degree of consultation and cooperation by City with the Applicant and its design consultants. Accordingly, upon Applicant's request, the Planning Director and the Planner shall,

from time to time, consult and advise with Applicant and its design consultants regarding proposed designs for improvements on a Subdivision Parcel to be incorporated into a Design Submittal. No such consultation or advice by the Planning Director or Planner shall, however, constitute a decision or determination regarding substantial compliance in accordance with the standards specified in Section 3.4.2.

3.4.6. Nature of Design Review Decision. City acknowledges that City has exercised its discretion pursuant to City's design review process (as set forth in Title 24 of the Municipal Code, including Section 24.08.400), with respect to the approval of the Design Guidelines for the proposed improvements for the Subdivision Parcels. City's discretion with respect to Design Review for the Project shall be limited to determining whether Design Submittals substantially conform to the Design Guidelines for the affected Subdivision Parcel, as specified in Section 3.4.2.