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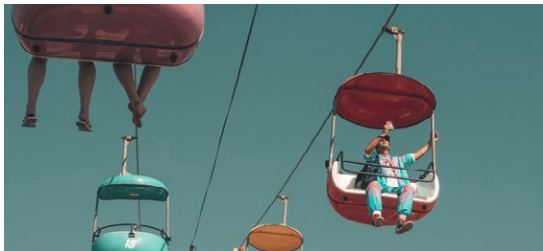
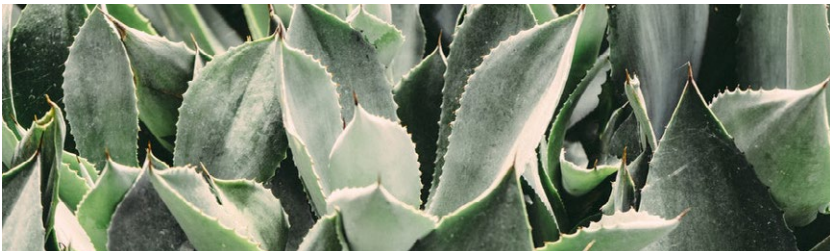
ENTITLEMENTS PACKAGE 09/08/22

THE DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

The proposed Downtown Santa Cruz Library and Affordable Housing Project delivers much needed affordable housing and provides a cultural hub embodying the spirit of Santa Cruz's diverse and creative community through a public library. The architecture speaks directly to the surrounding scale, form, and materiality of the downtown core while re-energizing the spirit of place through vibrancy and joy.

TENOVER





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PROJECT DESCRIPTION

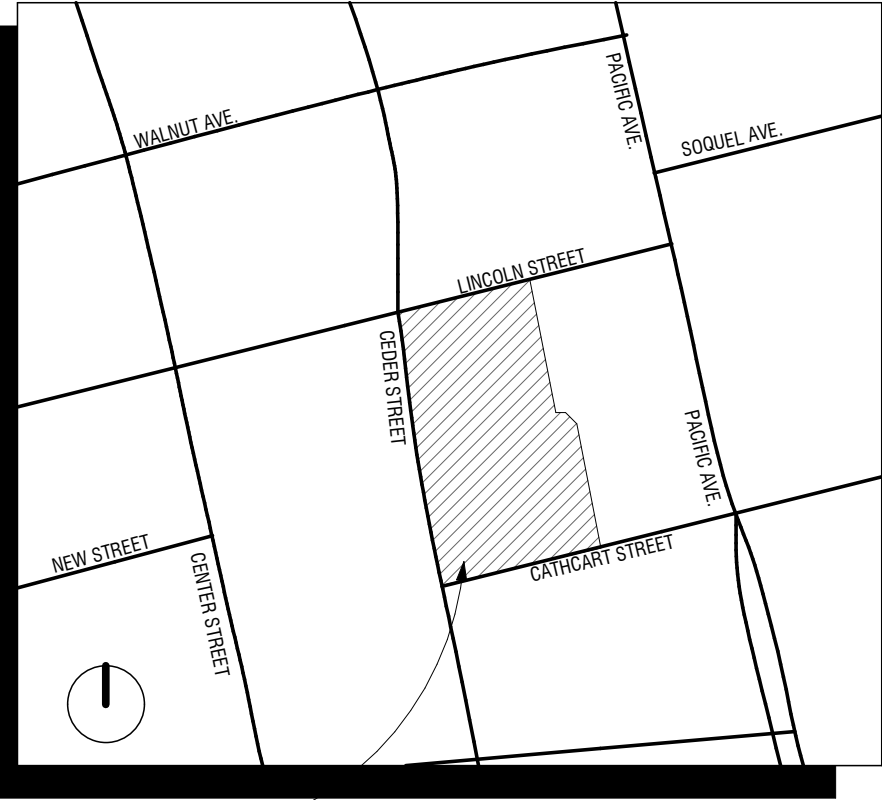
The Downtown Library and Affordable Housing Project proposes a new 273,194 SF, 8-story building in the Cedar Street Village Corridor of Downtown Santa Cruz. The project site spans the full block between Lincoln and Cathcart Street. The primary use is an approx. 38,000 SF Public Library Facility with a main entrance at the mid-block point on Cedar, and a roof deck at the southwest corner of Cedar and Cathcart. A 16-child (minimum) Daycare is proposed immediately adjacent to the Library, with the outdoor play yard capitalizing on south and western light. Approximately 10,000 SF of commercial use is programmed for the three levels at the southwest corner below the Library roof deck with a 2-story presence at the sidewalk.

The eastern side of the project proposes a 243 stall parking garage with minimal frontage on the street facades on Cathcart and Lincoln St. The parking is three above grade levels. The parking will be a Public City Parking Facility with 24 hour access. Above the parking podium are 5 levels of residential units. The 124 units made up of studios, 1-bd, 2-bd, & 3-bd types are 100% affordable and will meet TCAC requirements for community gathering places, unit mix and accessibility.

Throughout the site, there are more than 250 bike parking locations proposed. These locations are spread throughout the site to accommodate varying bike parking needs. On the exterior, there are lockable locations along the sidewalk building entries, and additional stalls located within the public parking garage along the pedestrian entry corridor. In addition, there are separate, secured bike parking locations inside the parking garage for residential tenants and staff as well as library, daycare and commercial employees.

PROGRAM TAKE-OFFS

LIBRARY GROSS SF	38,069 SF
LIBRARY ROOFTOP PATIO SF	3,240 SF
PARKING STALL COUNT	243 STALLS
UNIT COUNT	124
DAYCARE NET SF	1,231 SF
DAYCARE PLAY AREA NET SF	674 SF
COMMERCIAL NET SF	9598 SF



PROJECT LOCATION

LAND USE REQUIREMENTS

ADDRESS	119 LINCOLN STREET, 600-698 CEDAR STREET
APN	005-141-11 & 21
GENERAL PLAN DESIGNATION	RVC- REGIONAL VISITOR COMMERCIAL
ZONING	CBD (CENTRAL BUSINESS DRISTRICT)
SPECIFIC AREA DESIGN GUIDELINES	CEDAR STREET VILLAGE CORRIDOR
ENTITLEMENTS/USE PERMIT REQUIRED	ADMIN USE PERMIT & SPECIAL USE PERMIT
LOT SIZE	66921 SF1.54 ACRE
AFFORDABLE UNITS PROPOSED	124 (100% AFFORDABLE)
HEIGHT LIMIT	ALLOWABLE50'PROPOSED50'-0"/91'-0", 96' TO PENTHOUSE
FAR	ALLOWABLE0.25 - 5.0PROPOSED4.08
ADJACENT ZONES	NORTHCBD EASTCBD SOUTHCBD WESTCBD
SETBACKS	FRONT0' SIDE0' REAR0'
ALLOWED USES IN ZONE	PROPOSED USEMULTIPLE-DWELLING STRUCTURED PARKING FITNESS STUDIO DAYCARE CENTER COMMUNITY (LIBRARY) "A" ADMIN. USE PERMIT, SPECIAL USE PERMIT > 60 UNITS "A" ADMIN. USE PERMIT "A" ADMIN. USE PERMIT "A" ADMIN. USE PERMIT "A" ADMIN. USE PERMIT, SPECIAL USE PERMIT > 16,000 SF

GROSS BUILDING AREAS

	USE	GROSS SF
FIRST FLOOR	LIBRARY COMMERCIAL DAYCARE PARKING GARAGE TOTAL:	17,914 1,888 1,322 35,337 56,461
SECOND FLOOR	LIBRARY COMMERCIAL PARKING GARAGE TOTAL:	0 4,117 35,337 39,454
THIRD FLOOR	LIBRARY COMMERCIAL PARKING GARAGE TOTAL:	17,159 5,945 35,337 58,441
FOURTH FLOOR	LIBRARY RESIDENTIAL TOTAL:	2,996 23,240 26,236
FIFTH FLOOR	RESIDENTIAL TOTAL:	23,240 23,240
SIXTH FLOOR	RESIDENTIAL TOTAL:	23,240 23,240
SEVENTH FLOOR	RESIDENTIAL TOTAL:	23,061 23,061
EIGHTH FLOOR	RESIDENTIAL TOTAL:	23,061 23,061
GROSS BLDG TOTAL		273,194



BICYCLE PARKING CALCULATIONS

	TOTAL BIKE PARKING REQUIREMENT	BREAK UP OF TOTAL BETWEEN CLASS 1 & CLASS 2	FACTOR	TOTAL REQ.	C1* REQ.	C2** REQ.
LIBRARY COMMERCIAL	35% AUTO PARKING	CLASS 1: 10% CLASS 2: 90%	95 PARKING STALLS (CALC'D FOR SAKE OF DETERMINING BIKE PARKING REQ.)	34	3	31
MULTIFAMILY	1 SPACE PER UNIT	CLASS 1: 1 PER UNIT CLASS 2: 1 PER 4 UNITS IN ADDITION TO CLASS 1	124 UNITS	155	124	31
COMMERCIAL FITNESS & DAYCARE	2 + 15% AUTO PARKING	CLASS 1: 20% CLASS 2: 80%	43 PARKING STALLS (CALC'D FOR SAKE OF DETERMINING BIKE PARKING REQ.)	8	2	6
TOTAL REQUIRED				197	129	68
TOTAL PROVIDED				258	140	118

*CLASS 1 PARKING = INDIVIDUALLY LOCKED ENCLOSURE, WEATHER AND VANDALISM PROTECTED, SUPERVISED
**CLASS 2 PARKING = STAND OR OTHER DEVICE TO LOCK BIKE WHEEL TO FRAME

PROVIDED VEHICLE & BIKE PARKING

TOTAL PROVIDED CAR PARKING	243	
TYPICAL STALLS (8'-6" x 19'-0")	103	
TYPICAL STALLS - EV (8'-6" x 19'-0")	13	
COMPACT STALLS (8'-6" x 16'-0")	117	
ADA STALLS	8	
EV ADA STALLS (TYP. & VAN)	2	
TOTAL PROVIDED BIKE PARKING	PROVIDED	REQUIRED
	258	197
RESIDENTIAL CLASS I	130	124
RESIDENTIAL CLASS II	52	31
LIB/COM/DAYCARE CLASS I	10	5
LIB/COM/DAYCARE CLASS II	66	37

PARKING CALCULATIONS

SITE IS IN DOWNTOWN PARKING DISTRICT NO. 1 AND PARKING REQUIREMENTS ARE DETERMINED BY CITY COUNCIL AT TIME OF APPLICATION.

PARKING CALC DONE IN ORDER TO CALCULATE REQUIRED BIKE PARKING

	UNIT FACTOR	PARKING FACTOR	REQ'D OUTSIDE OF PARK. DISTR 01	WITHIN PARK. DISTR 01	SPACES PROVIDED
RESIDENTIAL	13 S-BD + 48 1-BD 32 2-BD + 31 3-BD	1 PER STUDIO/1-BD 2 PER 2+ UNIT	61 126	TBD TBD	0 0
LIBRARY	38086 SF	1 PER 400 SF	95	TBD	0
FITNESS CENTER	9598 SF	1 PER 250 SF	38	TBD	0
DAYCARE	16 CHILDREN	1 PER 5 CHILDREN + 1 FOR MANAGER	5	TBD	0
PUBLIC PARKING GARAGE					243
TOTAL PROVIDED					243

ADA & EV REQUIREMENTS OF THE PARKING PROVIDED

ADA SPACES	USE	# OF SPACES	ADA REQUIRED	
	COMMERCIAL	243	7	
	RESIDENTIAL	TBD		
	REQ'D TOTAL		7	
	PROVIDED TOTAL	8 TOTAL (5 TYP. ADA & 3 VAN)		

EV REQUIRED	USE	# OF SPACES	EV FACTOR	EV REQUIRED
	COMMERCIAL	243	6% OF SPACES	15
	RESIDENTIAL	TBD	12% OF SPACES	TBD
	REQ'D TOTAL		15	
	PROVIDED TOTAL	15 TOTAL (13 TYP. EV, 1 EV ADA, & 1 EV VAN)		

BUILDING CODE INFORMATION

OCCUPANCY	MIXED OCCUPANCY, MULTI-STORY WITH THE FOLLOWING USES: A-3, M, S-2, R-2, E
CONSTRUCTION TYPE:	
LIBRARY & COMMERCIAL & DAYCARE	1A
GARAGE & BLDG SUPPORT	1A
RESIDENTIAL	3A OVER 3-HR CONCRETE PODIUM FLOOR CONSTRUCTION
STORIES PROPOSED	8
ALLOWABLE HEIGHT	85'-0" TO ROOF DECK
PROPOSED HEIGHT	84'-0" FROM FINISH FLOOR TO ROOF DECK
SPRINKLER SYSTEM	NFPA 13 FULL BUILDING

ALLOWABLE BUILDING HEIGHT, STORIES & AREAS

MIXED USE OCCUPANCIES - ALLOWABLE HEIGHT

	HEIGHT	STORIES	PROPOSED
A-3, TYPE IA, S	UL	UL	2 STORIES, 47'-0" TO STRUCTURE
S-2, TYPE IA, S	UL	UL	3 STORIES, 33'-0" TO STRUCTURE
R-2, TYPE IIIA, S	85'-0" FROM GRADE (WITHOUT AREA INCREASE)	5 (WITHOUT AREA INCREASE)	5 STORIES, 51'-0" ABOVE PODIUM / 84'-0" TO STRUCTURE
B/M, TYPE IA, S	UL	UL	3 STORIES, 33'-0" TO STRUCTURE
E, TYPE IA, S	UL	UL	1 STORY, 11'-0" TO STRUCTURE

FRONTAGE INCREASE QUALIFIER

PERIMETER (P)	WIDTH (W)*	LENGTH (F) **	PERCENTAGE
1,016	>30	689.5	68%

* OF OPEN SPACE/ PUBLIC WAY
**OF BUILDING ON PUBLIC WAY OR OPEN SPACE W/ MINIMUM 20' WIDTH
REQUIRED 25% ACTUAL 68%
QUALIFIES YES

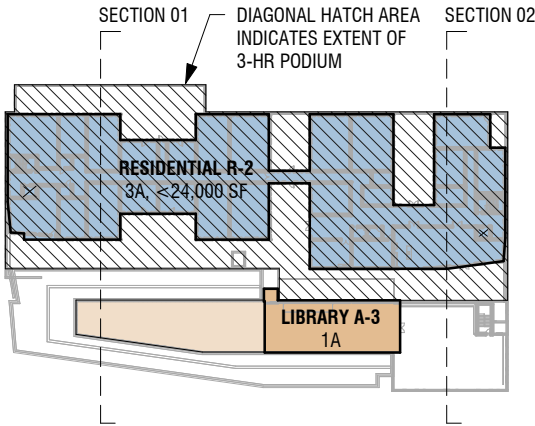
ALLOWABLE FRONTAGE INCREASE

If= AREA FACTOR INCREASE DUE TO FRONTAGE
F= PERIMETER THAT FRONTS ON PUBLIC WAY
P= PERIMETER OF ENTIRE BUILDING
W= WIDTH OF PUBLIC WAY OR OPEN SPACE
If = (F/P-0.25)W/30
If = (689.5/1016-0.25)30/30

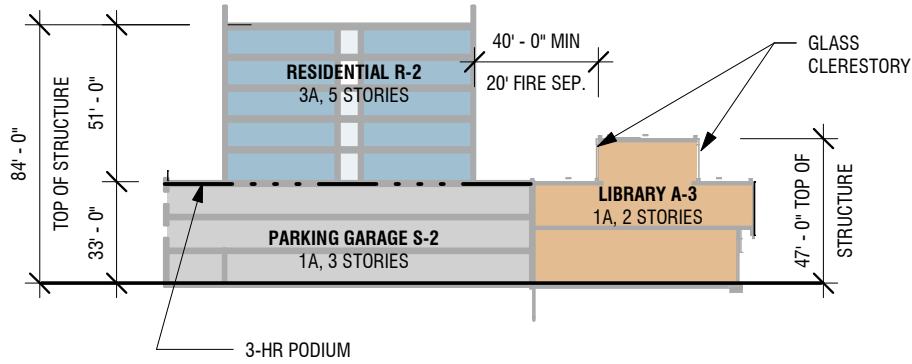
If = 0.429

BUILDING AREA CALCULATIONS / FLOOR

Aa= ALLOWABLE AREA
At= TABULAR AREA FACTOR
NS= TABULAR AREA FACTOR FOR NS BUILDING
If= AREA FACTOR INCREASE DUE TO FRONTAGE
Sa = 1 (DE FACTO NUMBER OF STORIES)

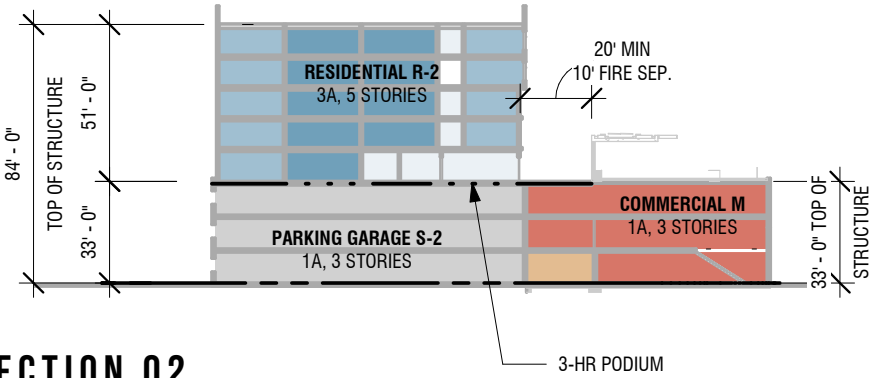


NOTE: ALL HEIGHTS ARE MEASURED FROM TOP OF SLAB



SECTION 01

NOTE: ALL HEIGHTS ARE MEASURED FROM TOP OF SLAB



SECTION 02

MIXED OCCUPANCY, MULTI-STORY

EQUATION 5-3 Aa = [At + (NS x If)]

RES R-2, IIIA Aa = [24000 + (24000 x .429)] Aa= 33984 / FLOOR
ALLOWABLE/FLR 34287 LARGEST PROPOS'D 23240

SEPARATED OCCUPANCIES & 3+ STORIES - ALLOWABLE AREA

	USE	ACTUAL AREA	ALLOWABLE AREA	RATIO
FIRST FLOOR	S-2, TYPE IA, S	35338	UNLIMITED	0.00
	A-3, TYPE IA, S	18006	UNLIMITED	0.00
	M, TYPE IA, S	2035	UNLIMITED	0.00
	E, TYPE IIIB, S	1322	UNLIMITED	0.00
	TOTAL			0.00
SECOND FLOOR	S-2, TYPE IA, S	35338	UNLIMITED	0.00
	A-3, TYPE IIIB, S	0	UNLIMITED	0.00
	M, TYPE IIIB, S	4112	UNLIMITED	0.00
	TOTAL			0.00
THIRD FLOOR	S-2, TYPE IA, S	35338	UNLIMITED	0.00
	A-3, TYPE IA, S	17025	UNLIMITED	0.00
	M, TYPE IA, S	5946	UNLIMITED	0.00
	TOTAL			0.00
TOTAL				0.00

REQ'D RATIO < /=1 PER FLOOR, < /=3 PER ENTIRE BUILDING

PODIUM CODE REVIEW (SECTION 510.2)

CBC 510.2	CODE SECTION (IF APPLICABLE) A BUILDING SHALL BE CONSIDERED AS SEPARATE AND DISTINCT BUILDINGS FOR THE PURPOSE OF DETERMINING AREA LIMITATIONS, CONTINUITY OF FIRE WALLS, LIMITATION OF NUMBER OF STORIES AND TYPE OF CONSTRUCTION WHERE THE FOLLOWING ARE MET:	RELATION TO PROPOSED STRUCTURE RESIDENTIAL TOWER IS CONSIDERED A SEPARATE BUILDING, COMPLYING WITH AREA (WITH FRONTAGE INCREASE)
1	HORIZONTAL 3 HOUR ASSEMBLY, VERTICAL OFFSETS ALLOWED, BUT MUST ALSO BE 3-HR.	3-HR CONCRETE PODIUM PROPOSED BETWEEN RESIDENTIAL TOWER AND PROGRAM BENEATH: GARAGE AND COMMERCIAL.
2	THE BUILDING BELOW (INCLUDING THE HORIZONTAL ASSEMBLY) IS OF TYPE IA CONSTRUCTION	ALL PROGRAM EXCEPT THE RESIDENTIAL IS TO BE 1A CONSTRUCTION.
3	SHAFT, STAIRWAY, RAMP AND ESCALATOR ENCLOSURES THROUGH THE HORIZONTAL ASSEMBLY SHALL HAVE NOT LESS THAN A 2-HR FIRE RATING WITH OPENING PROTECTIVES.	ALL STAIR TOWERS AND SHAFTS GOING THROUGH THE PODIUM CONSTRUCTION WILL BE OF A 2-HR RATED ENCLOSURE WITH OPENING PROTECTIVES.
4	THE BUILDING ABOVE THE HORIZONTAL ASSEMBLY SHALL BE GROUP A (IF LESS THAN 300 OCCUPANTS), OR GROUP B, M, R OR S	THE PROPOSED BUILDING ABOVE THE PODIUM IS TO BE R-2 WITH INCIDENTAL USES PERTAINING TO THE R-2 USE.
5	THE BUILDING BELOW THE HORIZONTAL ASSEMBLY SHALL BE PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 AND CAN BE ANY OCCUPANCY EXCEPT H.	THE ENTIRE STRUCTURE WILL BE FULLY SPRINKLERED WITH AN NFPA 13 SYSTEM, AND THERE WILL BE NO TYPE H OCCUPANCY PROPOSED.
6	THE MAXIMUM BUILDING HEIGHT IN FEET SHALL NOT EXCEED THE LIMITS SET FORTH IN SECTION 504.3 FOR THE BUILDING HAVING THE SMALLER ALLOWABLE HEIGHT AS MEASURED FROM GRADE PLANE.	AS OUTLINED HERE, THE SMALLEST ALLOWABLE HEIGHT FOR THE VARIOUS USES IS THE R-2 TYPE IIIA, 85'-0" (TAKING HEIGHT INCREASE). TOTAL BUILDING HEIGHT WILL BE 84'-0" FROM FINISH FLOOR TO TOP OF ROOF DECK.

AFFORDABLE HOUSING REQUIREMENTS

TAX CREDIT REQUIREMENTS

TCAC AFFORDABLE UNITS REQ'D	#UNITS REQUIRED	#UNITS PROVIDED
25% 3-BEDS MIN. 900 SF*	31	31
25% 2-BEDS MIN. 700 SF*	31	31
REMAINING 1-BEDS MIN. 450 SF*		48
REMAINING STUDIOS MIN. 450 SF*		13
15% 11B MOBILITY IMPAIRED	19	20 (5 3-BD, 5 2-BD, 8 1-BD, 2 STUDIO)
10% 11B COMMUNICATION	13	20 (5 3-BD, 5 2-BD, 8 1-BD, 2 STUDIO)

*SEE "UNIT TYPES" ON THIS SHEET FOR TOTAL NUMBER AND SIZE OF UNITS
AS WELL AS LOCATION OF ALL MOBILITY & COMMUNICATION UNITS.

TCAC AMENITIES	MIN. SF / FACTOR	# / SF
COMMUNITY ROOM	1,800 SF	2,000 SF (COMMUNITY ROOM + LOUNGE)
LAUNDRY*	1 PER 10 UNITS	13W, 13D*
PLAY AREA FOR AGES 2-12	600 SF + 5 SF FOR EACH ADD. UNIT OVER 100 (600 + 120 = 720 SF MIN)	970 SF
PLAY AREA FOR AGES 13-17	**INCLUDED IN COMMUNITY SPACE	

* (12) SETS OF WASHERS & DRYERS ARE STACKED, (1) SET IS SIDE-BY-SIDE FOR ACCESSIBILITY REACH RANGE COMPLIANCE
**SQUARE FOOTAGE IS ACCOMMODATED WITHIN THE COMMUNITY AREA AND WILL BE ACCESSIBLE TO MINORS FROM 6 AM TO 10 PM EXCEPT WHEN THE AREA IS RESERVED FOR SERVICE AMENITIES OR SPECIAL EVENTS.

UNIT AREA TABULATION

UNIT TYPE	BED #	NET SF	DECK SF	N. GROSS	COUNT	TL NET	TL DECK	TL GROSS	TL BEDS
S-1	STUDIO	456	--	--	10	4560	--	--	0
S-2	STUDIO	344	--	--	1	344	--	--	0
S-3	STUDIO	473	--	--	2	946	--	--	0
1-1	1	455	--	--	38	17290	--	--	38
1-2	1	512	--	--	5	2560	--	--	5
1-3	1	509	--	--	3	1527	--	--	3
1-4	1	507	--	--	2	1014	--	--	2
2-1	2	742	--	--	20	14840	--	--	40
2-2	2	730	--	--	5	3650	--	--	10
2-3	2	819	--	--	3	2457	--	--	6
2-4	2	729	--	--	2	1458	--	--	4
2-5	2	844	--	--	2	1688	--	--	4
3-1	3	909	--	--	15	13635	--	--	45
3-2	3	957	--	--	5	4785	--	--	15
3-3	3	932	--	--	5	4660	--	--	15
3-4	3	902	--	--	2	1804	--	--	6
3-5	3	907	--	--	2	1814	--	--	6
3-6	3	950	--	--	2	1900	--	--	6
TOTAL					124	80932	TBD	TBD	205

AVERAGE NET UNIT SIZE: 653
AVERAGE GROSS UNIT SIZE: --

UNIT COUNT: TYPE

TOTAL UNITS

TOTAL # UNITS:	124	% OF TOTAL UNITS PROPOSED
STUDIO:	13	10.5%
1BD:	48	38.7%
2BD:	31	25.0% (MIN 25% REQ'D)
MANAGER (2-BD)	1	0.8%
3BD:	31	25.0% (MIN 25% REQ'D)

FOURTH FLOOR
FIFTH FLOOR
SIXTH FLOOR
SEVENTH FLOOR
EIGHTH FLOOR

	STUDIO	1-BD	2-BD	3-BD	MGR	TOTAL
FOURTH FLOOR	3	6	5	5	1	20
FIFTH FLOOR	2	11	7	6		26
SIXTH FLOOR	2	11	7	6		26
SEVENTH FLOOR	3	10	6	7		26
EIGHTH FLOOR	3	10	6	7		26
TOTAL	13	48	31	31	1	124

ACCESSIBLITY & COMMUNICATION

TOTAL # UNITS:	124	% OF TOTAL UNITS PROPOSED
MOBILITY (11B ACCESSIBLE) :	20	16% (MIN 15% REQ'D)
COMMUNICATION:	20	16% (MIN 10% REQ'D)

FOURTH FLOOR
FIFTH FLOOR
SIXTH FLOOR
SEVENTH FLOOR
EIGHTH FLOOR

	MOBILITY (11B)	COMMUNICATION
FOURTH FLOOR	4	4
FIFTH FLOOR	4	4
SIXTH FLOOR	4	4
SEVENTH FLOOR	4	4
EIGHTH FLOOR	4	4
TOTAL	20	20





NE CORNER OF CATHCART AND CEDAR STREET

TENOVER

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San Luis Obispo, CA
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info@tenoverstudio.com

for the future
HOUSING

EDEN
HOUSING

1.74

DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

SANTA CRUZ, CA
DATE: 09/08/22

T2.0



VIEW FROM ADJACENT PARKING AT CEDAR STREET

TENOVER

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for the future
HOUSING

EDEN
HOUSING

1.75

DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

SANTA CRUZ, CA
DATE: 09/08/22

T2.1



ELEVATION ALONG CEDAR STREET



SE CORNER OF CEDAR AND LINCOLN STREET



APPROACH FROM CATHCART STREET

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HOUSING

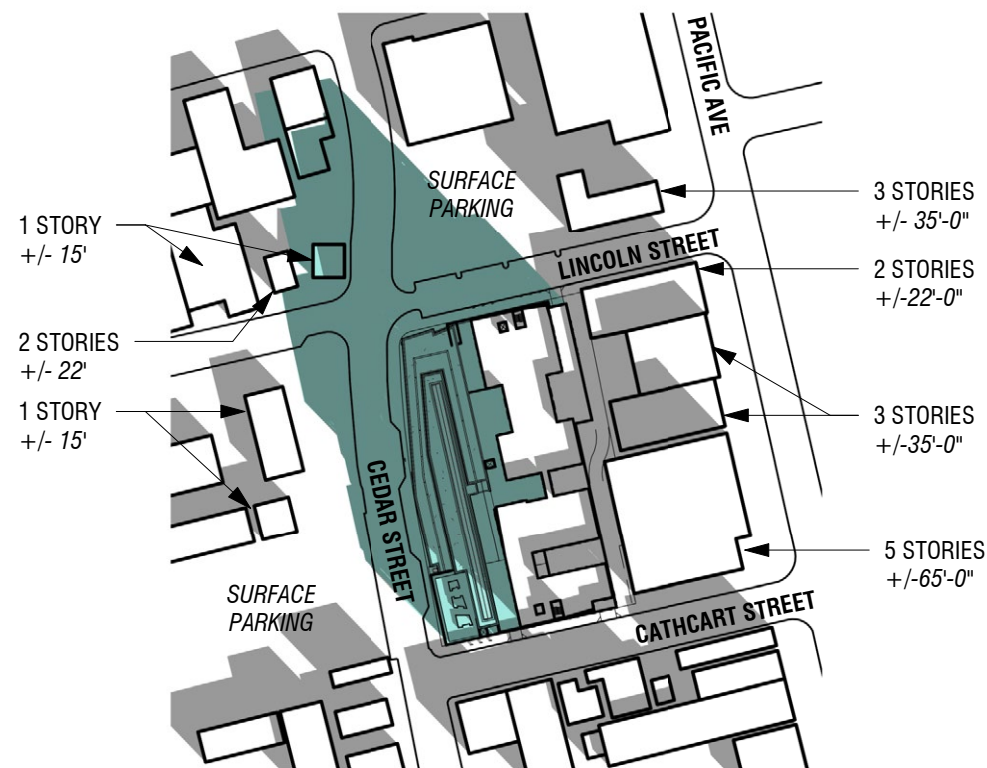
EDEN
HOUSING

1.78

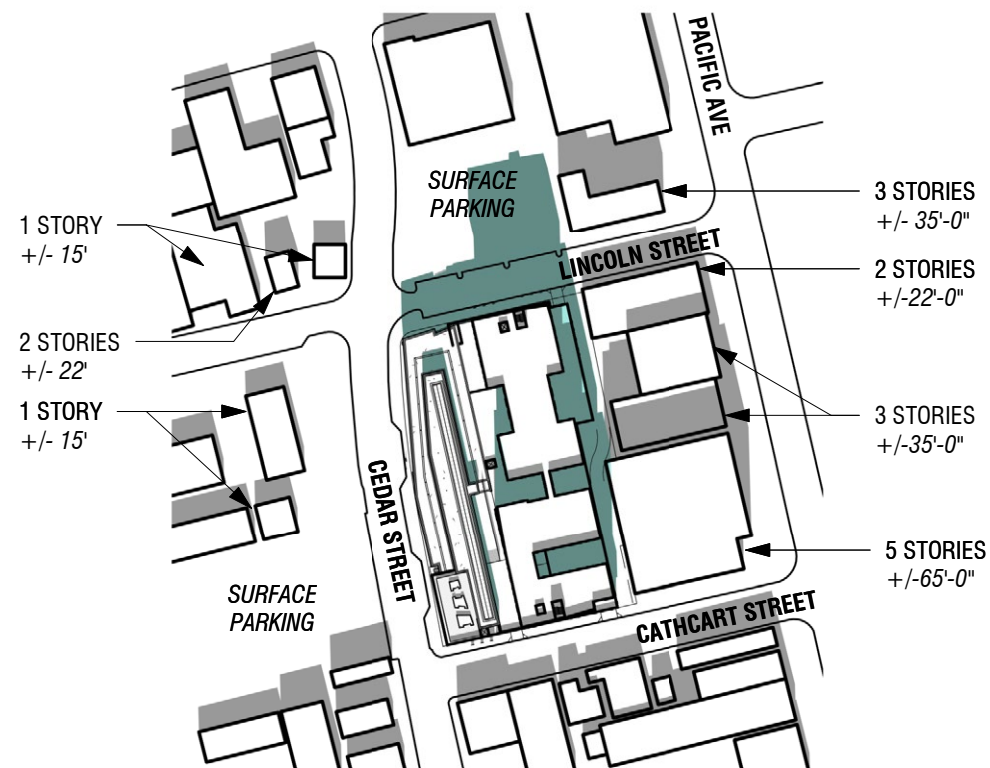
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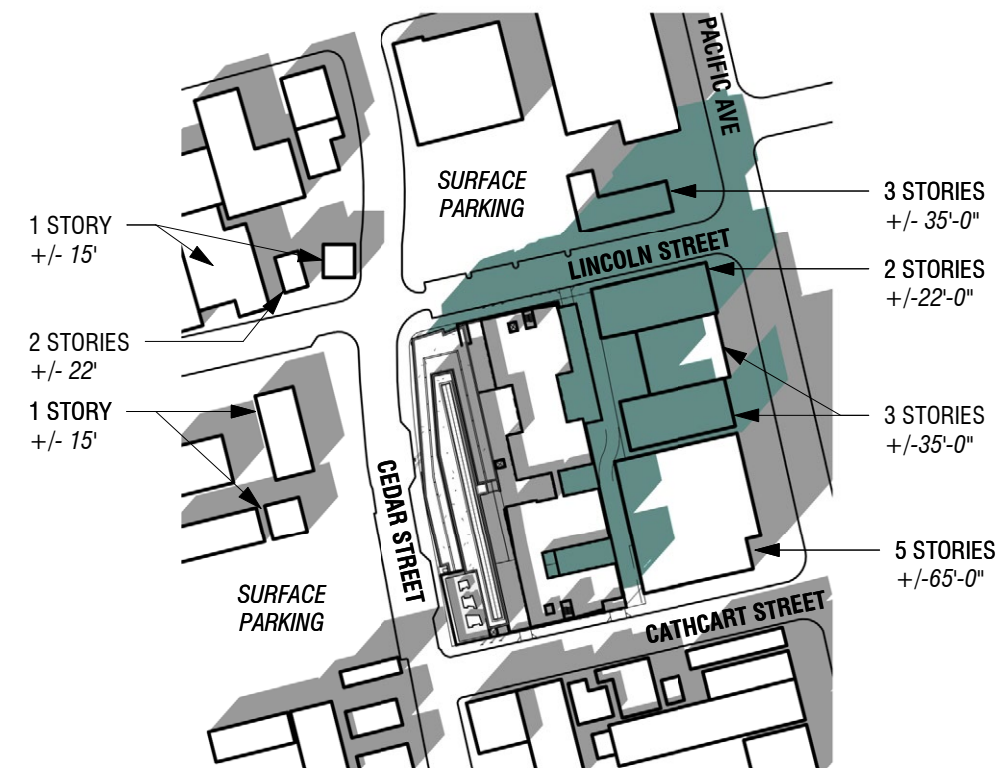
T2.4



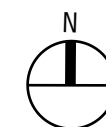
WINTER SOLSTICE @ 9 AM



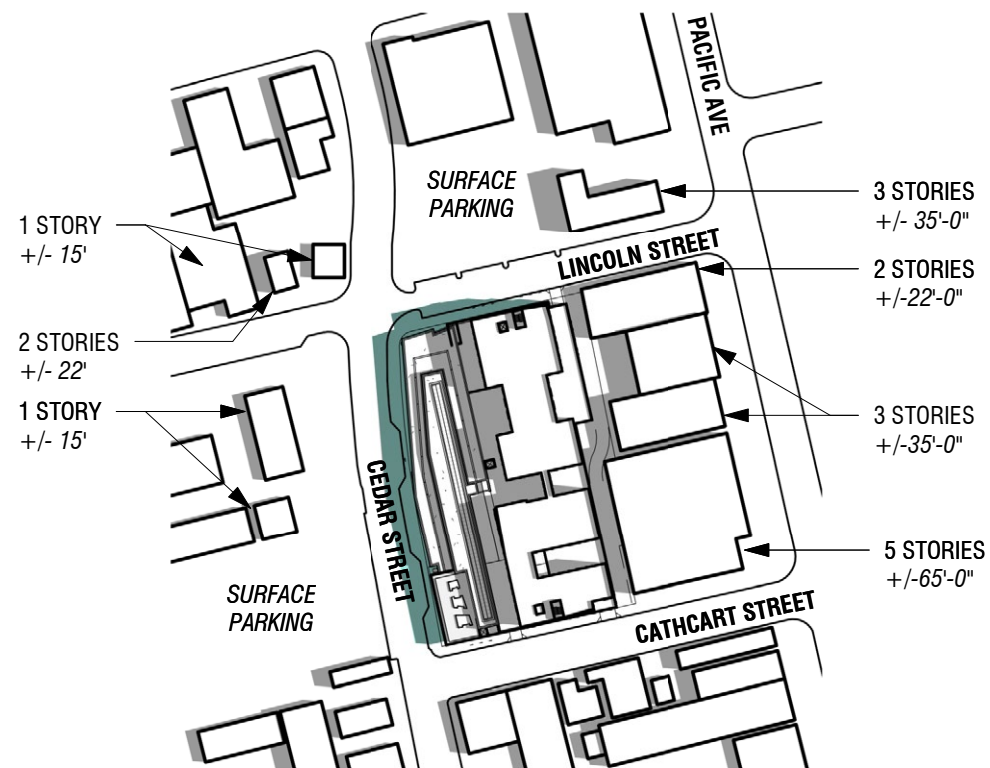
WINTER SOLSTICE @ 12 PM



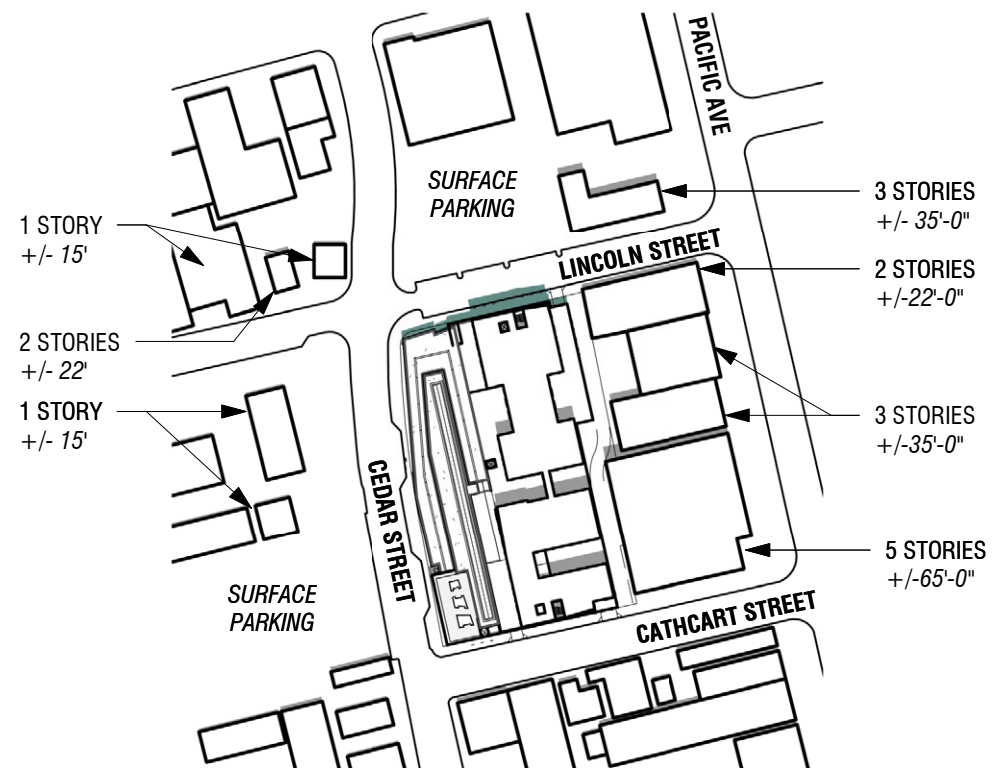
WINTER SOLSTICE @ 3 PM



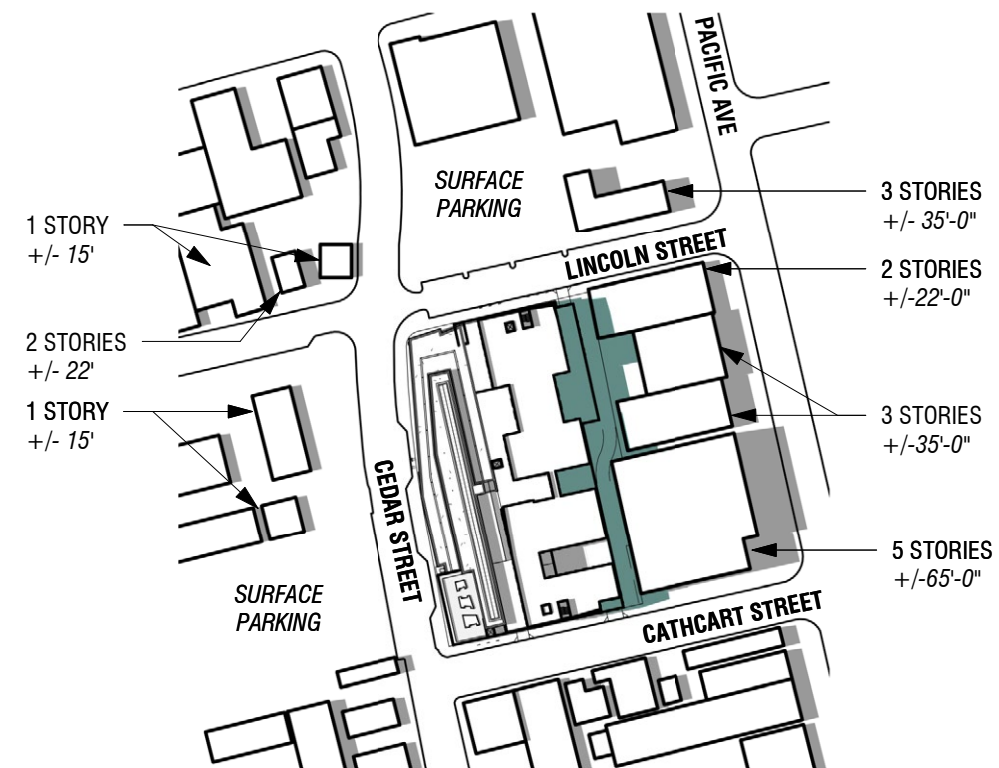
SOLAR SHADING STUDY
SCALE: N.T.S.



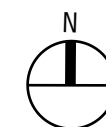
SUMMER SOLSTICE @ 9 AM



SUMMER SOLSTICE @ 12 PM



SUMMER SOLSTICE @ 3 PM



SOLAR SHADING STUDY
SCALE: N.T.S.

Basis of Bearings

THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN MONUMENTS DT-4 AND DT-6, FOUND ALONG THE CEDAR STREET, AS SHOWN ON THAT MAP FILED IN VOLUME 86 OF MAPS, AT PAGE 61, SANTA CRUZ COUNTY RECORDS.

BASIS OF BEARINGS = S05°54'47"E
(CALCULATED BEARING BETWEEN COORDINATE VALUES OF DT-4, DT-6).

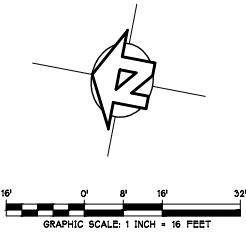
Benchmark


THE BENCHMARK FOR THIS SURVEY IS CITY OF SANTA CRUZ BENCHMARK E4-21, WHICH IS A 7/8" BRASS TAG, LOCATED AT TOP OF CURB ON CENTER STREET, OPPOSITE OF NEW STREET.

BENCHMARK ELEVATION = 13.029' (NAVD88)

Legend

- MONUMENT FOUND AS NOTED
 - SAN. SEWER MANHOLE
 - STORM DRAIN MANHOLE
 - ACCESSIBLE PARKING
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - BENCHMARK
- STORM DRAIN INLET
 - STREET SIGN
 - DOUBLE SIDED STREET SIGN
 - TRAFFIC SIGNAL BOX
 - LIGHT STANDARD
 - SAN. SEWER CLEANOUT
 - UTILITY POLE
 - GAS METER
 - GAS VALVE
- () INDICATES RECORD DATA
 - (R) INDICATES RADIAL BEARING
 - R&C RECORD & CALCULATED DATA
 - INV. INVERT ELEVATION
 - UTILITY VALVE BOX
 - BOLLARD
 - PARKING METER
 - ELECTROUTER
 - ELECTRICAL BOX
 - STREET LIGHT BOX
- BUILDING OVERHANG, OR AWNING
 - BUILDING FOOTPRINT
 - SANITARY SEWER LINE
 - STORM DRAIN LINE
 - OVERHEAD UTILITY LINE
 - PROPERTY BOUNDARY
 - CONTOUR LINE
 - TREE DRIPLINE
 - WALL
 - FLOWLINE
- SPOT ELEVATION DERIVED FROM AERIAL PHOTOGRAMMETRY AND/OR 3D MOBILE LIDAR DATA.
 - SPOT ELEVATION FROM CONVENTIONAL GROUND SURVEY
 - ALL DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.



REVISIONS		APPROVED	
IFLAND SURVEY		Surveying - Mapping - GPS	
5300 Sycamore Avenue, Suite 101, Santa Cruz, CA 95062 Tel 831.426.7941 Fax 831.426.6266			
			
Record Boundary and Topographic Survey:			
Santa Cruz Library Mixed Use Project			
600-698 Cedar Street, Santa Cruz, CA			
PREPARED AT THE REQUEST OF		DATE	
IFLAND ENGINEERS		02/04/22	
SHEET		SCALE	
1		1"=160'	
OF 1 SHEETS		DRAWN VCL	
JOB NO. G22002			

SITE SURVEY
SCALE: N.T.S.



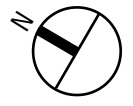
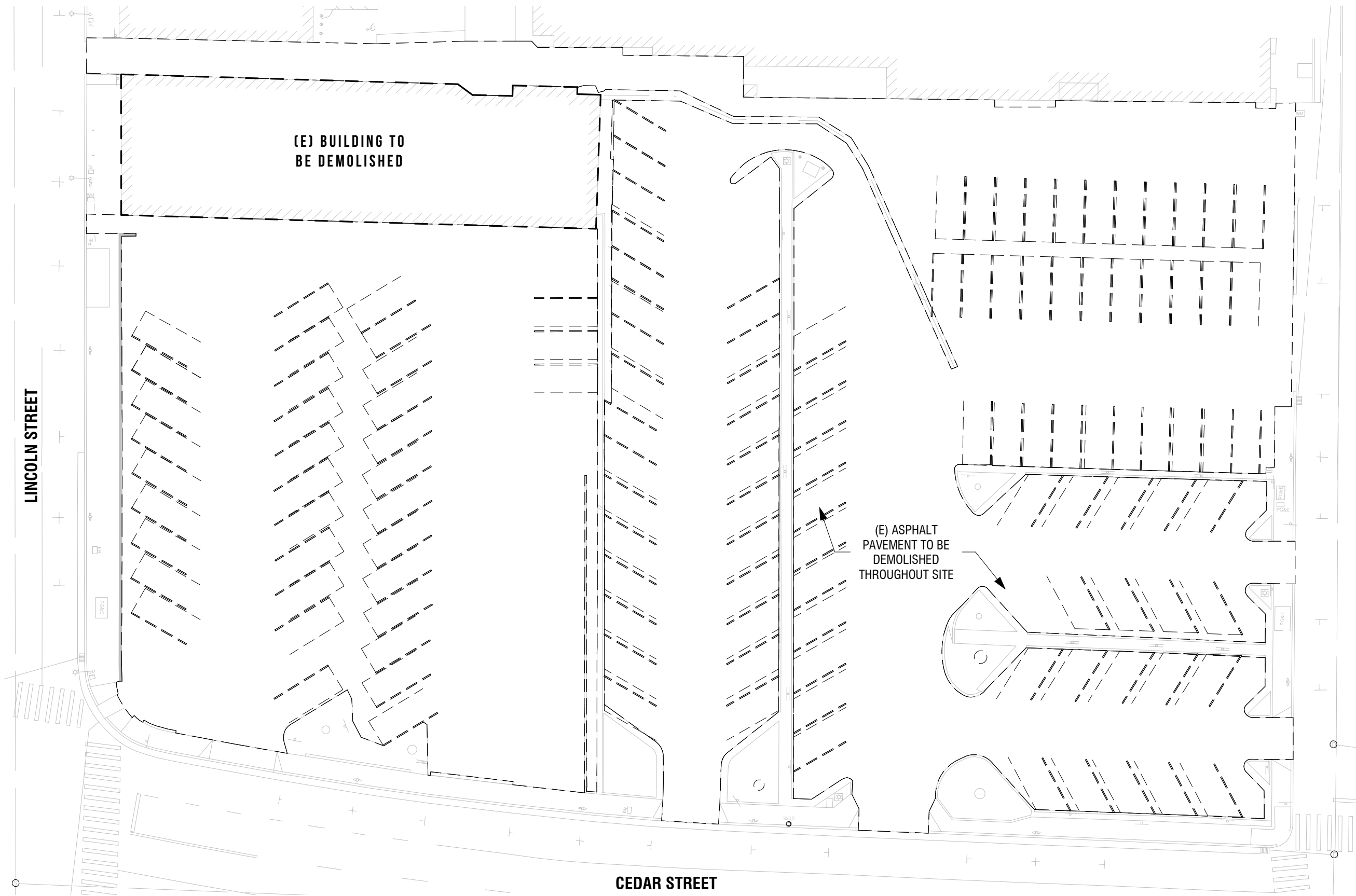
539 Marsh Street
San Luis Obispo, CA
805.541.1010
info@tenoverstudio.com



DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

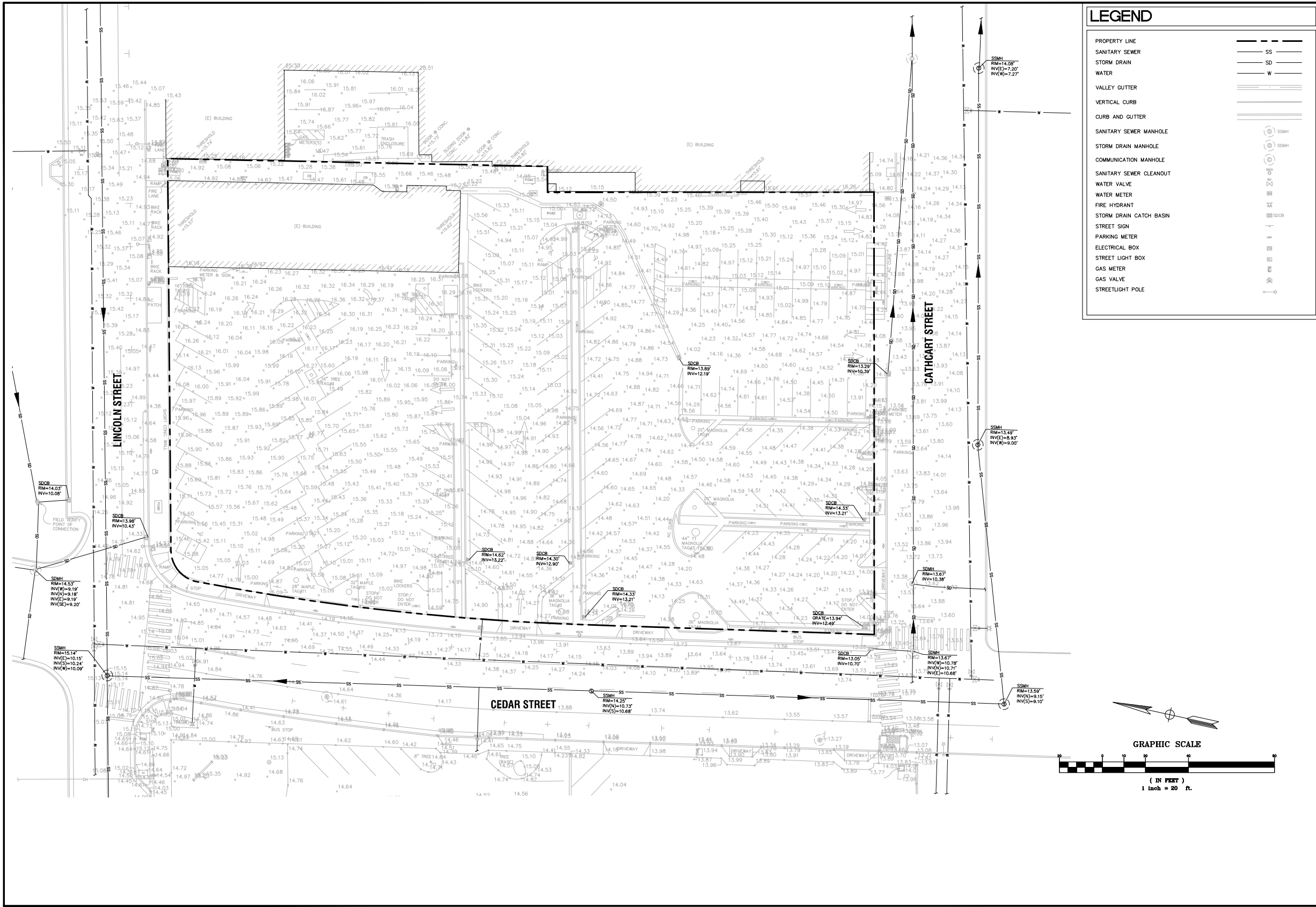
SANTA CRUZ, CA
DATE: 09/08/22

A1.0



SITE DEMO PLAN
SCALE: 1" = 30'-0"

DRAWING NAME : K:\2021\210922.SantaCruz.Library_MU\ENG\PLANNING\SHEETS\C1.0 EX COND.dwg
PLOT DATE: 09-08-22 PLOTTED BY: onkw



LEGEND

- PROPERTY LINE
- SANITARY SEWER
- STORM DRAIN
- WATER
- VALLEY GUTTER
- VERTICAL CURB
- CURB AND GUTTER
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- COMMUNICATION MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- STORM DRAIN CATCH BASIN
- STREET SIGN
- PARKING METER
- ELECTRICAL BOX
- STREET LIGHT BOX
- GAS METER
- GAS VALVE
- STREETLIGHT POLE

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SAN JOSE, CA 95112
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CALIFORNIA

SANTA CRUZ COUNTY

SANTA CRUZ

SANTA CRUZ LIBRARY MIXED USE
EXISTING CONDITIONS

Revisions				
No.	Date	By	Check	Appr.
1	09/08/2022	onkw		
Scale: 1" = 20'				
Design: onkw				
Draw: DS				
Approved: JM				
Job No: 210922				
Sheet Number:				
C1.0				

EXISTING
CONDITIONS

SCALE: N.T.S.



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San Luis Obispo, CA

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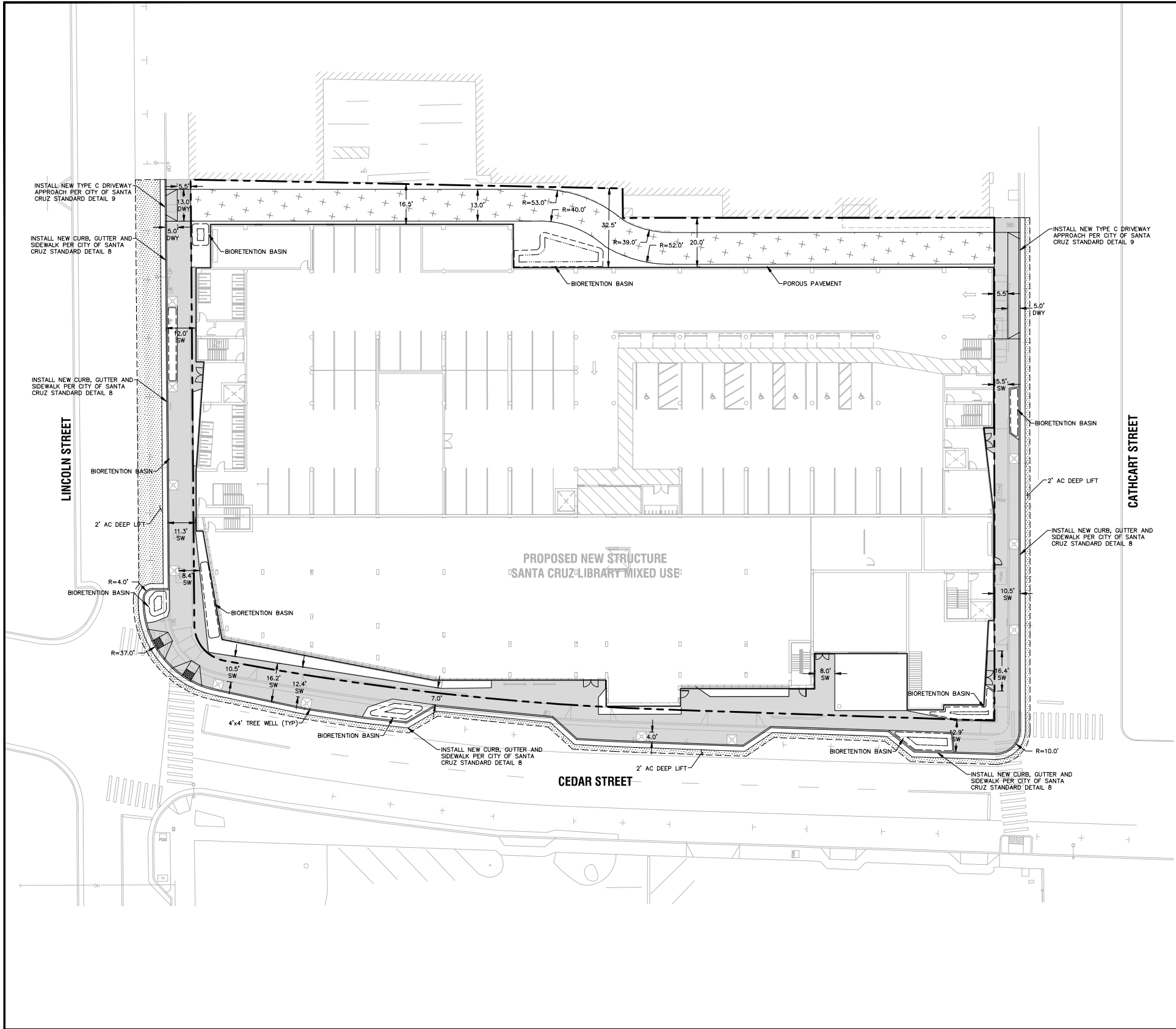


DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

SANTA CRUZ, CA
DATE: 09/08/22

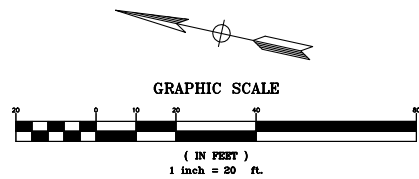
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PLOT DATE: 09-08-22 PLOTTED BY: onkw



LEGEND

PROPERTY LINE	---
VERTICAL CURB & GUTTER	=====
BIORETENTION BASIN	
CONCRETE SIDEWALK	=====
POROUS PAVEMENT	+ + + + +



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CALIFORNIA

SANTA CRUZ LIBRARY MIXED USE SITE PLAN

SANTA CRUZ COUNTY

SANTA CRUZ

Revisions	No.	Date	By	Check	Appr.

C2.0

CIVIL SITE PLAN

SCALE: N.T.S.



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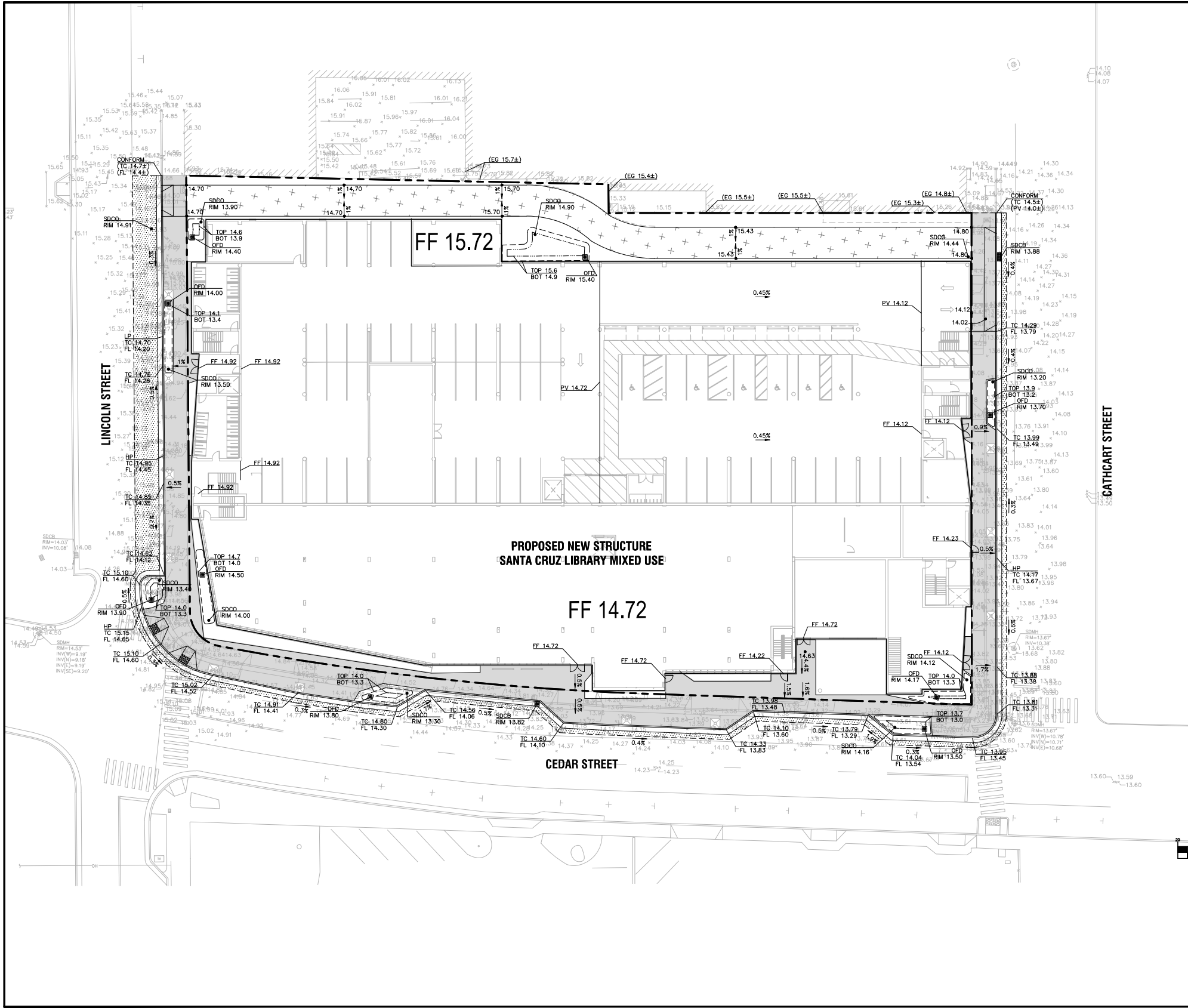
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DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

SANTA CRUZ, CA
DATE: 09/08/22

C2.0

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PLOT DATE: 09-08-22 PLOTTED BY: onkw



LEGEND

PROPERTY LINE	---
SAWCUT LINE	---
BIORETENTION AREA	[Pattern]
VERTICAL CURB & GUTTER	[Pattern]
NEW CONCRETE SIDEWALK	[Pattern]
NEW POROUS CONCRETE	[Pattern]
AC DEEPUFT	[Pattern]
FINISH FLOOR ELEVATION	FF 36.05
TOP OF CURB ELEVATION	TC 36.05
FLOW LINE ELEVATION ELEVATION	FL 36.05
PAVEMENT ELEVATION	PV 36.05
SLOPE/DIRECTION OF FLOW	SLOPE%

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CALIFORNIA

SANTA CRUZ LIBRARY MIXED USE GRADING AND DRAINAGE PLAN

SANTA CRUZ COUNTY

SANTA CRUZ

Revisions	No.	Date	By	Check

Sheet Number:
C3.0

GRADING & DRAINAGE

SCALE: N.T.S.

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DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

SANTA CRUZ, CA
DATE: 09/08/22

C3.0

UTILITY PLAN

SCALE: N.T.S.

TIER 3 RETENTION EXEMPTION SUMMARY

THE PROJECT SITE IS WITHIN A DESIGNATED URBAN SUSTAINABILITY AREA (USA)

TOTAL LOT AREA = 66,921 SF

- STRUCTURE COVERED AREA = 56,558 SF
 - LOT AREA = 66,921 SF
 - 56,558 SF/66,921 SF = 85% SF WITHIN 0.25 MILES OF A LOCAL TRANSIT STOP
- THE PROJECT IS EXEMPT FROM RUNOFF RETENTION REQUIREMENT

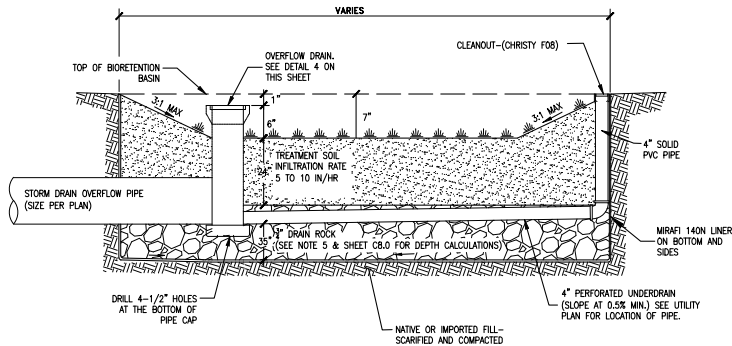
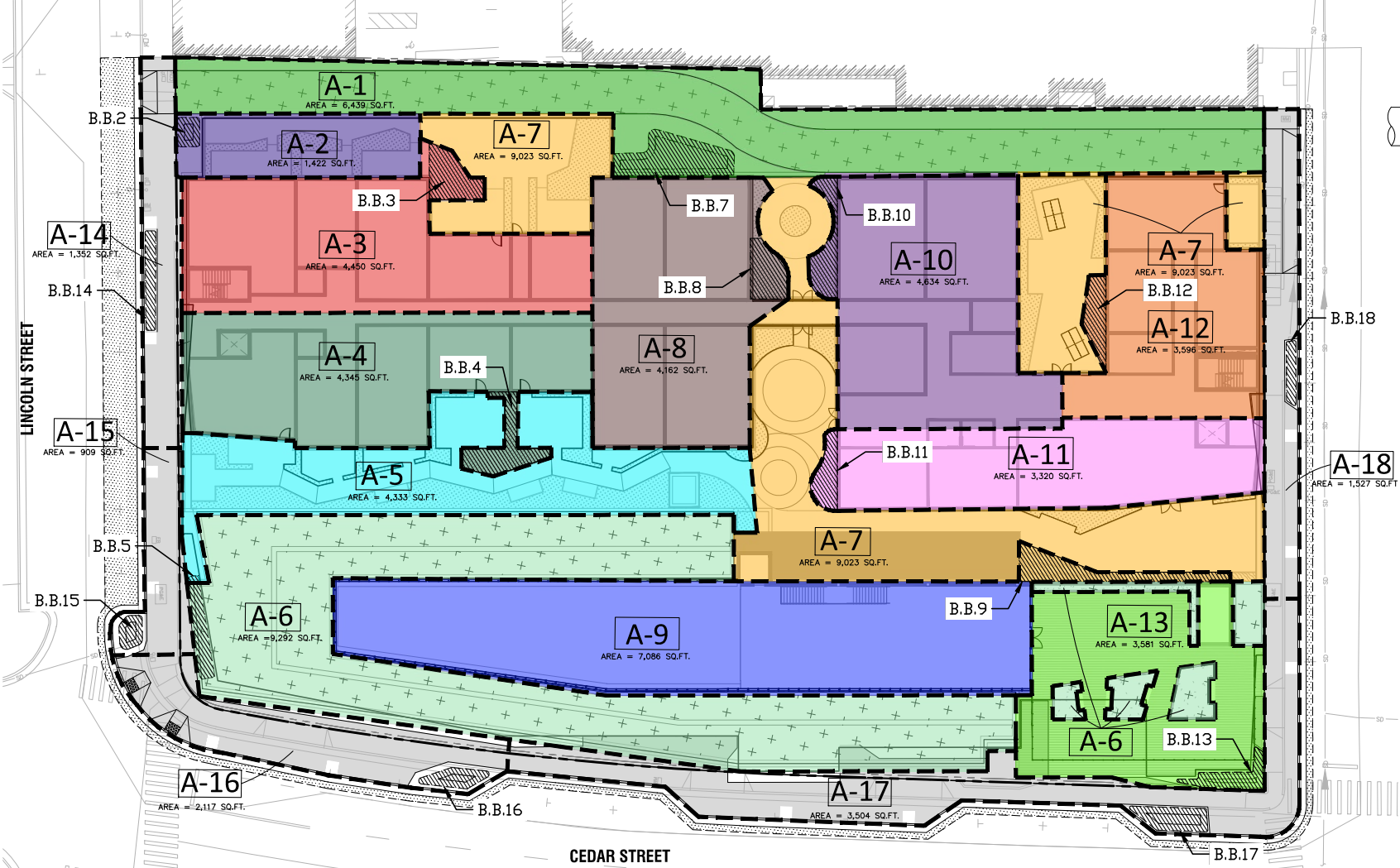
Drainage Management Area (DMA)	STORMWATER CONTROL MEASURE (SCM)	TOTAL AREA (SF)	IMPERVIOUS SURFACE (SF)	PERVIOUS SURFACE (SF)	STORM WATER CONTROL MEASURE	TREATMENT AREA REQUIRED (SF) (4% IMPERVIOUS SURFACE)	TREATMENT AREA PROVIDED (SF)
A-1	-	6,439	-	6,439	POROUS PAVEMENT	-	-
A-2	B.B.2	1,422	1,004	418	BIORETENTION BASIN	40	59
A-3	B.B.3	4,450	4,257	193	BIORETENTION BASIN	170	193
A-4	B.B.4	4,345	4,112	233	BIORETENTION BASIN	164	233
A-5	B.B.5	4,333	2,859	1,474	BIORETENTION BASIN	114	117
A-6	-	9,674	-	9,674	GREEN ROOF	-	-
A-7	B.B.7	9,023	7,457	1,566	BIORETENTION BASIN	298	315
A-8	B.B.8	4,162	3,931	231	BIORETENTION BASIN	157	172
A-9	B.B.9	7,086	6,795	291	BIORETENTION BASIN	272	291
A-10	B.B.10	4,634	4,442	192	BIORETENTION BASIN	178	192
A-11	B.B.11	3,320	3,185	135	BIORETENTION BASIN	127	135
A-12	B.B.12	3,596	3,449	147	BIORETENTION BASIN	138	147
A-13	B.B.13	3,076	2,949	127	BIORETENTION BASIN	118	127
A-14	B.B.14	1,352	1,246	106	BIORETENTION BASIN	50	52
A-15	B.B.15	909	805	104	BIORETENTION BASIN	32	44
A-16	B.B.16	2,117	1,896	221	BIORETENTION BASIN	76	85
A-17	B.B.17	3,469	3,252	217	BIORETENTION BASIN	130	138
A-18	B.B.18	1,439	1,329	110	BIORETENTION BASIN	53	54

REQUIREMENT CRITERIA

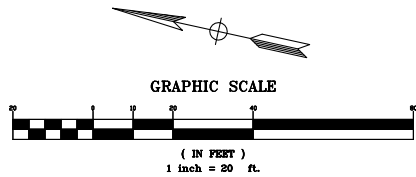
- TIER 1. RUNOFF REDUCTION
- SITE IMPERVIOUS SURFACE IS OPTIMIZED AND IMPERVIOUS SURFACE HAS BEEN DECREASED COMPARED TO PRE-PROJECT CONDITIONS.
- TIER 2. WATER QUALITY TREATMENT
- BIOTREATMENT AREA IS PROVIDED (MINIMUM 4% OF NEW IMPERVIOUS SURFACE)
- TIER 3. RETENTION REQUIREMENT
- EXEMPT. THE PROJECT SITE IS WITHIN AN URBAN SUSTAINABILITY AREA (USA) AND MEETS ALL OF THE SMALL PARCEL REQUIREMENTS (1-2 ACRE) AND IS WITHIN 0.25 MILES OF A TRANSIT HUB.
- TIER 4. PEAK FLOW MANAGEMENT
- EXEMPT. CURRENT SITE IS DISCHARGING TO THE SAN LORENZO RIVER.

LEGEND

PROPERTY LINE	---
DRAINAGE AREA BOUNDARY	----
BIORETENTION BASIN	▨
SELF TREATING AREA	+
LANDSCAPE AREA	▤
DRAINAGE AREA #	A-#
BIORETENTION BASIN #	BB#



TYPICAL TREATMENT BASIN SECTION



SANTA CRUZ LIBRARY MIXED USE
STORMWATER CONTROL PLAN

SANTA CRUZ
SANTA CRUZ COUNTY

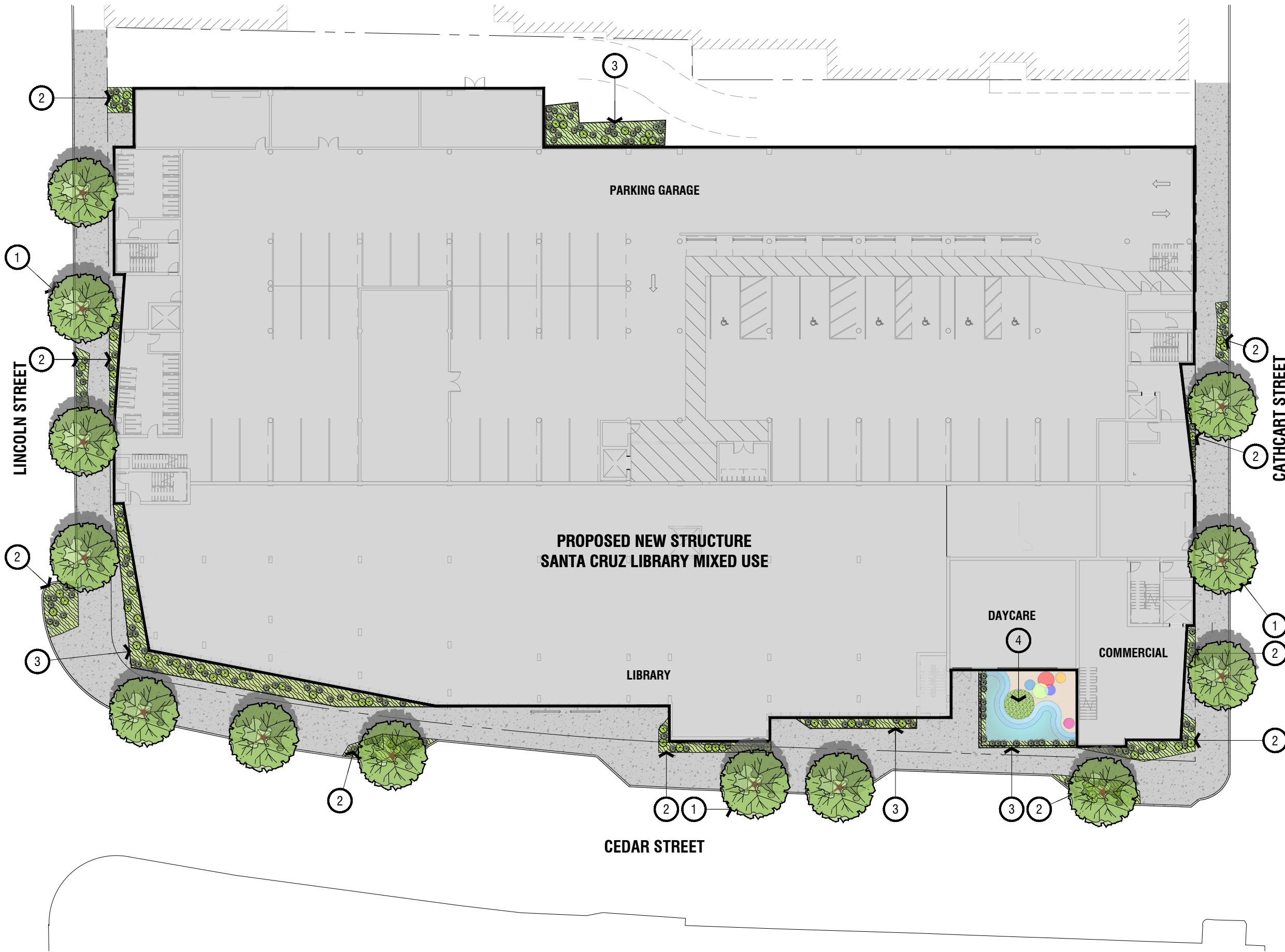
Revisions	No.	Date	By	Check	Appr.
	1	09/08/22	Design	Drawn	Approved
	2	09/08/22	Design	Drawn	Approved

Sheet Number:
C5.0

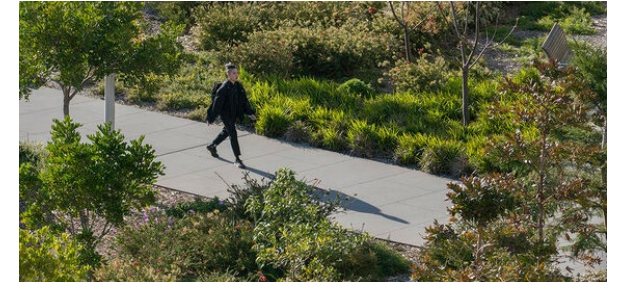
STORMWATER
CONTROL PLAN

SCALE: N.T.S.

DRAWING NAME: K:\2021\210922_SantaCruz_Library_MU\ENGINEERING\PLANNING\SHEETS\C5_0-SWCP.dwg
PLOT DATE: 09-08-22
PLOT BY: onkw

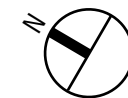


LANDSCAPE PRECEDENTS



KEYNOTES

1. (N) STREET TREES
2. (N) GROUND LEVEL STREET PLANTING
3. (N) RAISED STEEL PLANTERS
4. (N) DAY CARE PLAY PATIO

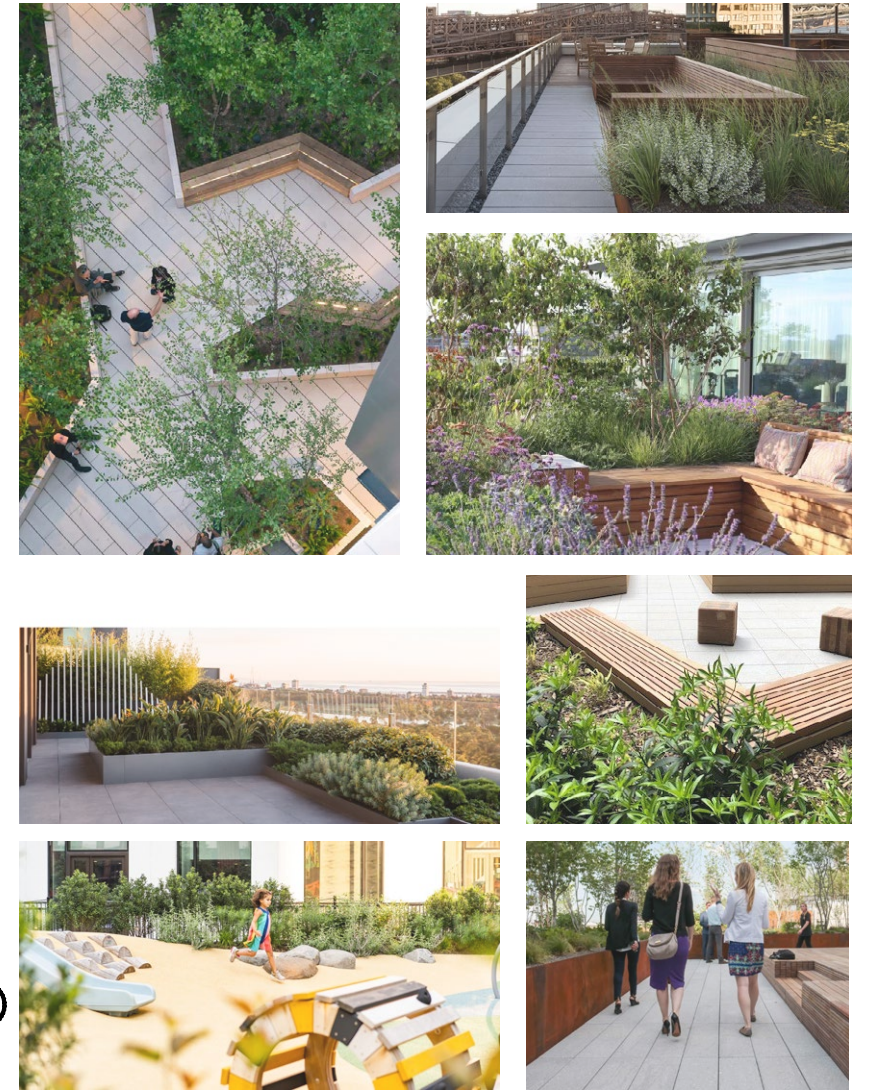


GROUND LANDSCAPE PLAN

SCALE: 1" = 30'-0"

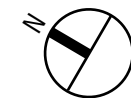


PODIUM PRECEDENTS



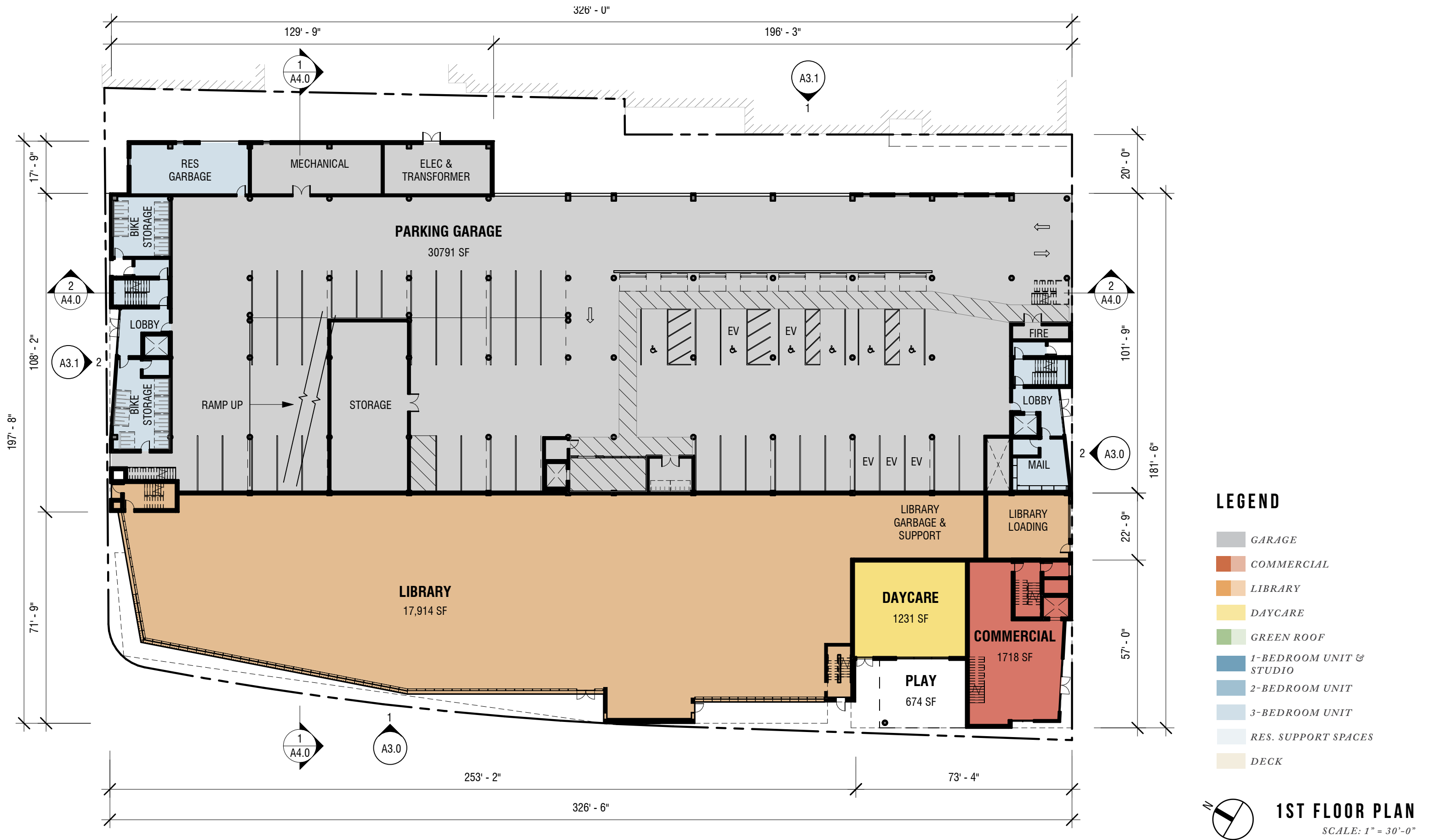
KEYNOTES

1. (N) TOT LOT, NATURE PLAY CLIMBING STRUCTURES AND PIP SURFACING
2. (N) TEEN COURTYARD WITH WEATHER PROOF SHUFFLEBOARD AND PING PONG TABLES
3. (N) PODIUM GARDEN WITH CONCRETE PLANK WALK
4. (N) RAISED VEGETABLE BEDS FOR RESIDENCE USE/MAINTENANCE
5. (N) COMMUNITY GATHERING SPACE
6. (N) PLANK WALK, CONCRETE
7. (N) PRIVATE RESIDENCE PATIO SPACE
8. (N) RAISED STEEL PLANTERS
9. (N) GREEN ROOF, BY OTHERS
10. (N) DECK



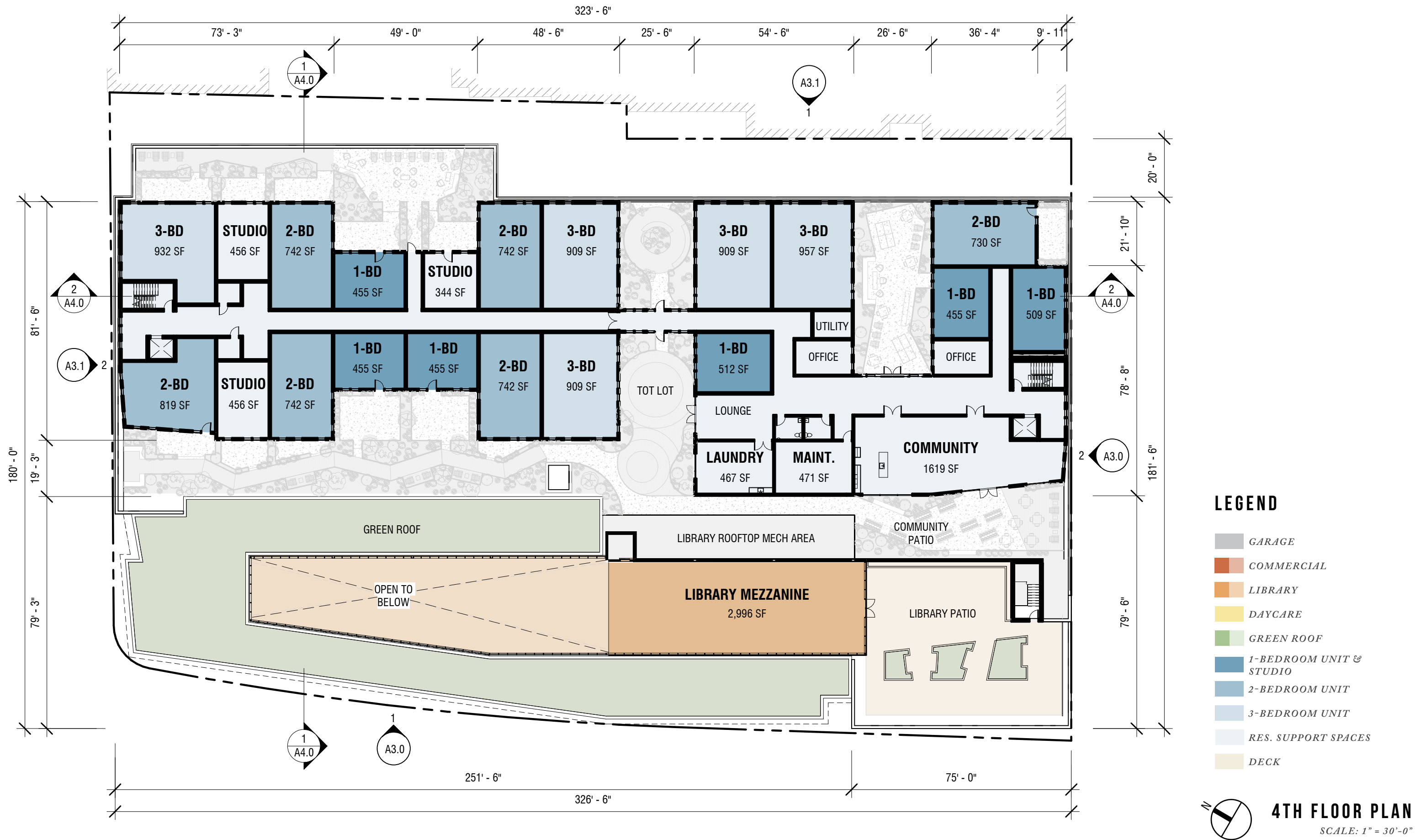
PODIUM LANDSCAPE PLAN

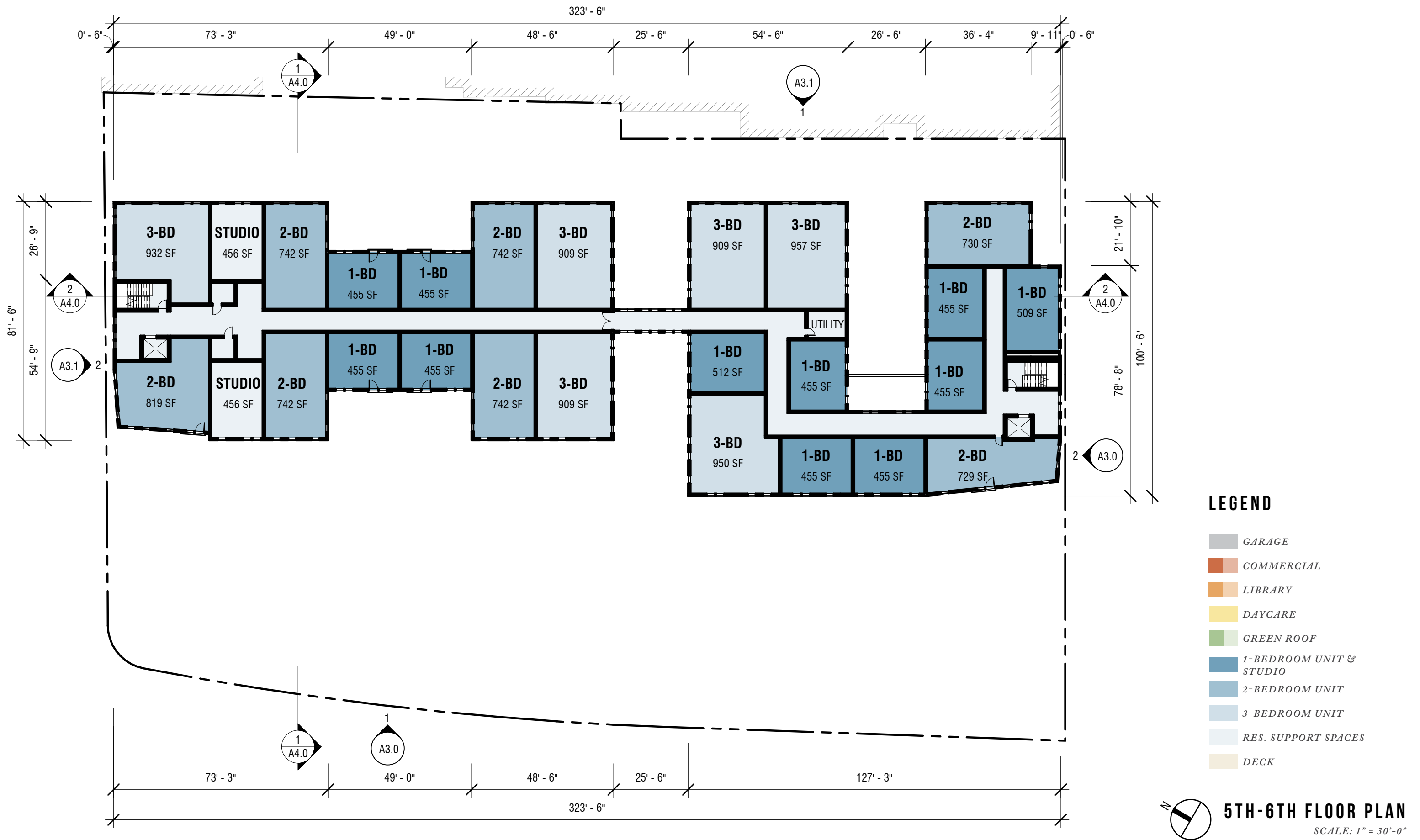
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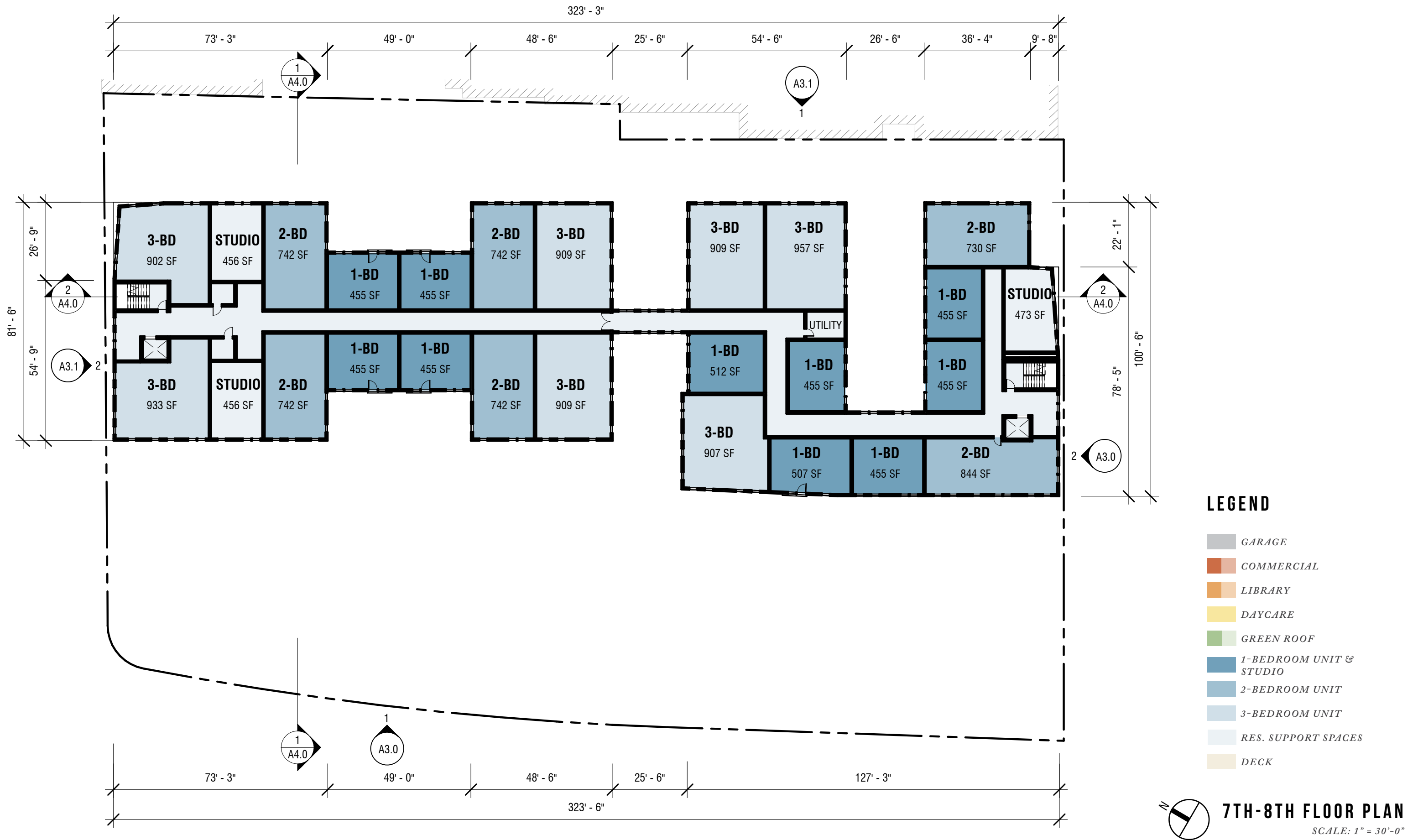


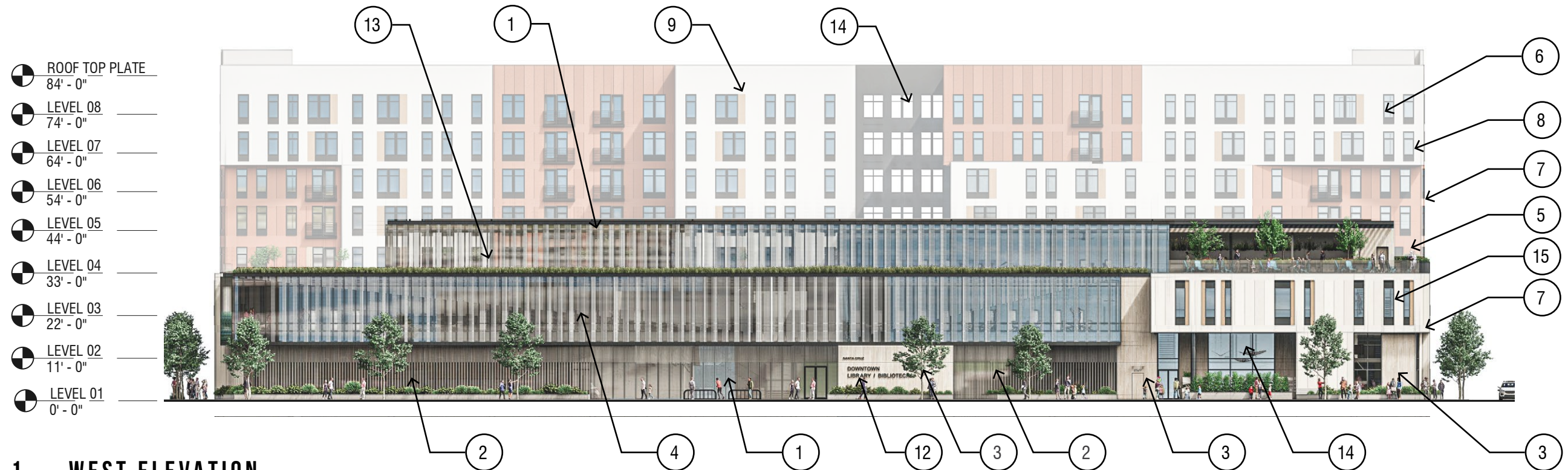












SCALE: 1" = 30'-0"

TOP OF ROOFTOP ACCESS STAIR: 95'-0"

TOP OF PARAPET: 91'-0"



SCALE: 1" = 30'-0"

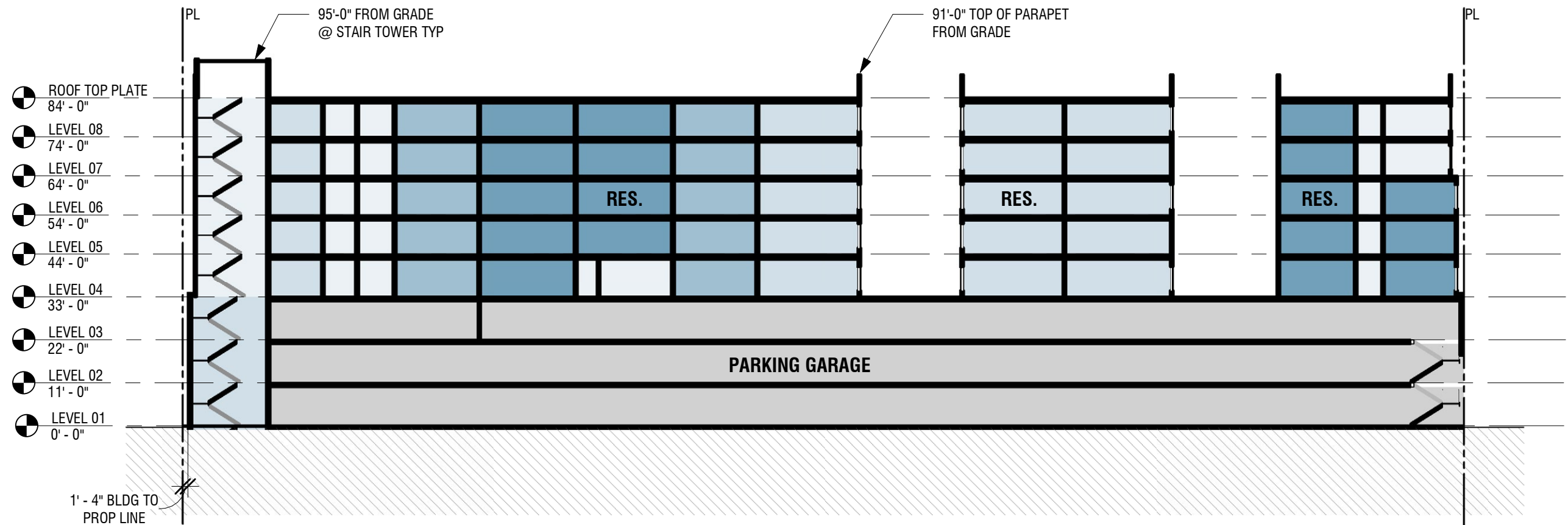
KEYNOTES

1. GLASS CURTAINWALL
2. GLASS CURTAINWALL WITH WOOD SLAT RAINSCREEN SYSTEM
3. WEATHERED WOOD TONGUE & GROOVE SIDING
4. GLASS CURTAINWALL WITH FRIT PATTERN
5. GLASS RAILING AT LIBRARY ROOF DECK
6. VINYL WINDOWS WITH BLACK EXTERIOR FINISH (AT RESIDENTIAL AREAS ONLY)
7. 3-TONE INTEGRAL COLOR STUCCO WITH METAL TRIM
8. SINGLE TONE FIELD COLOR INTEGRAL STUCCO
9. ACCENT INTEGRAL COLOR AT STUCCO AT WINDOWS
10. HORIZONTAL CONCRETE BASE, BOARD FORM TEXTURE
11. OPEN AIR OPENING AT GARAGE
12. MAIN BUILDING SIGNAGE
13. GREEN ROOF
14. GLASS STOREFRONT
15. THERMALLY BROKEN ALUMINUM WINDOWS



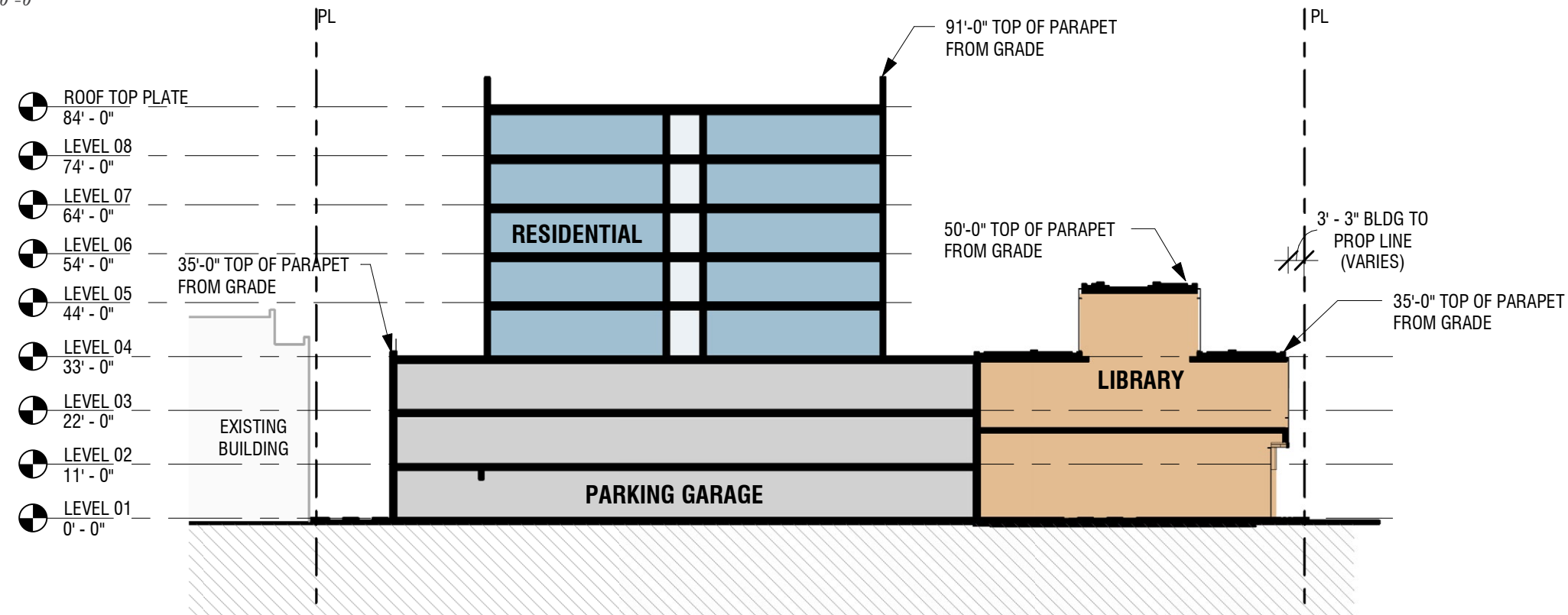
KEYNOTES

1. GLASS CURTAINWALL
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13. GREEN ROOF
14. GLASS STOREFRONT
15. THERMALLY BROKEN ALUMINUM WINDOWS



1 NORTH-SOUTH SECTION

SCALE: 1" = 30'-0"



2 EAST-WEST SECTION

SCALE: 1" = 30'-0"

LEGEND

- GARAGE
- COMMERCIAL
- LIBRARY
- DAYCARE
- GREEN ROOF
- 1-BEDROOM UNIT & STUDIO
- 2-BEDROOM UNIT
- 3-BEDROOM UNIT
- RES. SUPPORT SPACES
- DECK

BUILDING SECTIONS

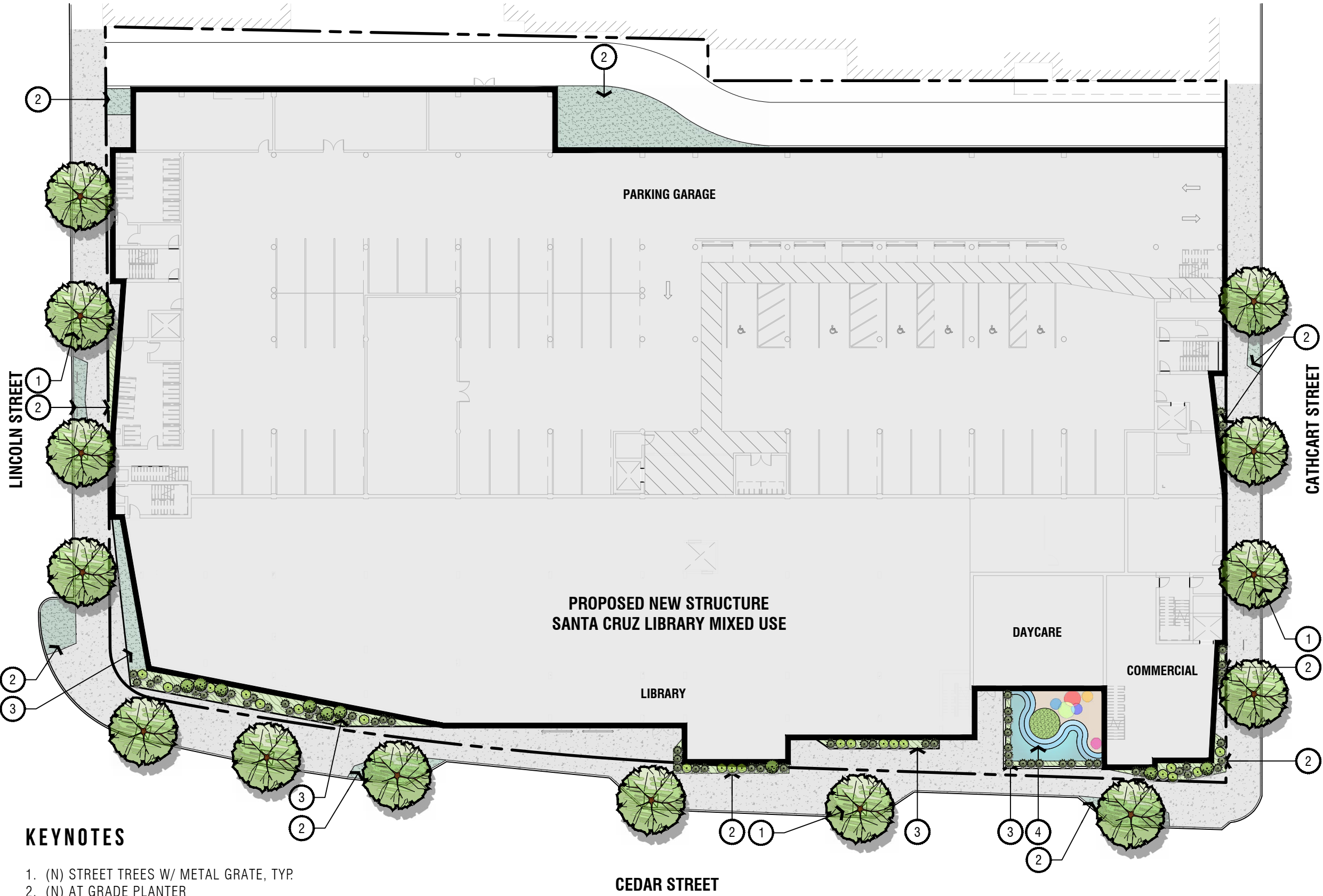
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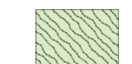
TENOVER

TO LEAVE THE WORLD
BETTER THAN WE
FOUND IT.



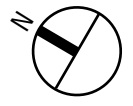


LANDSCAPE SCHEDULE

-  **CANOPY TREE** / 24" BOX MIN. *such as,*
Laurus x 'Saratoga' / Saratoga Hybrid Laurel
Platanus x acerifolia 'Columbia' / Columbia London Plane Tree
Pistacia chinensis / Chinese Pistache Tree
Quercus spp. / California Native Oak Species
-  **ORNAMENTAL GRASS** / 1 GAL MIN. *such as,*
Festuca californica 'River House Blues' / River House Blues California Fescue
Lomandra longifolia 'Roma 13' / Platinum Beauty®
Variegated Mat Rush
Pennisetum spathiolatum / Slender Veldt Grass
Sesleria autumnalis 'Campo Verde' / Campo Verde
Autumn Moor Grass
-  **FLOWERING PERENNIAL** / 1 GAL MIN. *such as,*
Drimia maritima / Sea Squill
Epilobium canum 'Sierra Salmon' / Sierra Salmon
California Fuchsia
Eriogonum fasciculatum / California Buckwheat
Santolina chamaecyparissus 'Nana' / Lavender Cotton
-  **LARGE NATIVE SHRUB** / 5 GAL MIN. *such as,*
Arctostaphylos densiflora 'Howard McMinn' / Howard McMinn Vine Hill Manzanita
Carpenteria californica / Bush Anemone
Fremontodendron californicum / CA Flannelbush
-  **ORNAMENTAL GROUNDCOVER** / 1 GAL MIN. *such as,*
Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita
Ceanothus griseus horizontalis 'Diamond Heights' / Diamond Heights Carmel Creeper
Dymondia margaretae / Silver Carpet Dymondia
-  **BIORETENTION PLANTING** / 4" POT MIN. *such as,*
Carex praegracilis / California Field Sedge
Chondropetalum tectorum 'Dwarf' / Dwarf Cape Rush
Juncus effusus 'Carman's Japanese' / Carman's Japanese Common Rush
Juncus patens 'Elk Blue' / Spreading Rush

PLANTING NOTE

1. STRUCTURED SOILS OR SILVA CELLS TO BE USED UNDER SIDEWALKS IN ORDER TO ENCOURAGE TREE VITALITY AND ROOT HEALTH.

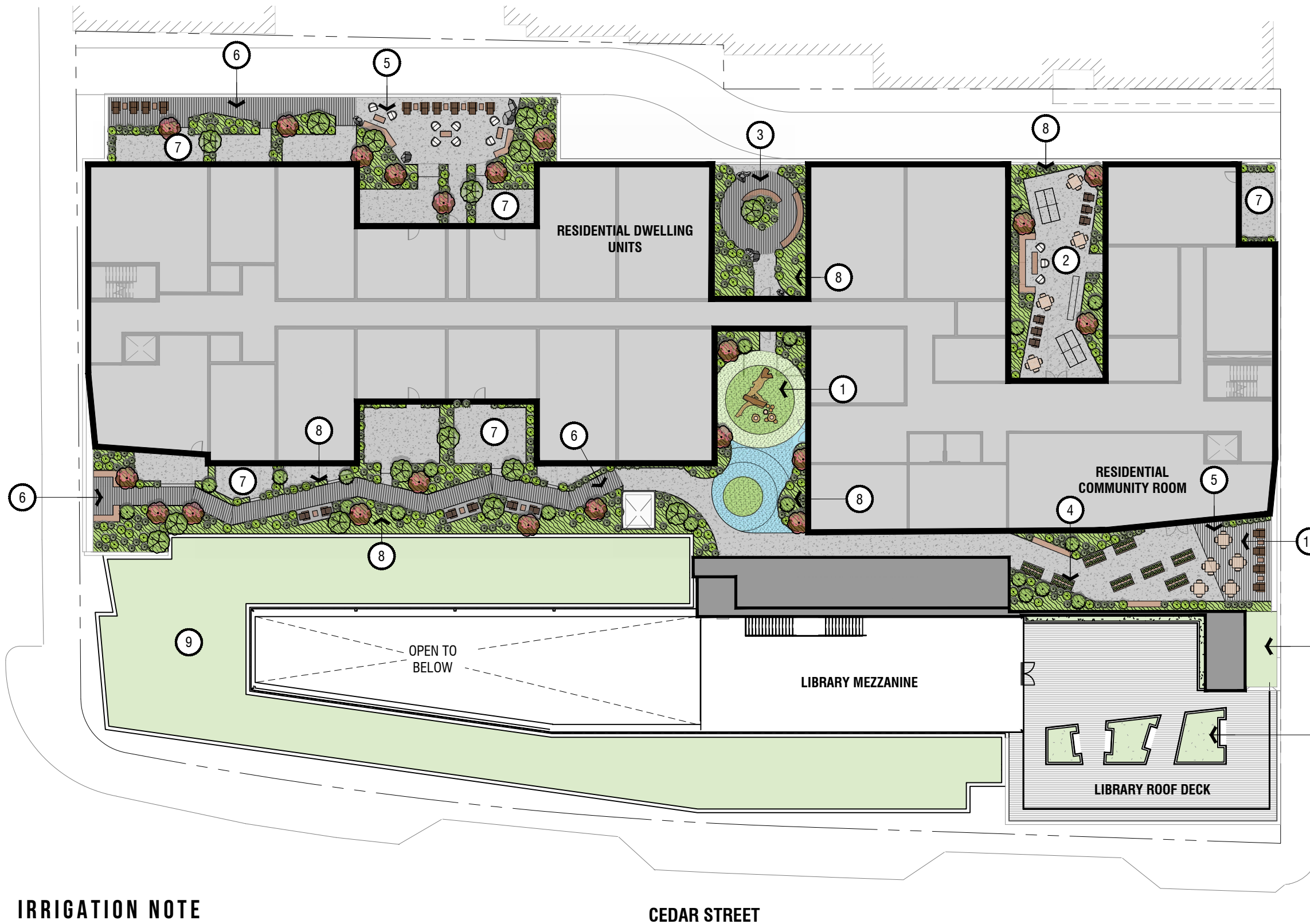


GROUND LANDSCAPE PLAN

SCALE: 1" = 30'-0"

KEYNOTES

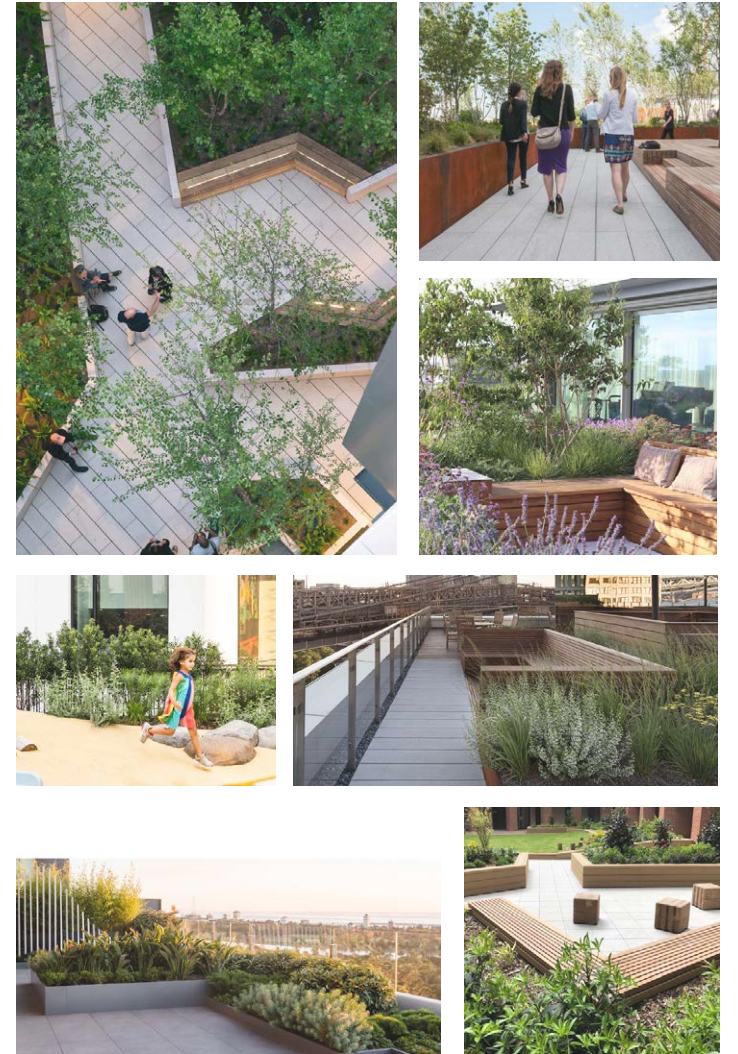
1. (N) STREET TREES W/ METAL GRATE, TYP.
2. (N) AT GRADE PLANTER
3. (N) RAISED STEEL PLANTERS
4. (N) DAY CARE PLAY PATIO



IRRIGATION NOTE

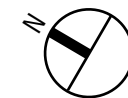
1. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH A PERMANENT UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE DESIGNED TO ADEQUATELY AND EFFICIENTLY WATER ALL SHRUB AREAS AND TREES.

LANDSCAPE PRECEDENTS



KEYNOTES

1. (N) TOT LOT, NATURE PLAY CLIMBING STRUCTURES AND PIP SURFACING
2. (N) TEEN COURTYARD WITH WEATHER PROOF SHUFFLEBOARD AND PING PONG TABLES
3. (N) PODIUM GARDEN WITH CONCRETE PLANK WALK
4. (N) RAISED VEGETABLE BEDS FOR RESIDENCE USE/ MAINTENANCE
5. (N) COMMUNITY GATHERING SPACE
6. (N) PLANK WALK, CONCRETE
7. (N) PRIVATE RESIDENCE PATIO SPACE
8. (N) RAISED STEEL PLANTERS
9. (N) GREEN ROOF, BY OTHERS
10. (N) DECK



PODIUM LANDSCAPE PLAN

SCALE: 1" = 30'-0"

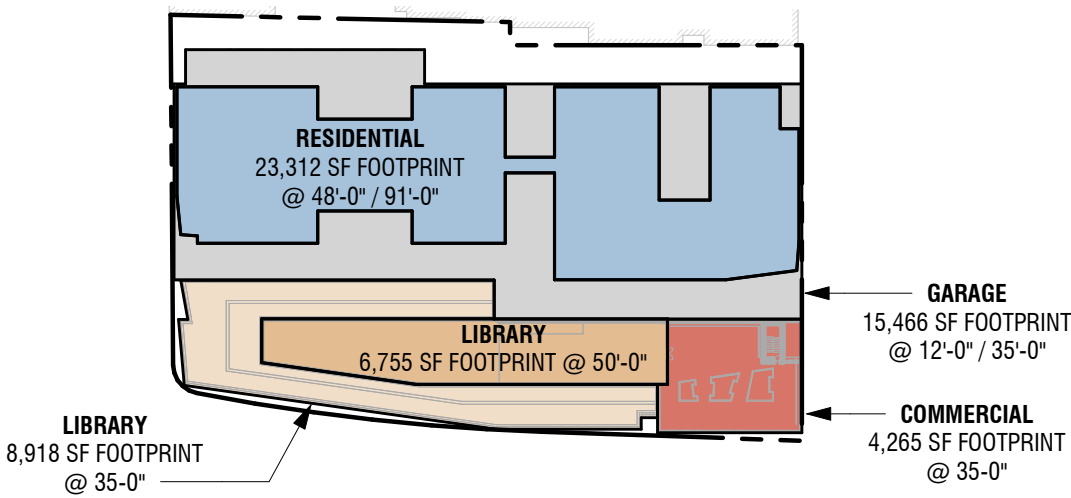
BASE DENSITY VS PROPOSED DENSITY

BASE PROJECT

GROSS SQUARE FOOTAGE	153,180 SF				
	NOTE: LIBRARY REDUCED BY 3,218 SF				
BUILDING HEIGHT	COMMERCIAL:	35'-0"			
(GRADE TO PARAPET)	LIBRARY:	50'-0"			
	RESIDENTIAL:	48'-0"			
STORIES ABOVE GRADE	4				
FAR	ALLOWABLE: 0.25- 5.0	66921 SF LOT AREA	FAR:	2.29	
# OF UNITS	72 UNITS				
DENSITY	46.45 UNITS/ACRE				
PARKING	80				
CONCESSIONS REQUIRED	NONE				

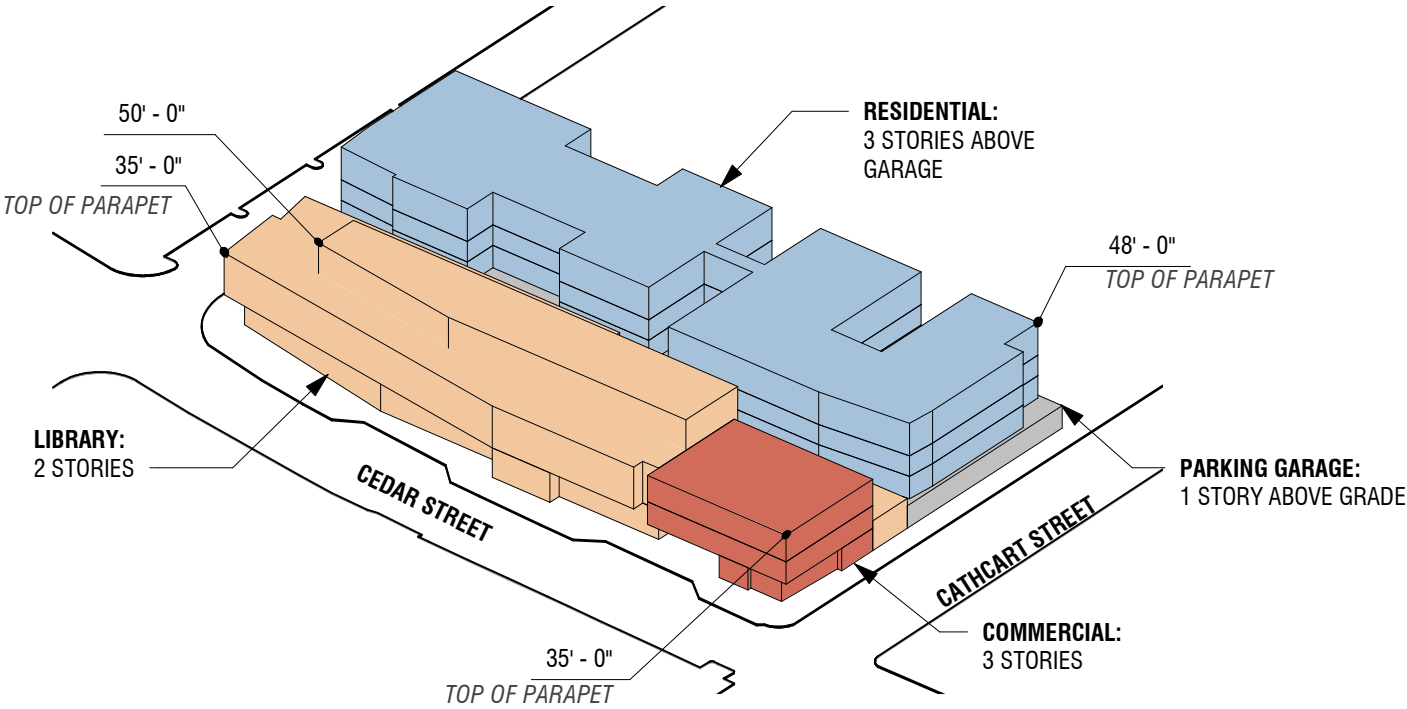
PROPOSED PROJECT

GROSS SQUARE FOOTAGE	273,194 SF			
BUILDING HEIGHT	BUILDING FOOTPRINT AREA BELOW 50' HEIGHT			
(GRADE TO PARAPET)	GARAGE/COMMERCIAL:	35'-0"	28,649 SF SITE AREA	42.81%
	LIBRARY:	50'-0"	6,755 SF SITE AREA	10.09%
			TOTAL:	52.90%
	BUILDING FOOTPRINT AREA ABOVE 50' HEIGHT			
	RESIDENTIAL:	91'-0"	23,312 SF SITE AREA	34.84%
			TOTAL:	34.84%
STORIES ABOVE GRADE	8			
FAR	ALLOWABLE: 0.25- 5.0	66921 SF LOT AREA	FAR:	4.08
# OF UNITS	124 UNITS			
DENSITY	80 UNITS/ACRE			
PARKING	243			
CONCESSIONS REQUIRED	HEIGHT EXCEPTION FOR RESIDENTIAL COMPONENT			



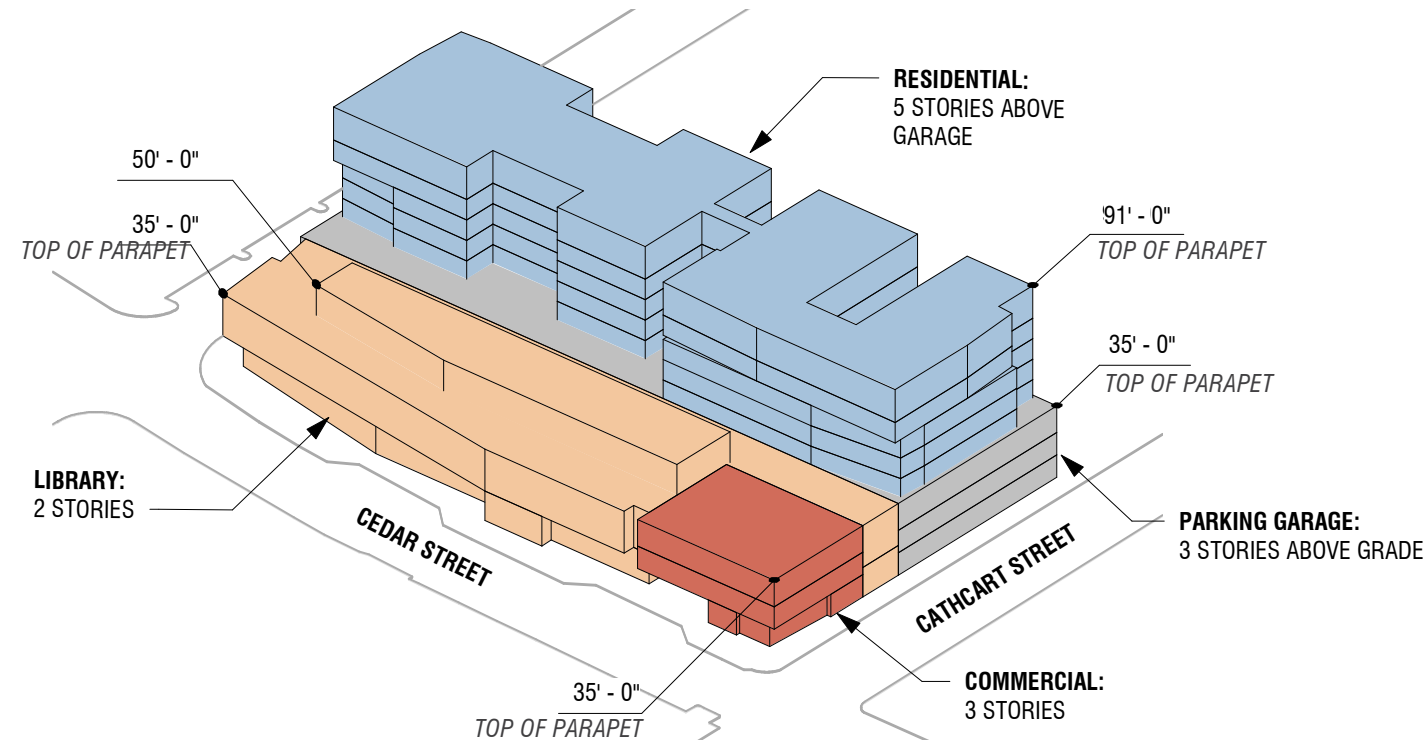
SITE AREA DIAGRAM - PROPOSED DENSITY

NOTE: HEIGHTS ARE TO TOP OF PARAPET FROM GRADE



BASE DENSITY - 3D DIAGRAM

NOTE: HEIGHTS ARE TO TOP OF PARAPET FROM GRADE



PROPOSED DENSITY - 3D DIAGRAM

NOTE: HEIGHTS ARE TO TOP OF PARAPET FROM GRADE






QuickFacts

Santa Cruz city, California


QuickFacts provides statistics for all states and counties, and for cities and towns with a *population of 5,000 or more*.


Table

All Topics ▼	Santa Cruz city, California
Population Estimates, July 1 2021, (V2021)	61,950
PEOPLE	
Population	
Population Estimates, July 1 2021, (V2021)	61,950
Population estimates base, April 1, 2020, (V2021)	62,341
Population, percent change - April 1, 2020 (estimates base) to July 1, 2021, (V2021)	-0.6%
Population, Census, April 1, 2020	62,956
Population, Census, April 1, 2010	59,946
Age and Sex	
Persons under 5 years, percent	3.1%
Persons under 18 years, percent	12.7%
Persons 65 years and over, percent	12.5%
Female persons, percent	50.6%
Race and Hispanic Origin	
White alone, percent	72.6%
Black or African American alone, percent (a)	2.1%
American Indian and Alaska Native alone, percent (a)	0.7%
Asian alone, percent (a)	10.3%
Native Hawaiian and Other Pacific Islander alone, percent (a)	0.1%
Two or More Races, percent	7.7%
Hispanic or Latino, percent (b)	20.7%
White alone, not Hispanic or Latino, percent	62.1%
Population Characteristics	
Veterans, 2016-2020	1,831
Foreign born persons, percent, 2016-2020	13.7%
Housing	
Housing units, July 1, 2021, (V2021)	X
Owner-occupied housing unit rate, 2016-2020	46.3%
Median value of owner-occupied housing units, 2016-2020	\$895,800
Median selected monthly owner costs -with a mortgage, 2016-2020	\$3,051
Median selected monthly owner costs -without a mortgage, 2016-2020	\$672
Median gross rent, 2016-2020	\$2,038
Building permits, 2021	X
Families & Living Arrangements	
Households, 2016-2020	22,644
Persons per household, 2016-2020	2.41
Living in same house 1 year ago, percent of persons age 1 year+, 2016-2020	71.0%
Language other than English spoken at home, percent of persons age 5 years+, 2016-2020	26.7%
Computer and Internet Use	
Households with a computer, percent, 2016-2020	95.6%
Households with a broadband Internet subscription, percent, 2016-2020	92.2%
Education	
High school graduate or higher, percent of persons age 25 years+, 2016-2020	95.3%
Bachelor's degree or higher, percent of persons age 25 years+, 2016-2020	54.3%
Health	
With a disability, under age 65 years, percent, 2016-2020	7.0%
Persons without health insurance, under age 65 years, percent	5.0%
Economy	
In civilian labor force, total, percent of population age 16 years+, 2016-2020	63.0%

In civilian labor force, female, percent of population age 16 years+, 2016-2020	61.9%
Total accommodation and food services sales, 2017 (\$1,000) (c)	384,551
Total health care and social assistance receipts/revenue, 2017 (\$1,000) (c)	408,761
Total transportation and warehousing receipts/revenue, 2017 (\$1,000) (c)	26,770
Total retail sales, 2017 (\$1,000) (c)	984,658
Total retail sales per capita, 2017 (c)	\$15,103
Transportation	
Mean travel time to work (minutes), workers age 16 years+, 2016-2020	23.0
Income & Poverty	
Median household income (in 2020 dollars), 2016-2020	\$86,618
Per capita income in past 12 months (in 2020 dollars), 2016-2020	\$41,594
Persons in poverty, percent	 20.2%
 BUSINESSES	
Businesses	
Total employer establishments, 2020	X
Total employment, 2020	X
Total annual payroll, 2020 (\$1,000)	X
Total employment, percent change, 2019-2020	X
Total nonemployer establishments, 2019	X
All employer firms, Reference year 2017	1,847
Men-owned employer firms, Reference year 2017	938
Women-owned employer firms, Reference year 2017	364
Minority-owned employer firms, Reference year 2017	256
Nonminority-owned employer firms, Reference year 2017	1,259
Veteran-owned employer firms, Reference year 2017	S
Nonveteran-owned employer firms, Reference year 2017	1,487
 GEOGRAPHY	
Geography	
Population per square mile, 2020	4,941.6
Population per square mile, 2010	4,705.2
Land area in square miles, 2020	12.74
Land area in square miles, 2010	12.74
FIPS Code	0669112

Value Notes

 Estimates are not comparable to other geographic levels due to methodology differences that may exist between different data sources.

Some estimates presented here come from sample data, and thus have sampling errors that may render some apparent differences between geographies statistically indistinguishable. Click the Quick Info  icon to the row in TABLE view to learn about sampling error.

The vintage year (e.g., V2021) refers to the final year of the series (2020 thru 2021). Different vintage years of estimates are not comparable.

Users should exercise caution when comparing 2016-2020 ACS 5-year estimates to other ACS estimates. For more information, please visit the [2020 5-year ACS Comparison Guidance](#) page.

Fact Notes

- (a) Includes persons reporting only one race
- (c) Economic Census - Puerto Rico data are not comparable to U.S. Economic Census data
- (b) Hispanics may be of any race, so also are included in applicable race categories

Value Flags

- Either no or too few sample observations were available to compute an estimate, or a ratio of medians cannot be calculated because one or both of the median estimates falls in the lowest or upper int open ended distribution.
- F Fewer than 25 firms
- D Suppressed to avoid disclosure of confidential information
- N Data for this geographic area cannot be displayed because the number of sample cases is too small.
- FN Footnote on this item in place of data
- X Not applicable
- S Suppressed; does not meet publication standards
- NA Not available
- Z Value greater than zero but less than half unit of measure shown

QuickFacts data are derived from: Population Estimates, American Community Survey, Census of Population and Housing, Current Population Survey, Small Area Health Insurance Estimates, Small Area Income and F Estimates, State and County Housing Unit Estimates, County Business Patterns, Nonemployer Statistics, Economic Census, Survey of Business Owners, Building Permits.

CONNECT WITH US

























QuickFacts

Santa Cruz County, California

QuickFacts provides statistics for all states and counties, and for cities and towns with a **population of 5,000 or more**.


Table

<div> <div>All Topics</div> <div></div> </div>		Santa Cruz County, California
Population Estimates, July 1 2021, (V2021)		 267,792
 PEOPLE		
Population		
Population Estimates, July 1 2021, (V2021)		 267,792
Population estimates base, April 1, 2020, (V2021)		 270,861
Population, percent change - April 1, 2020 (estimates base) to July 1, 2021, (V2021)		 -1.1%
Population, Census, April 1, 2020		270,861
Population, Census, April 1, 2010		262,382
Age and Sex		
Persons under 5 years, percent		 4.4%
Persons under 18 years, percent		 18.6%
Persons 65 years and over, percent		 18.3%
Female persons, percent		 50.3%
Race and Hispanic Origin		
White alone, percent		 86.6%
Black or African American alone, percent (a)		 1.5%
American Indian and Alaska Native alone, percent (a)		 1.9%
Asian alone, percent (a)		 5.3%
Native Hawaiian and Other Pacific Islander alone, percent (a)		 0.2%
Two or More Races, percent		 4.4%
Hispanic or Latino, percent (b)		 34.4%
White alone, not Hispanic or Latino, percent		 56.2%
Population Characteristics		
Veterans, 2016-2020		10,391
Foreign born persons, percent, 2016-2020		17.5%
Housing		
Housing units, July 1, 2021, (V2021)		106,543
Owner-occupied housing unit rate, 2016-2020		60.3%
Median value of owner-occupied housing units, 2016-2020		\$787,000
Median selected monthly owner costs -with a mortgage, 2016-2020		\$2,934
Median selected monthly owner costs -without a mortgage, 2016-2020		\$701
Median gross rent, 2016-2020		\$1,843
Building permits, 2021		598
Families & Living Arrangements		
Households, 2016-2020		96,275
Persons per household, 2016-2020		2.70
Living in same house 1 year ago, percent of persons age 1 year+, 2016-2020		85.1%
Language other than English spoken at home, percent of persons age 5 years+, 2016-2020		32.4%
Computer and Internet Use		
Households with a computer, percent, 2016-2020		94.3%
Households with a broadband Internet subscription, percent, 2016-2020		90.4%
Education		
High school graduate or higher, percent of persons age 25 years+, 2016-2020		88.3%
Bachelor's degree or higher, percent of persons age 25 years+, 2016-2020		41.8%
Health		
With a disability, under age 65 years, percent, 2016-2020		8.2%
Persons without health insurance, under age 65 years, percent		 8.0%
Economy		
In civilian labor force, total, percent of population age 16 years+, 2016-2020		64.3%

In civilian labor force, female, percent of population age 16 years+, 2016-2020	60.0%
Total accommodation and food services sales, 2017 (\$1,000) (c)	831,920
Total health care and social assistance receipts/revenue, 2017 (\$1,000) (c)	2,175,189
Total transportation and warehousing receipts/revenue, 2017 (\$1,000) (c)	168,432
Total retail sales, 2017 (\$1,000) (c)	4,650,375
Total retail sales per capita, 2017 (c)	\$16,919
Transportation	
Mean travel time to work (minutes), workers age 16 years+, 2016-2020	27.5
Income & Poverty	
Median household income (in 2020 dollars), 2016-2020	\$89,986
Per capita income in past 12 months (in 2020 dollars), 2016-2020	\$44,278
Persons in poverty, percent	⚠ 10.7%
 BUSINESSES	
Businesses	
Total employer establishments, 2020	6,985
Total employment, 2020	82,173
Total annual payroll, 2020 (\$1,000)	4,210,546
Total employment, percent change, 2019-2020	-0.1%
Total nonemployer establishments, 2019	24,733
All employer firms, Reference year 2017	6,263
Men-owned employer firms, Reference year 2017	3,452
Women-owned employer firms, Reference year 2017	1,108
Minority-owned employer firms, Reference year 2017	1,009
Nonminority-owned employer firms, Reference year 2017	4,449
Veteran-owned employer firms, Reference year 2017	260
Nonveteran-owned employer firms, Reference year 2017	5,238
 GEOGRAPHY	
Geography	
Population per square mile, 2020	608.5
Population per square mile, 2010	589.4
Land area in square miles, 2020	445.11
Land area in square miles, 2010	445.17
FIPS Code	06087

Value Notes

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Some estimates presented here come from sample data, and thus have sampling errors that may render some apparent differences between geographies statistically indistinguishable. Click the Quick Info  icon to the row in TABLE view to learn about sampling error.

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- (b) Hispanics may be of any race, so also are included in applicable race categories

Value Flags

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QuickFacts data are derived from: Population Estimates, American Community Survey, Census of Population and Housing, Current Population Survey, Small Area Health Insurance Estimates, Small Area Income and F Estimates, State and County Housing Unit Estimates, County Business Patterns, Nonemployer Statistics, Economic Census, Survey of Business Owners, Building Permits.

Project Location

City of Santa Cruz, CA 95060

113 Lincoln Street (APN # 005-141-11)

119 Lincoln Street (APN # 005-141-21)

Description of the Proposed Project

Eden Housing, Inc. (EDEN) and For the Future Housing, Inc. (FTF), in partnership with the City of Santa Cruz, is proposing to redevelop a 1.54-acre site owned by the city and a private commercial owner.

The Downtown Library Mixed Use project is a proposed mixed-use housing development located at 119 Lincoln Street, Santa Cruz, CA 95060 in Downtown Santa Cruz at a city-owned surface parking lot (Lot 4), off the intersection of Cathcart Street and Cedar Street. The development features a multi-story mixed-use building that includes: a mix of 124 units including studios, one, two, and three-bedroom homes, a modern public library facility with resources for all, a childcare facility, a three-story commercial component that will be home to future restaurant, retail or office options, and a public parking garage that includes 243 parking spaces.

The Downtown Library Mixed-Use multifamily housing development will be a 124-unit, 7-story concrete, and wood frame structure with a mix of Studio, 1-BR, 2-BR, and 3-BR units. Nineteen (19) units will be set aside for extremely low-income (ELI) households, 1 unit will be set aside as Manager's units, and the remaining units 104 units will be restricted to very low-income individuals and families. 9 of the units will be rented to families or individuals who are developmentally disabled. Up to 50 units will come with Section 8 Project Based Vouchers so families will not be paying more than 30% of their income for housing. Fifty-nine (59) additional units will be set aside for households earning below 50% AMI and forty-five (45) units will be set aside for households earning below 60% AMI.

Residential units will be located on floors 3-7, and the 7th floor will serve as the social hub of the building with amenity spaces such as an outdoor roof deck space for residents, a community room for gatherings, a tot lot with nature play climbing structure, a teen courtyard with shuffleboard and ping pong and a central laundry facility. The rooftop space will have lounging/seating and community garden raised beds.

To support all modes of transportation and throughout the site, there are more than 250 bike parking locations proposed. There will be spaces for both public and private use, with a separate, secured bike parking located side the parking garage for resident tenants as well as a library, daycare, and commercial employees. Parking is unbundled in that there will be a three-story parking garage built under the residential units, but no apartment has a reserved space.

Some of the community amenities planned include: wi-fi connectivity and free use for residents;

a technology learning center equipped with computers and other learning center media; a rooftop atrium with areas for small children and older children to recreate and relax; onsite laundry facilities; onsite after school programs and wellness programs.

There are numerous neighborhood services in a 1/2-mile radius that include: grocery stores, banking centers, social service agencies; eateries, parks, community centers.

Most importantly, this community is being built with a state-of-the-art public library facility attached. Climate adaptive features include building with sustainable materials and including climate changing optimization mechanisms that are smart and adapt to the weather conditions, solar power, passive heat island features and low flow water features.

Onsite resident service providers with dedicated offices will be available to help residents with activities such as applying for entitlements/benefits, finding employment, receiving job training, accessing affordable healthcare and insurance, and receiving legal and tax preparation assistance. Service providers will also organize on-site classes/trainings to increase life skills, self-sufficiency, and personal advancement opportunities. Examples of classes include financial literacy, digital literacy, ESL, nutrition, food cultivation, food preparation, green cleaning, bicycle maintenance, and parenting.

Offsite Infrastructure Capital Project Scope

The Downtown Library Mixed Use Project is a flagship project in Downtown Santa Cruz and will support the continued redevelopment of the Downtown area. The following is a scope of work for offsite improvements and land readiness. Without these improvements, the project would not be possible to be constructed.

- Acquisition of commercial building for the construction of a public alley and emergency site access.
- Demolition of the commercial building and surface parking lot for the construction of a new mixed-use project.
- Relocation costs and reimbursements to the commercial business currently operating as Toadal Fitness.
- Utility infrastructure improvements including sewer, water, drainage facilities and undergrounding of vital utilities to the project line.
- Public parking structure with 243 parking spaces.
- Bicycle parking facilities (Type I and II) for public and residential use.
- Traffic and public transit mitigation measure for calming, including pull-outs, pedestrian islands, and newly redesigned sidewalks.
- Additional offsite planting of street trees (not on the project) to replace and mitigate heritage tree removal on the subject property.
- Site preparation, grading and geopiering to support the construction of the building.

From: [Karen Kaplan](#)
To: [Bonnie Bush](#); [City Plan](#); [Fred Keeley](#); [City Council](#); [Board Of Supervisors](#); justin.cummings@santacruzcounty.us
Subject: CORRECTION: Thurs. Feb. 23, 7PM & Tues. Feb 28, SC Planning & City Council Mtgs. - Save Heritage Trees
Date: Monday, February 06, 2023 5:35:10 PM
Attachments: [image.png](#)
[image.png](#)

Dear Planning Commissioners, Mayor Fred Keeley, Vice Mayor Renee Golder, Santa Cruz City Council Members: Sandy Brown, Sonja Brunner, Shebreh Kalantari-Johnson, Scott Newsome, Martine Watkins, Supervisor Justin Cummings, and Board of Supervisors:

RE: Thurs. Feb. 23, 7PM & Tues. Feb 28, SC Planning Commission & City Council Meetings - Save Heritage Trees

Thursday, February 23, 7 PM

[Santa Cruz Planning Commission Meeting](#) - [Save Heritage Trees](#)

809 Center Street, Room 10

Santa Cruz, CA 95060

(831) 420-5020

and

Tuesday, February 28, (*Tentative Date & Time TBD.)

[Santa Cruz City Council Meeting](#) - [Save Heritage Trees](#)

City Council Chambers

809 Center Street

Santa Cruz, CA 95060

(831) 420-5020

Meetings are open to the public and are online.

***Link to online meetings is [HERE](#).**

***People are encouraged to attend both meetings and express concerns about the project.**

[Please save and design around heritage trees.](#)



The Santa Cruz Planning Commission meeting and Santa Cruz City Council meeting are to consider whether or not to demolish the "Farmer's Market" plaza/parking lot #4 and chop down all of the large heritage trees, when developers do not have \$100 million needed to complete the proposed new library and multi-story parking garage building project.

Historical Significance:

The "Food Not Bombs" distribution site was under a large heritage tree in the Farmers Market parking lot for many years. It brings fond memories of the community sharing food, music and survival. It deserves a commemorative plaque of gratitude for feeding all who were hungry. All meals were healthy vegan, at no cost to the city. All food was donated and served by volunteers. No animals died to feed the homeless. Co-founder of the international organization is a Santa Cruz resident. The Food Not Bombs tree would be a tourist attraction for people to visit from all over the world. It signifies a community message of peace. **Please don't chop it down!**

- Trees hold significant meaning and historical memories for many residents and tourists.
- Save the tall and beautiful Liquid Ambers and mature Magnolia Trees.
- Do not kill or remove any trees when developers do not have adequate funds to complete the building project and may never obtain them.
- Trees should not be destroyed before funding is secured to build the parking garage and library.
- Save our priceless, natural heritage trees that will take more than 75 years to be replaced!

Thank you for your immediate and urgent consideration.

Karen Kaplan

Resident of Santa Cruz County Since 1974

From: [Pauline Seales](#)
To: [City Plan](#)
Subject: Feb 23 Planning Commission Meeting
Date: Monday, February 06, 2023 5:21:19 PM

Dear Planning Commission

I am writing to express concerns about this planned meeting. which was posted in the Sentinel.

1.

The timing! The mayor, Fred Keeley, has promised a complete project review at the city council 2/28/23. For the planning commission to conduct this meeting PRIOR to the council meeting would be counterproductive.

Therefore I request that your meeting be held in March.

2.

The city council has resumed allowing the public into the council chamber with masks/proof of vaccination. The type of engagement you are allowing in this case strongly discourages public involvement. Therefore, whenever you reschedule this meeting, please open the council chamber to the public.

Thank you.

Pauline Seales

From: [Timothy Maier](#)
To: ["Rick Longinotti"](#)
Subject: RE: library
Date: Wednesday, January 11, 2023 9:44:16 AM

Hello Rick,

Although the CEQA analysis has not yet been finalized, it is anticipated that Categorical and, potentially, Statutory Exemption(s) will be invoked for the proposed project.

Documents supporting the CEQA analysis will be included with the staff report and made publicly accessible once finalized.

Best regards,
Tim

Timothy Maier, AICP
Senior Planner
City of Santa Cruz
(831)420-5129
cityofsantacruz.com

-----Original Message-----

From: Rick Longinotti <longinotti@baymoon.com>
Sent: Monday, January 9, 2023 7:17 PM
To: Timothy Maier <tmaier@cityofsantacruz.com>
Subject: Re: library

Hi Tim,

Thanks for responding. If I understand you correctly, no IS/negative declaration will be released and no EIR will be conducted. Is that accurate?

Is the plan to claim an exemption from doing environmental review?

Thanks,
Rick

> On Jan 9, 2023, at 6:45 PM, Timothy Maier <tmaier@cityofsantacruz.com> wrote:

>

> Hello Mr. Longinotti,

> Thanks for your message and for reaching out to me.

> The environmental analysis related to the project is underway and expected to be completed in the next several weeks.

> Documents prepared for the environmental analysis will be included with the staff report to be presented to the Planning Commission for recommendation to the City Council, along with members of the public, at a public hearing. The Planning Commission public hearing is expected to be held in mid- to- late February (a date has not yet been set). The Planning Commission's recommendation will be later considered by the City Council for final decision regarding project entitlements.

>

>

> Best regards,

> Tim

>

> Timothy Maier, AICP

> Senior Planner

> City of Santa Cruz

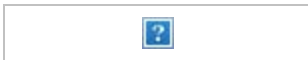
> (831)420-5129
> cityofsantacruz.com
>
>
> -----Original Message-----
> From: Rick Longinotti <longinotti@baymoon.com>
> Sent: Monday, January 9, 2023 3:13 PM
> To: Timothy Maier <tmaier@cityofsantacruz.com>
> Subject: library
>
> Hi Mr. Maier,
>
> Could you please tell me when the environmental review will be conducted for the Library-Garage-Mixed Use project? Will the public be notified of an opportunity for input?
>
> Thank you,
> Rick

From: [Stacy Nagel](#)
To: [City Plan](#)
Subject: Build the mixed use library
Date: Thursday, February 09, 2023 12:27:27 PM

Measure O was a resounding failure and the message from the electorate was clear - we want this project built. Affordable housing, increased parking, and a new state-of-the-art library. Please support this project and move it forward.

Thank you,
Stacy

--



Stacy Nagel

Strategy & Operations Program Manager
Business Platforms & Cloud Operations |Chief of Staff Office
<http://go/usermanual/snagel>

From: cityplan@cityofsantacruz.com
To: awebster@cityofsantacruz.com; [Timothy Maier](#); [Samantha Haschert](#)
Subject: 119 Lincoln Street Question/Comment Received
Date: Tuesday, September 06, 2022 1:16:05 PM

A new entry to a form/survey has been submitted.

Form Name: 119 Lincoln Street - Significant Project
Date & Time: 09/06/2022 1:15 PM
Response #: 2
Submitter ID: 99937
IP address: 205.155.74.3
Time to complete: 2 min. , 13 sec.

Survey Details

Page 1

Thank you for your interest in the proposed project for 119 Lincoln Street. Please provide any project related question or comment in the fields provided. Your comment/question will be automatically directed to the City Planner assigned to this project. Please note that questions and/or comments entered here are public information and subject to release in accordance with the Public Records Act.

1. Select what applies:

☒ I have a comment(s).

2. If you have a question that needs a response, please enter your email address or phone number.

Email: Not answered

Phone: Not answered

3. Please select one of the following regarding the nature of your comment:

☐ In Support

4. Question/Comment:

Please do not be obstructed by the campaign to derail this project. This project with a new library and housing is so far along, it would be wasteful to cancel it now for the sake of some trees and a parking lot. We need to move forward, by densifying and pedestrianizing downtown.

-Theo Kell
Santa Cruz resident

Thank you,
City of Santa Cruz

This is an automated message generated by Granicus. Please do not reply directly to this email.

Query Tools

GIS Search

Locate Address

Search TRAKIT

Feature Search

Select Features

Selection Type

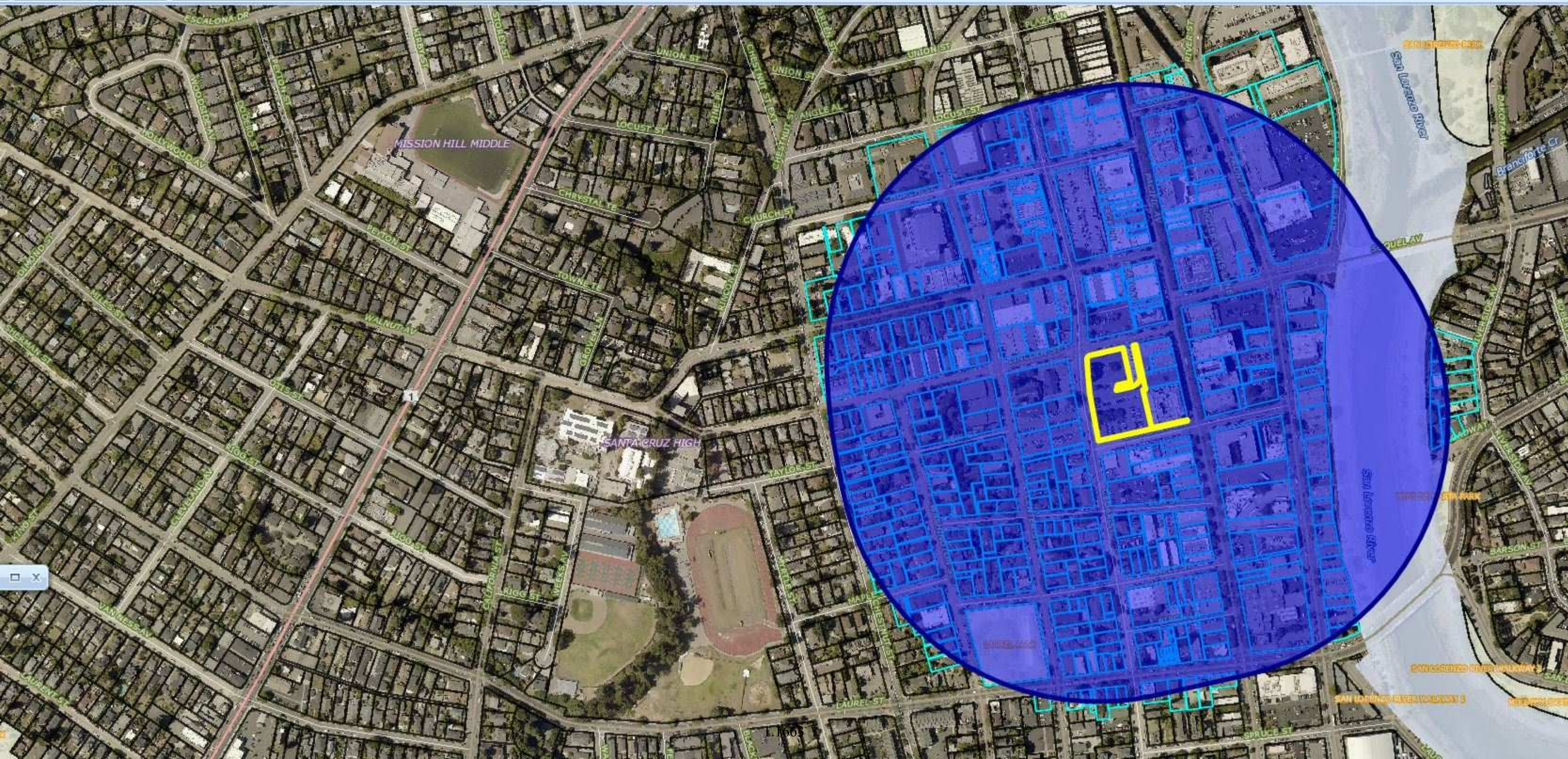
PARCEL

Distance: 1000

Unit: Feet

Selection Viewer

Clear Selection





PLANNING COMMISSION
AGENDA REPORT

DATE: February 15, 2023

AGENDA OF: February 23, 2023

ITEM NO: CP22-0128 113, 119 Lincoln Street

RECOMMENDATION: That the Planning Commission recommend to the City Council acknowledgement of the environmental determination and approval of the Nonresidential Demolition Authorization Permit, Special Use Permit, Design Permit, and Lot-Line Adjustment to demolish the existing surface parking lot and structures and construct the Library/Affordable Housing Project based on the findings listed below and Conditions of Approval listed in Exhibit “A.”

PROJECT DATA:

Property Owner: City of Santa Cruz (119 Lincoln Street), APNs: 005-141-11, -21
Christophe and Cecile Bellito Trust (113 Lincoln Street)

Applicant: Jim Rendler, For the Future Housing, Inc.

Application Type: Nonresidential Demolition Authorization Permit, Special Use Permit, Design Permit, and Lot-Line Adjustment to demolish the existing surface parking lot and structures and construct the Library Mixed-Use/Affordable Housing Project, encompassing development of a new, approximately 273,194 square-foot, eight story building integrating a three story, approximately 38,069 square-foot City library featuring two floors double heighted with elevated ceilings; a three-story parking garage with 243 parking spaces; a five story, 100% affordable housing component comprising 124 residential units; a three story, approximately 9,598 square-foot commercial tenant space; a one story, approximately 1,231 square-foot childcare facility with adjoining 674 square-foot outdoor play area; and new landscaping and associated site improvements on land located in the CBD/FP-O (Central Business District/Floodplain Overlay) zone districts and within the Cedar Street Village Corridor and Pacific Avenue Retail District Subareas of the Downtown Plan.

Zoning: CBD/FP-O (Central Business District/Floodplain Overlay)

Project Consistency: Consistent with approval of permits and pursuant to State Density Bonus Law

General Plan: RVC (Regional Visitor Commercial) and Downtown Plan (Cedar Street Village Subarea)

Project Consistency: Consistent with General Plan designation and Downtown Plan with approval of permits and pursuant to State Density Bonus Law

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Land Use: - existing: City surface parking lot and commercial building (currently occupied by *Toadal Fitness*)
 - proposed: New, eight-story mixed-use building
 - in area: Mixed-use buildings, commercial buildings, public facilities, and residential buildings

Lot Area: 66,921 square feet (1.54 acres)

Environmental Review: Limited Environmental Review for projects consistent with General Plan, Community Plan or Zoning Action pursuant to Public Resources Code section 21083.3 and CEQA Guidelines section 15183.

Planning Staff: Timothy Maier, Senior Planner

SITE DESCRIPTION/BACKGROUND

Site and Proposed Project

The subject site comprises an approximately 66,921 square-foot (1.54-acre), generally rectangular area consisting of two adjacent lots designated by Assessor's Parcel Numbers 005-141-11 and 005-141-21, located primarily in the Cedar Street Village Corridor of the Downtown Plan and within the Central Business District (CBD) zone, and bounded by Lincoln Street to the north, Cedar Street to the west, and Cathcart Street to the south. The site lies west of Pacific Avenue and south of Soquel Avenue, approximately 0.1 mile from the San Lorenzo River and 0.75 mile from the Pacific Ocean. Neighboring land uses include commercial buildings to the north, south, and east, and a quasi-public facility (*Calvary Episcopal Church*) to the west, with surface parking facilities located adjacent to the project site to the north and west, separated from the subject property by city streets. Commercial establishments along Pacific Avenue and Front Street, as well as City Hall and the Civic Auditorium are situated in the immediate vicinity, with residential, commercial, mixed-use, and public facilities destinations located within several blocks of the subject site. An approximately 10-foot-wide swath of the easterly portion of the project site falls within the Pacific Avenue Retail District subarea of the Downtown Plan, located outside the area in which the proposed building would be sited and overlapping with a proposed service access alley; therefore, for the purpose of this report, the proposed project has been evaluated for its consistency with the criteria of the Cedar Street Village Corridor.

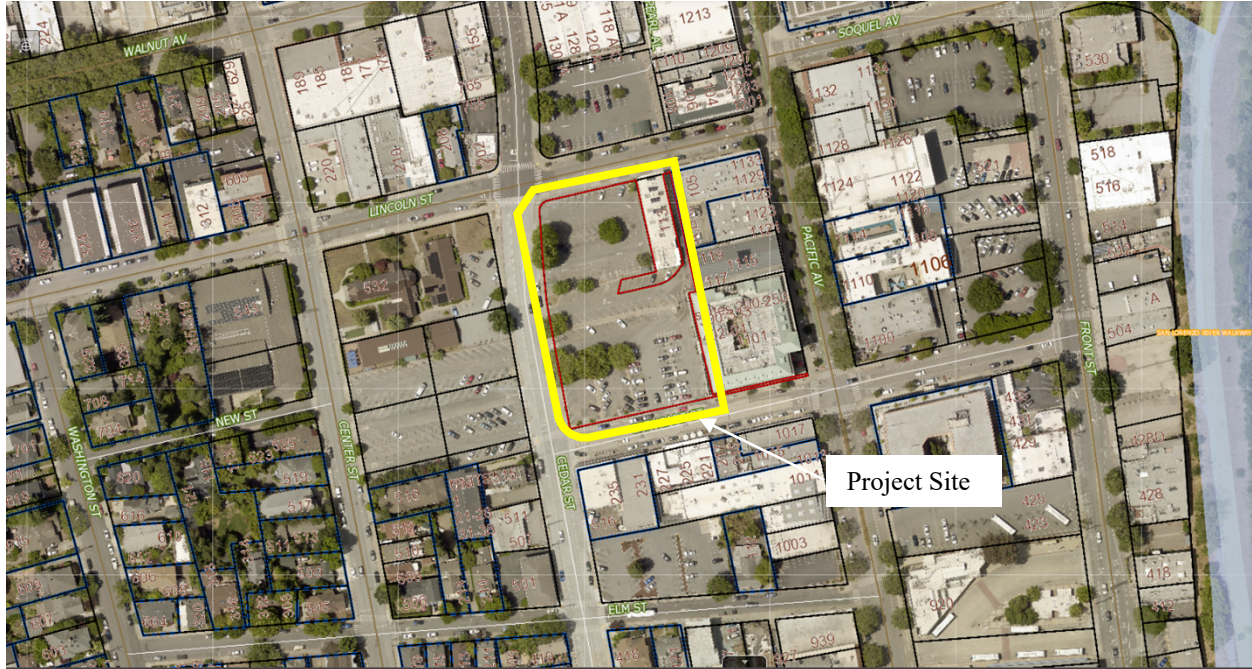


Figure 1: Site and Vicinity Map

The project proposes demolition of both the existing City surface parking lot at 119 Lincoln Street and the commercial building currently occupied by *Toadal Fitness* at 113 Lincoln Street, and encompasses construction of a new, approximately 273,194 square-foot, eight-story building integrating a three story, approximately 38,069 square-foot City library featuring two floors double heightened with elevated ceilings; three story parking garage with capacity of 243 parking spaces; five story, 100% affordable housing component comprising 124 residential units; three story, approximately 9,598 square-foot commercial tenant space; one story, approximately 1,231 square-foot childcare facility and adjoining 674 square-foot outdoor play area; open-air roof deck; new landscaping, and associated improvements to the subject site and surrounding public right-of-way. Development would span the entire block of Cedar Street between Lincoln and Cathcart streets.

As the centerpiece and anchor of the project, a new library of approximately 38,069 square feet would extend from the site's northwest corner roughly two-thirds the length of the Cedar Street frontage, accessed by a pedestrian entry positioned midblock and situated below a third story landscaped open-air rooftop terrace at the southwest corner of Cedar and Cathcart streets. The development would also incorporate a three-story parking facility, with vehicular access from Cathcart Street; and five-story, 100% affordable housing building above, featuring studio-, one-, two-, and three-bedroom units ranging in size from 344 to 957 square feet. The project integrates a new single-story childcare facility and adjoining outdoor activity space, along with three-story commercial tenant space at the building's southwest, near the Cedar /Cathcart Street intersection and oriented to Cedar Street. Bicycle parking stalls, 258 in total, are arranged at various locations throughout the site, both within the structured parking facility as well as along the pedestrian entry corridor and exterior of the building, offering secured, lockable storage options.

Site History

Research of available archives reveals that the original development of 113 Lincoln Street occurred approximately 80 years ago. Per City records, on March 26, 1941, issuance of a Building Permit (Permit No. 4341) allowed construction of a reinforced concrete commercial building. Subsequent modifications

included placement of a stucco overlay to the building and allowed remodel of its electrical system in 1970, conversion of the commercial building to a health clinic in 1980, and addition of an interior second story in 2013. Issuance of a demolition permit (D13-0040) and Building Permit for tenant improvement (B13-0540) facilitated adaptive reuse of the building as a health fitness studio in that same year.

The adjacent parcel addressed 119 Lincoln Street, currently a City-owned surface parking field, replaced a pre-existing commercial building constructed in 1940 for Safeway Stores, Inc. (Permit No. 2950, issued July 18, 1940).

History of Proposed Redevelopment of the Site

New Library

Efforts leading to proposed redevelopment of the subject site began over a decade ago. In 2012, the Santa Cruz Public Libraries (SCPL) initiated a comprehensive facilities master planning process, culminating in preparation of the [Library Facilities Master Plan](#) dated March 28, 2014. Later, in June of 2016, passage of Countywide [Measure S](#) supplied funding to upgrade, modernize, construct and expand library facilities throughout the County, including those located within City limits.

On January 25, 2018, the City's Downtown Library Advisory Committee (DLAC), formed as an advisory body to the City Council, adopted the [Recommendation of the Downtown Branch Library](#) and formally recommended inclusion of the new downtown library in a "joint-use project with a parking garage on the city-owned property on Cedar Street", deeming the subject site an "ideal location" for this venture. On May 14, 2019, the City Council voted to direct formation of the [Downtown Library Subcommittee](#) as a subgroup of the City Council responsible for evaluating project alternatives in collaboration with Library staff and City residents. From May 2019 to June 2020, the [Downtown Library Subcommittee](#) engaged the community, including key stakeholder groups and the broader public, and solicited residents' feedback regarding suggestions for formation of new library facility, including potential integration within a conceptual mixed-use development format.

Following extensive community outreach efforts and a competitive bid process, the City Council selected Jayson Architecture to spearhead design of a reimagined downtown library and evaluate the feasibility of renovating the 42,000 square foot, two-story existing downtown branch library. Jayson Architecture compiled the [Santa Cruz Downtown Library Renovation Cost Assessment](#) dated November 22nd, 2019, detailing its findings, and presenting conclusions to the Downtown Library Subcommittee on December 13th, 2019.

In February 2020, the City Council selected a second design firm to evaluate the cost of two options for relocating the downtown library branch to a publicly owned site on Cedar Street as part of a potential mixed-use development additionally incorporating affordable housing and parking. A [Santa Cruz Downtown Library Mixed-Use Project Cost Assessment Volume I](#) dated May 29, 2020 and [Cost Assessment Volume II](#), presented four alternative options for library development. After deliberation, the City Council selected an option including an approximately 37,000 square-foot library and lower cost park-on-ramp design starting at ground level, with limited-sized lobby and support areas located below the Cathcart Street frontage. Through separate, competitively bid processes, the City selected Griffin Structures, Inc. to act as project manager; both Eden Housing and For the Future Housing, Inc. as the Affordable Housing Developers (responsible for overall building development tasks with their Architect team Ten-Over Architects); and Jayson Architects to serve as the Library Master Architect.

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City Council Direction

On December 6, 2016, at a public hearing of the City Council, the Council directed City staff to form a Library Advisory Committee, which became known as the “Downtown Library Advisory Committee” (DLAC), to ascertain an appropriate approach to construction of a new downtown library. The Council additionally instructed staff to formulate recommendations for realization of a new permanent location for the Downtown Farmers Market, managed by Santa Cruz Community Farmers’ Markets at the subject site and currently operating via an annually renewed Major Special Event Permit; and devise a matrix of parking fee rates to fund the parking portion of a potential development project.

At a June 19, 2018, Study Session, the City Council received a report from the DLAC which endorsed the integration of a new library facility into a new mixed-use project at Parking Lot 4, as the option among several considered, anticipated to attain the greatest number of desired program and design features within identified spatial constraints while avoiding the need for development of a temporary library facility during construction of the ultimate project. The report also advised the development of a Parking Rates Strategy which balances user fees and phases out deficiency fees intended to fund new parking capacity as part of a mixed-use library project ([DLAC Final Report](#)).

At the September 11, 2018, meeting of the City Council, the Council took action to proceed with the library mixed use project and develop a plan for redevelopment of the existing library site. Despite initial momentum, on May 14, 2019, the City Council adopted a motion for abeyance of further action and instead approved formation of a Council Subcommittee, as referenced above, to investigate potential project alternatives in collaboration with Library staff and the interested community ([Library Subcommittee Resources](#)).

On June 23, 2020, the City Council, following a year-long study and outreach process undertaken by the Council Subcommittee, approved to proceed with development of a Mixed-Use Library Project comprising a new modern library, affordable housing component of minimally 50 units, and a parking facility with up to 400 parking stalls at Parking Lot 4, located at 119 Lincoln Street. On October 27, 2020, the Council received a presentation from staff regarding fiscal implications for development of the housing and parking components of the project and authorized a contract for assignment of a project Owner's Representative.

On December 14, 2021, the City Council accepted the updated concept design presented by the Project Team and Library Master Architect following a series of community workshops and further directed to move forward with schematic designs along with an updated budget and project timeline. This action also increased the programmatic goals and objectives of the overall project and set in motion the design work completed to date.

On May 10, 2022, the Downtown Santa Cruz Library Master Architect and Project Team delivered to the City Council an update depicting the schematic design and presenting the community feedback received from additional community meetings regarding the plans prepared and detailed the anticipated budget for construction of the project as proposed.

Preliminary Design

Following the City Council’s selection of Jayson Architects to spearhead design of the library, the architect engaged in a months-long community engagement process to solicit feedback regarding aspects of a conceptual library of value to the community. Outreach initiatives engaged a wide swath of community stakeholders and resident demographics, including parents, children, seniors, and teenagers, as well as

representatives of downtown businesses, whose feedback was compiled, and which informed design of the facility.

Following the architect's development of conceptual plans, the City and project design team again engaged the community through a series of workshops over a period of months, electing input regarding preliminary project design, including the library's exterior façade, site and roof plans, preliminary interior configuration, and parking and housing unit counts. Such engagement efforts resulted in modification of the preliminary proposed design to increase the number of affordable housing units to as many as 125 and to conceptualize a new library, oriented toward Cedar Street, enclosing approximately 40,000 square feet of programmable space, with 35,000 square feet indoors and 5,000 square-foot exterior terrace (deck) connecting the library interior to the building's rooftop. Coordination among members of the community, project architect, and City staff produced a preliminary design featuring five stories of affordable housing situated atop three stories of parking, with a parking stall count reduced from 400 to 310 to accommodate a greater number of affordable housing units, resulting in production of a schematic design then presented to the City Council. The Council reviewed and approved the schematic design at a meeting on December 14, 2021.

Community Outreach Meeting

Pursuant to the City's Community Outreach Policy for Planning Projects, a community engagement meeting (hosted via Internet video conference) was held on September 21, 2022, from 6:00 PM to 7:30 PM. The meeting was held during a Preapplication review of the project in order to allow for early input from the public. At the meeting, the applicant, including staff of the City's Economic Development Department, affordable housing developer, and project architects, delivered a presentation providing an overview of the scope of work and design of the project and responded to questions during and following the presentation. Approximately 66 members of the community, including various City officials, attended the meeting. Participants' questions centered primarily on aspects of the project related to availability of plans and project reports; programming details of the library, residential units, and structured parking; anticipated street and sidewalk improvements; credit of the residential units to the City's Regional Housing Needs Allocation (RHNA); consistency of the proposal to the General Plan and zoning designations and State Density Bonus Law; availability of parking; impacts associated with parking demand and generation of traffic; and sufficiency of funding to facilitate project development.

Formal Application

On November 8, 2022, a formal application (CP22-0128) for the proposed project was submitted. The formal application accommodated several revisions to the scope of work and design made following receipt of comments provided by City staff related to the Preapplication, which include refinements necessary to afford sufficient access by fire apparatus for purposes of emergency response and to address technical factors and resolve spatial constraints.

Notable revisions to the project presented in the formal application, which is the subject of review of this public hearing, compared to the design as submitted for the Preapplication, include the following:

- Reduction in size of the building from approximately 307,968 square feet to approximately 273,194 square feet resulting from alterations to the northerly facade of the building intended to provide sufficient clearance required for circulation of Fire apparatus during emergency response;
- Decrease in the number of parking stalls from an approximate range of 300 to 340 to a total of 243 stalls, along with a proposed reduction in parking stall dimensions;
- Reduction in/refinement of the size of the proposed commercial tenant space from approximately 10,000 square feet to 9,598 square feet;

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- Refinement of the size of the proposed commercial childcare facility from a range of approximately 1,800 to 2,500 square feet to a combined commercial childcare component consisting of 1,231 square feet of indoor childcare space and 674 square feet of outdoor play space for a total combined commercial childcare component of 1,905 square feet.

Farmers' Market

The Downtown Santa Cruz Community Farmers' Market (Market) currently conducts operations at 119 Lincoln Street within City Parking Lot #4. The Market operates weekly, during the months of May through October on Wednesdays from 1:00 PM to 6:00 PM, and November through April, from 1:00 PM to 5:00 PM, featuring merchandise of a variety of vendors, including local organic farms, and highlights the offerings of a variety of emerging cultural food establishments.

As redevelopment of the subject site would displace the market from its present location, City staff have engaged Market management in ongoing discussions related to sites potentially available for relocation. On October 14, 2022, the City and Market released a Joint Statement regarding the positions of the City and Market regarding temporary alternative locations, with potential sites identified (City Parking Lot #7, a surface parking lot located at 505 Front Street, situated at the southeast corner of Front and Cathcart streets; and the City Hall complex, including the courtyard and surrounding public rights-of-way were among the locations identified). Conceptual plans for one of the permanent option considerations have been developed (Lot #7). A rendering of the conceptual design completed for Lot #7, which includes a permanent covered structure over a portion of the lot, appears below.

The Joint Statement details the mutual commitment of the City and Market to maintain the Market downtown and describes the City's commitment to working with the Market to identify both temporary and permanent locations for consideration, per the Market's request.

Action taken for relocation of the Farmers Market fall outside the scope of this project and the information contained herein is merely provided as background. ([Joint Statement and MOU](#)).



Figure 2: Rendering of Conceptual Farmer's Market Lot at Parking Lot #7, Including New Covered Structure

Entitlements Required

The proposed project requires a number of entitlements, including the following, which necessitate a recommendation from the Planning Commission prior to final action by the City Council:

- a. **Nonresidential Demolition Authorization Permit** – required for review of proposed demolition of the existing commercial building located at 113 Lincoln Street.
- b. Use Permit – required for consideration of:
 - (1) Development exceeding sixteen thousand (16,000) gross square feet per single-tenant/establishment
 - (2) Development of structures exceeding a height of 35 feet within the Cedar Street Village Corridor
- c. Design Permit – required for review of:
 - (1) Site and building design
 - (2) Proposed increase in height above 35 feet for a project in located in the Cedar Street Village Corridor subarea, pursuant to the standards of the City's Downtown Plan which states that City Council review and approval is required for the proposed height exceedance
- d. Lot-Line Adjustment – required for proposed relocation of property boundaries for combination of two existing lots

Lot-Line Adjustment

The project site comprises two adjacent lots, addressed 113 Lincoln Street (APN 005-141-11) and 119 Lincoln Street. (APN 005-141-21). square feet. Per Code Section 23.34.010, a Lot Line Adjustment is required to combine the substandard parcel with the contiguous, conforming lot at 119 Lincoln Street to facilitate development of the proposed development.

Heritage Tree Removal Permit

The proposed project would prompt the **removal of twelve trees**, including nine Heritage Trees, as placement of the proposed building would conflict with the trees' current locations. An application for Heritage Tree Removal Permit was received on October 12, 2022, and approved by City staff on October 18, 2022. Thereafter, on October 27, 2022, an appeal of the Heritage Tree Removal was filed by Pauline M. Seales and co-appellants.

At a December 12, 2022, public hearing, the Parks and Recreation Commission reviewed and denied the appeal, upholding staff's decision to approve the permit. Subsequently, on December 22, 2022, an appeal of the Parks and Recreation Commission decision to deny the prior appeal was filed and will be heard by the City Council. The Planning Commission will not act on the Heritage Tree Removal Permit appeal as a part of this proposal. However, a recommended condition of approval has been added regarding replacement of trees on-site and planting of new trees within the City's downtown.

Decision on Entitlements by City Council

On January 10, 2023, at the request of Mayor Keeley and Councilmember Newsome, the City Council voted to hear the project in total including the proposed permits and the appeal of the Heritage Removal Permit. Municipal Code Section 24.04.175 authorizes the City Council, on its own motion, to direct that any permit application processed pursuant to the Zoning Ordinance be referred to the Council for

consideration and final action. Therefore, the Planning Commission shall provide a recommendation to the City Council on the permits listed in this report and the City Council shall provide subsequent final action on the project as a whole, including the Heritage Tree Removal Permit appeal.

ANALYSIS

Existing Development

The subject site is currently developed with a City surface parking lot at 119 Lincoln Street, and as reported by County Assessor records, features an approximately 5,406 square-foot commercial building at 113 Lincoln Street occupied by an existing physical fitness studio (*Toadal Fitness*). As of the writing of this report, active negotiations continue between City staff and the property owner regarding the City's acquisition of the lot addressed 113 Lincoln Street and potential tenancy of *Toadal Fitness* within the new commercial space proposed as part of the Library Affordable Housing Project building, with a decision expected in the next several weeks.

Present Application

The proposed mixed-use project includes residential and commercial uses as well as a library and parking garage. The 124-unit, five-story residential component is comprised of 13 studio units; 48 one-bedroom units; 32 two-bedroom units; and 31 three-bedroom units, ranging in size from 344 to 957 square feet. The commercial tenant space would be situated at the building's southwesterly corner, fronting both Cedar and Lincoln Streets, enclosing 9,598 square feet of floor area from the ground level to a third-floor mezzanine. The commercial tenant space has been designed to accommodate a potentially relocated fitness facility, as well as a range of tenant types likely to change over the lifespan of the building.

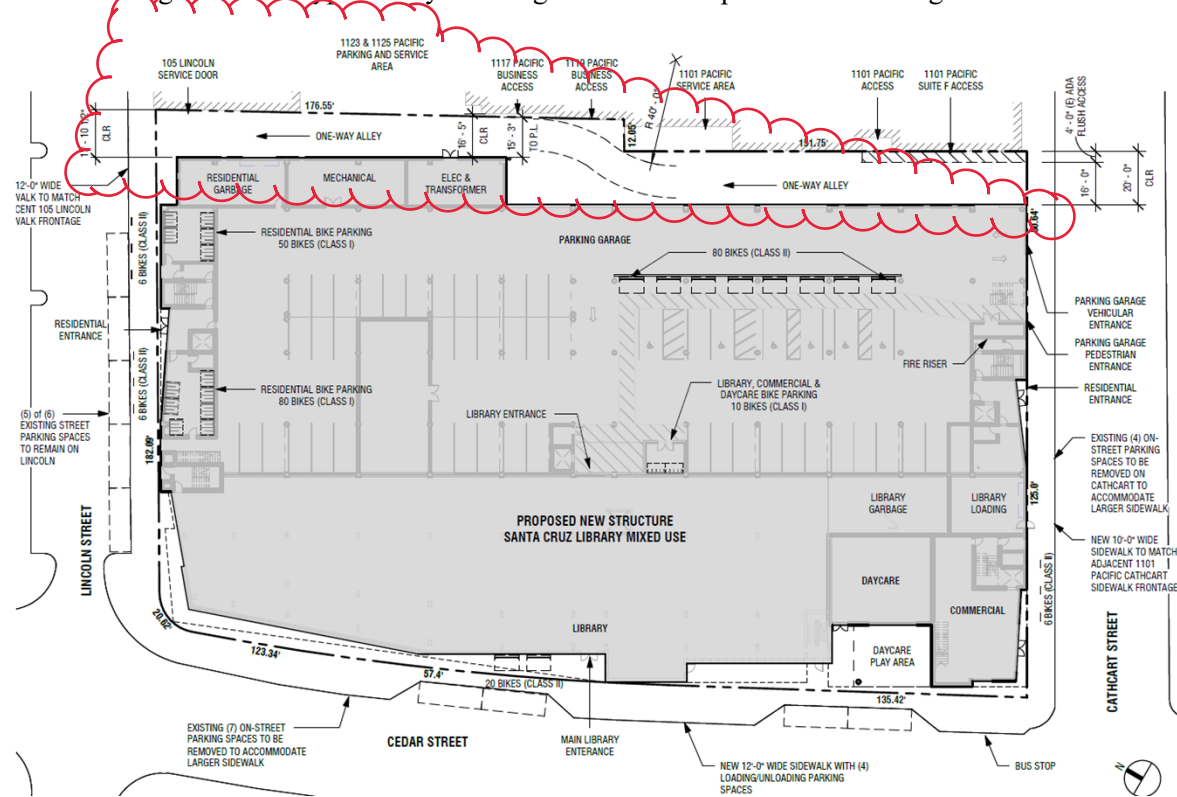


Figure 3: Proposed Site Plan

Library

The new library proposed would replace the City's existing downtown library. As included in the submitted plans, the library's footprint would occupy 17,914 square feet and span three vertical floors, enclosing a gross floor area of 38,069 square feet, including a double-heighted first story (interstitial space) and second floor and mezzanine access to 3,240 square feet uncovered rooftop terrace/patio.

Compared to offerings of the existing downtown library, the proposed library facility would introduce the following:

- 5,000 additional square feet for library services
- Restrooms in sufficient numbers and sizes to support patron demand
- Increased accessibility pursuant to the Americans with Disabilities Act (ADA)
- Improved building efficiency (electrical, heating/ventilation/air conditioning (HVAC), and lighting)
- Greater efficiency in utilization of space
- Infrastructure emphasizing soundproofing and infusing ample natural light
- Arrangement of interior space to include spaces reserved for community programs and interior layout by target audience, with separate entrances for each, along with room for expanded collections and enhanced technology

Commercial Childcare

The proposed project integrates a commercial childcare ("daycare") facility occupying 1,231 square feet of floor space, accessed through a controlled point of entry fronting Cedar Street with an adjacent 674 square-foot outdoor play space. Per directive of the City Council, the proposed childcare use would support a capacity of up to sixteen (16) children.

The Downtown Plan identifies Community Care Residential Facilities with fewer than seven (7) persons as principally permitted uses in the Cedar Street Village District and allows for evaluation of facilities accommodating seven or more persons (i.e., Large Family Daycare facilities) through application for an Administrative Use Permit (AUP). The Downtown Plan contains no category for consideration of a commercial childcare facility as proposed but allows for "other similar uses as determined by the Zoning Administrator to be consistent with the purpose of the subdistrict." The Planning Commission may thus consider the proposed childcare facility through the application for Use Permit required for other aspects of the proposed project.

Generally, regulation of commercial childcare facilities falls within the purview of the State of California Department of Social Services, Childcare Licensing Division (CCLD). CCLD standards require the provision of minimally 75 square feet of covered outdoor play space per child while in the care of a commercial childcare use, though that agency entertains requests for variation from the standard when warranted, as in the case of facilities located within urban locales restricted by significant spatial constraints. City staff has contacted CCLD supervising personnel regarding the potential for approval of a variation to the minimum covered outdoor play space requirement; CCLD personnel have relayed that, historically, that agency has authorized exceptions of up to 50% from the standard 75 square-foot minimum. Accordingly, the 674 square feet of outdoor area proposed would appear to support a maximum of 17 children, should an exception to the California Department of Social Services CCLD regulations be granted. Additional standards apply to the provision of interior enclosed space, with at least 35 square feet of indoor activity space per child necessary based on the total licensed capacity, exclusive of areas such as bathrooms, halls, offices, food-preparation areas, and the like.

Parking and Circulation

As proposed, the project includes a three-story structured parking facility with a capacity of 243 parking stalls, with its first floor located at surface level and accessible from Cathcart Street, a two-way east and west bound roadway. As stated in the Downtown Plan, all parking facilities are required to step down to 35 feet adjacent to the street. With a proposed plate height of 33 feet, the parking component of the project conforms to the specified threshold for maximum height.

A vehicular entry at the site's most southeasterly point along its Cathcart Street frontage affords ingress and egress while providing sufficient separation from Cedar Street to maximize visibility to oncoming traffic and minimize conflicts among motorists, pedestrians, and bicyclists. Installation of a new driveway approach supports vehicular access. Pedestrian access to the parking garage would occur adjacent to the vehicular entries along the building's southerly elevation, as well as the project's north side, at the approximate midpoint of its Lincoln Street frontage.

Emergency vehicle access and service access would occur via a one-way alley proceeding north from Cathcart Street to Lincoln Street and aligned with the site's easterly property line, with a new driveway approach installed. Horizontal clearance narrows to a width of 15 feet, 3 inches due to the alley's curvature adjacent to a building projection housing a residential garbage enclosure, mechanical room, and electric transformer room, configured to align the building envelope to an irregular easterly property line and maximize buildable area. As proposed, the parking garage entry would be recessed, and an open-air design with support pillars would provide exiting vehicles clear lines of sight in both directions, including of the sidewalk in both directions and provide adequate sight distances of both oncoming vehicles and pedestrians for exiting vehicles. Staff of the City's Police, Fire, and Public Works departments have reviewed the proposed design and have expressed that the proposed site plan affords adequate access by emergency response and service vehicles. Conditions of approval are included that require the final alley design to comply with the design requirements in the Downtown Plan by including such features as decorative lighting and pavement.

The project includes frontage improvements along Cathcart Street, Cedar Street, and Lincoln Street per City standards, including curbs, gutters, and expanded sidewalks. The proposed sidewalks would be built 10 to 12 feet wide, consistent with the Downtown Plan which specifies a minimum sidewalk width of 10 feet along Cedar Street but encourages wider sidewalks on east-west streets to encourage pedestrian use. The width of the sidewalk varies due to improvements and street curvatures but, in general, provides a 12-foot-wide sidewalk along Cedar Street and Lincoln Street and a 10-foot-wide sidewalk along Cathcart Street. The project also includes four loading/unloading parking spaces along Cedar Street and five on-street parking spaces along Lincoln Street. A bus stop would be provided on Cedar Street just north of its intersection with Cathcart Street. Staff of the Santa Cruz Metropolitan Transit District have reviewed the proposed location and have expressed support.

Early considerations of designs for parking capacity, aiming to achieve project objectives as directed by the City Council, led staff to shepherd design proposals including parking supply of up to 400 spaces. Following review of the site plan by Police and Fire Department staff and through iterative architectural revisions, the overall parking capacity has reduced to its present scale with capacity of 243 stalls. As a public parking facility, with access by a range of vehicle types anticipated, 116 of the total 243 parking stalls constitute standard-sized stalls with dimensions of 8.5 feet x 19 feet per regulations; (as specified in Municipal Code Section 24.12.280(2)(a), with 15 stalls reserved for electric vehicle (EV) use (13 required plus 2 additional), eight accessible stalls, and 117 compact spaces (48% of the total). The proposed configuration is intended to maximize total capacity while integrating larger, standard-sized stalls of a sufficient number to minimize congestion and delays.

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Due to the site's location within the City's Downtown Parking District, the parking requirement is determined pursuant to Resolution NS29,858, which establishes a parking ratio of one parking space for every 400 square feet of gross floor area for all new commercial uses except for medical and dental offices. Further, density bonus law exempts the residential component of the project from provision of parking due to its level of affordability and location within half-mile of a major transit stop.

State legislation and City regulations allow for steep reductions from standard Municipal Code requirements due to the site's proximity to transit and by virtue of its location within Parking District 1, respectively. Despite available mechanisms for reduction of parking capacity below standard Code minimum requirements, provision of parking supply along with consolidation of parking supply from surface parking lots to structured parking throughout the City's downtown represents a primary objective of the project, as directed by the City Council. A study by consultant Nelson Nygaard dated March 2019 offered recommendations for long-term provision and management of parking capacity in the City's downtown and forecasted a continued loss of parking capacity in the City's urban core derived from ongoing development pressure and expectation for future intensified construction. Considering such expectations, a calculation of standard parking minimum requirements associated with the land uses incorporated, of the sizes as proposed in the DLAHP, has been conducted pursuant to SCMC 24.12.240 to demonstrate parking requirements for comparison.

The table below provides a comparison of parking for the proposed project, had it been located outside Parking District 1, to the same project located within the Downtown Parking District, with State legislation allowing reductions in parking invoked. The proposed project also includes a marked increase in the stock of existing bicycle parking capacity, enhancing access to alternative transportation means.

Table 1: Comparison of Parking Requirements for Project Located Outside Parking District 1 to the Proposed Project with Applicable State Legislation Implemented

Project Component	Parking Requirement Outside Parking District 1	Code Provision	Required Parking Capacity if Project were Located Outside Parking District 1 (For Reference Only)	Required Parking (Pursuant to State Law and NS29-858)	Total Required Parking (Inside Parking District 1)
Residential					
13 studio units, 48 one-bedroom units	1 parking space	SCMC 24.12.240 (s)	61	0	0
32 2-bedroom units, 31 3-bedroom units	2 parking spaces	SCMC 24.12.240 (s)	126	0	0
Other					
Library (38,086 square feet)	Unspecified – general rate of 1 space/400 square feet	SCMC 24.12.240(as)*	95	NS29-858 Unspecified – general rate of 1 space/400 square feet	95

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	utilized as general rate			utilized as general rate	
Fitness Studio (9,598 square feet)	SCMC 24.12.240(q)	1 space for each 250 square feet	38	NS29-858 Unspecified – general rate of 1 space/400 square feet utilized as general rate	24
Commercial Childcare -16 children	SCMC 24.12.240(f)	1 for every 5 guests, plus 1 for each employee on the shift with the maximum number of personnel	5	NS29-858 Unspecified – general rate of 1 space/400 square feet utilized as general rate	3
Total					
			325		122

When calculated using the default standard parking requirements outside of Parking District 1, the proposed project would require a parking capacity of 325 stalls. Because the project is located within Parking District 1 and with applicable density bonus reductions, a total of 122 parking stalls are required. The project exceeds the minimum parking requirement of 122 stalls. Additionally, recent State legislation (AB 2097) effective January 1, 2023, would prohibit a public agency from imposing any minimum parking requirement on any residential, commercial, or other development project located within a half-mile of public transit. With strict adherence to AB 2097, the minimum requirements calculated as a theoretical exercise would be eliminated, except for any required accessible and electric vehicle charging stations, and, thus, the parking supply included in the project is primarily proposed for provision of replacement parking and consolidation of parking supply into structured parking for the Downtown Parking District 1, a defined goal set by City Council.

Supply of Public Parking required to support the proposed project and to facilitate patronage of existing and future downtown businesses and surrounding destinations represents a primary objective of the Downtown Library Affordable Housing Project. Demolition of the City surface parking lot (Lot 4) will result in the removal of 134 existing parking stalls from the current capacity within the City's downtown core. Construction of reasonably foreseeable future projects anticipated or pending within the City's downtown Parking District 1 area would additionally eliminate approximately 448 parking stalls. Some of these projects, including Pacific Station North and South, as well as the affordable housing project at 525 Cedar Street, do not include any parking supply, thereby creating additional demand within the parking district. Establishment of the City's permanent parklet program also diminishes the stock of available street parking spaces for use by business patrons, employees, residents, and visitors further supporting the need to exceed theoretical parking minimums. Construction of 243 new parking stalls as integrated in the proposed project provide vehicular parking capacity for library patrons, staff, visitors, and residents of the project who own vehicles and assist in offsetting the loss of parking capacity which would result from removal of the existing surface parking lot and deficits induced by existing and future downtown construction. However, even with the additional parking as proposed, a net loss of 205 parking stalls would remain in Parking District 1's overall parking supply, induced by construction of entitled and anticipated

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future projects. This parking supply would not be dedicated to exclusive project use but become part of the overall managed Parking District 1 supply serving downtown businesses, residents, and visitors.

Expectations for persistent development pressure prompting additional parking demand, coupled with recent adoption by the State of various housing bills removing discretion by local jurisdictions to require parking minimums suggests a regulatory trajectory leading to declining on-site capacity in new projects and portends future conditions for a widening deficit between actual parking demand and provision or downtown parking capacity. Located within a half-mile of a major transit stop, the project's location satisfies applicable criteria pursuant to State Density Bonus Law, which authorizes the development to omit residential on-site parking. Due to its downtown location offering proximity to a range of popular destinations and ready access to transit, the project provides ample opportunities for means of transportation besides the motor vehicle and reasonably reduces the need for residential parking supply comparable to that of a similar project in an alternative location requiring greater reliance on auto travel. The project's proposed design conforms to applicable policy and legislation, balancing provision of appropriate parking capacity while avoiding an oversupply of parking which encourages driving.

Bicycle Parking

City of Santa Cruz Municipal Code Section 24.12.250 establishes requirements for bicycle parking and requires one Class I bicycle parking space per residential unit for any multifamily project with three (3) or more units and one Class II bicycle parking space for every four multifamily residential units; additionally, the Code requires "public or commercial recreation" to provide bicycle parking spaces at a number equivalent to 35% of the required auto parking capacity, with 20% of those Class I stalls and 80% Class II spaces.

The proposed project includes a total of 258 bicycle parking stalls strategically placed throughout the site, both as lockable storage within the building's interior, as well as along locations throughout the perimeter of the project. This project is required to have a total of 129 Class I bike parking spaces, 124 for residential use and 5 for commercial use. This project is required to have a total of 68 class II bike parking spaces, 31 for residential use and 37 for commercial use. Submitted plans provide 140 Class I bicycle parking stalls and 118 Class II bicycle parking stalls provided, far exceeding the minimum number of bicycle parking spaces per requirements of the City's Municipal Code. A Condition of Approval has been imposed, requiring submittal of details of proposed bicycle parking facilities, including identification of vendor and specification of dimensions and arrangement of interior layout with spacing for all bike parking proposed. The City's Bicycle Coordinator has additionally expressed interest in substituting publicly-available Bikelink bike lockers, with some that are accessible to cargo and electric bicycles ("e-bikes"), for the Class II bike parking provided in the parking garage.

Traffic Impact Analysis

A Transportation Impact Study (TIS) dated December 23, 2022, prepared by consultant Kimley Horn, provides an assessment of the potential impacts of the proposed project to traffic and circulation at the project site and neighboring area (Attachment 10). Pursuant to the City's Transportation Impact Study Guidelines, a TIS must be prepared for any proposed project with the potential to disrupt existing pedestrian, bicycle, or transit circulation; for any project likely to generate 50 or more net new vehicular trips during the afternoon/evening (PM) peak hour; and for any project in which the parking supply proposed is deficient of that required by the City's Municipal Code. Based on a review of the project scope of work, City staff determined early in project review the necessity for preparation of a TIS.

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Evaluation of potential transportation-related impacts was based on the scope of the project originally submitted (i.e., a 38,086 square-foot library, a parking garage containing up to 400 spaces, 9,598 square feet of commercial uses, a 1,905 square foot childcare use), which has been reduced in size and would generate lower travel demand than originally proposed; therefore, the analysis can be considered a “worst-case scenario,” with project impacts more significant than actually expected as a result of the project scope of work as currently proposed.

The analysis presented concludes the following:

- The proposed project is estimated to generate 2,144 new daily trips with 82 new trips occurring during the AM peak-hour and 269 new trips occurring during the PM peak-hour.
- The addition of the proposed project to existing conditions would not result in any study facilities operating below acceptable City Level-of-Service (LOS) thresholds for traffic congestion and delays.
- For Cumulative plus Proposed Project conditions predicted for year 2042, the addition of the proposed project would result in a LOS deficiency at the intersection of Front Street and Soquel Avenue; no feasible improvements are identified that would reduce congestion to a level deemed acceptable by the City.
- With the exception of the northbound right-turn movement at the intersection of Soquel Avenue and Front Street and both the eastbound right- and northbound left-turn movements at the intersection of Cathcart Street and Front Street, the project would cause no vehicular queue lengths to exceed available roadway storage capacity or increase queue lengths currently deficient without addition of the project.

Pursuant to Senate Bill 743 (SB743), enacted into law in 2018 and as implemented through revisions to the State’s California Environmental Quality Act (CEQA) Guidelines, Vehicle Miles Traveled (VMT) has replaced Level of Service (LOS) as the metric used for assessment of potential environmental impact associated with transportation and vehicular traffic. The City’s General Plan was adopted prior to 2018 and contains goals and policies referencing LOS. The project site is located in a “VMT Efficient Area” based on the “Santa Cruz County Residential Screening Map” and in a neighborhood that produces VMT per capita at least 15 percent below the countywide average. The proposed project would therefore not result in a significant impact under CEQA related to VMT based on the City’s adopted threshold and would not produce any inconsistency with CEQA Guidelines Section 15064.3 associated with generation of VMT.

The Transportation Impact Study prepared demonstrates the occurrence of anticipated impacts of the project, inherent to any new development. The project would generate additional vehicular trips to the project site and surrounding neighborhood; however, as indicated in the conclusions of the analysis indicated above, appreciable impacts to the City’s transportation system associated with additional vehicular trips would remain low, despite the scale of the project.

The location of the project site, less than a half-mile to existing bus stops and the *Santa Cruz Metro Center*, affords ready access to transit, encouraging use of public transportation. New frontage and sidewalk improvements required for the project through conditions of approval, including widening of existing sidewalks for a pedestrian-friendly environment; continuation of an existing on-street bicycle path; as well as inclusion of 248 bicycle parking spaces (in excess of Municipal Code requirements) and incorporating locked facilities, enhance opportunities for pedestrian and bicycle travel while reducing reliance on auto travel and minimizing potentially detrimental effects associated with generation of greenhouse gases and resultant implications for climate change, thereby advancing General Plan goals and policies fostering alternatives to transportation by private automobile and encouraging sustainable development. The project

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would contribute to new supply in the Downtown Parking District, and this new supply would remain accessible to the public and not dedicated solely to project uses. Even with provision of additional parking, the Downtown Parking District would experience a net loss of parking capacity, and the project would therefore not encourage more driving through an oversupply of parking.

Reliance on Level of Service as a metric for traffic impacts remains allowable for fee-based programs, but has been superseded as a metric for transportation impacts for purposes of evaluation pursuant to the California Environmental Quality Act. General Plan 2030 strives to maintain established LOS D or better at signalized intersections (as stated in Mobility Policy M3.1.3). General Plan 2030 accepts a lower LOS and higher congestion at major regional intersections, if necessary, should improvements prove to be prohibitively costly or result in significant, unacceptable environmental impacts (Mobility Policy M3.1.4). LOS no longer serves as a metric for determining significance of transportation impacts under CEQA. The intersection LOS analysis of the submitted traffic study demonstrates that all study intersections would operate at acceptable LOS established in General Plan 2030 policies during both AM and PM peak hours under “existing plus project” conditions, and, thus, the project would not result in traffic levels which would conflict with City LOS policies. The downtown location of the project site provides for ready access to pedestrian and bicycle infrastructure and convenient access to desirable commercial and other destinations which assist in offsetting trips otherwise likely taken via auto, further reducing project VMT.

As identified in both the Environmental Checklist for Determination of CEQA Exemption and Class 32 Categorical Exemption Memo prepared, the project affords bicycle parking capacity in excess of City requirements (61 spaces), which could further reduce VMT by one percent. Studies have demonstrated that addition of affordable housing stock to infill sites generally improves jobs-housing match, which in turn, shortens commutes and reduces VMT. In locations with an existing jobs-housing match nearer optimal conditions, affordable housing, as integrated in the proposed project, generates less VMT than comparable market-rate housing.

Aside from minor impacts related to Level of Service, which no longer serves as a legally defensible metric for measurement of environmental impact related to transportation, no other significant transportation-related effects resulting from the proposed project were identified in the CEQA analysis, including conflicts with transportation policies.

Off-Site Improvements

Based on a review of the proposed project by City staff, it has been determined that various off-site improvements are necessary. Continuation of a 6-foot-wide westbound bicycle lane and installation of a new light standard compliant with City standard specifications and including light-emitting diode (LED) illumination at the site’s Cedar Street frontage, adjacent to the southeast corner, has been deemed required by the Public Works Department and demonstrates consistency with the City’s Downtown Plan. Additionally, upgrade of the storm drainage inlets surrounding the project site to Type B catch basins per City standard details, and construction of new sidewalks offering improved pedestrian circulation per design standards of the City’s Downtown Plan, are prompted by the project proposal. Installation of broader sidewalks, of 10-12 feet in width, along all frontages will afford greater pedestrian access and foster travel by means other than the private automobile, advancing goals of the Downtown Plan and General Plan. Conditions of approval have been added to require said improvements to rights-of-way neighboring the project site.

Zoning and General Plan Consistency

The project site occurs on land contained in the CBD (Central Business District) zone district, the majority within the Cedar Street Village Corridor subarea, and has a General Plan land use designation of RVC (Regional Visitor Commercial). Section 24.10.2300 of the City's Zoning Code states the following in reference to the purpose of the Downtown Plan in implementing the City's aspirations for the Central Business District:

"This part implements the Land Use Plan, Development Standards and Design Guidelines of the Downtown Plan (Plan), a specific plan. It is intended to refine the Plan in the area of land use and regulations. It supports the purpose of the Plan, in the context of the General Plan, which aims to maintain downtown the urban center of the city, with the many functions a city center serves. This chapter of the Zoning Ordinance is also part of the Local Coastal Implementation Plan."

The Downtown Plan additionally establishes a vision for the City's downtown core as embodied in the First Principles originally introduced in the Downtown Plan in 1991 and refined in the years thereafter. Excerpts of the Vision that are implemented by the proposed project appear below:

"Vibrant, vital and active, the central business district constitutes the primary retail, commercial, professional and employment center for the City of Santa Cruz. This compact, high-density area is home to unique businesses, offering residents and visitors a diverse and wholesome environment for commercial, cultural, civic and social pursuits. Local, regional and national businesses combine in a potent blend, making the downtown a major destination for the entire region."

"A range of housing types is integrated into the downtown. This urban-density housing provides both market-rate and affordable units, and expands the immediate market for downtown goods, services and public transportation. The economic and social vitality of the downtown has a positive effect on the surrounding areas and the entire community."

The project site occurs on land with the Cedar Street Village Corridor subarea of the Downtown Plan, and is consistent with the characterization as follows:

"The Cedar Street Corridor is immediately west of the Pacific Avenue Retail District. The area provides an appropriate transition in scale and use between the downtown and the adjacent residential neighborhoods and the civic center. In contrast to Front Street, which plays a destination retail role, Cedar Street serves as a more local-serving street with a mixture of professional offices, support and convenience retail, and restaurant uses. Unlike Pacific Avenue, which developed in a relatively consistent manner with a strong "street wall" of buildings, Cedar Street is more diverse in nature, with a mixture of one and two-story structures of varied setbacks. Many of the buildings are wood frame structures with a strong residential character."

The proposed project is consistent with purpose of the General Plan Land Use designation of RVC (Regional Visitor Commercial), described in the General Plan as below:

"Regional Visitor Commercial (RVC), 0.25 to 3.5 FAR. Applies to areas that emphasize a variety of commercial uses that serve Santa Cruz residents as well as visitors. Mixed-use development is strongly encouraged in RVC districts. Areas designated RVC include:

- Downtown Santa Cruz, 0.25 to 5.0 FAR. Emphasizes a mix of regional office and retail uses, residential and mixed-use developments, restaurants, and visitor attractions such as*

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entertainment venues. The Downtown Recovery Plan provides detailed requirements for this area.”

With an FAR of 4.60, the proposed project design conforms to the maximum allowable FAR of 5.0 as specified in the General Plan for development in the City’s downtown.

The proposed project conforms to, and fosters the attainment of, many goals and policies of the General Plan, including the following:

Goal LU3 A complementary balance of diverse land uses

- Land Use Development Policy LU3.1: Foster land use patterns that balance economic, housing, community, and environmental needs, and promote social diversity.
- Land Use Development Policy LU3.3: Develop, maintain, and encourage economically viable neighborhood-serving commercial districts. Cf. LU4.2.4 and ED5.2.
- Land Use Development Policy LU3.4 - In neighborhoods near visitor areas, give priority to uses that serve both visitors and residents.
- Land Use Development Policy LU3.7 - Encourage higher-intensity residential uses and maximum densities in accordance with the General Plan Land Use designations.
- Land Use Development Policy LU3.8 - Allow the following residential uses to exceed the maximum densities in this chapter
- Land Use Development Policy LU4.2 Encourage land use changes that reduce the need for autos.

Goal M1 Land use patterns, street design, parking, and access solutions that facilitate multiple transportation alternatives

- Mobility Development Policy M1.1 - Reduce automobile dependence by encouraging appropriate neighborhood and activity center development.
- Mobility Development Policy M1.3 - Create pedestrian-friendly frontage and streetscapes and attractive pedestrian-oriented areas.
- M4.2 Provide and maintain a complete, interconnected, safe, inviting, and efficient citywide bicycle network
- M4.4 Assure a high level of bicycle user amenities. Cf. PR1.6.4. M4.4.1 Maintain Zoning Ordinance and parking district requirements that require secure, covered bicycle parking and/or storage lockers at private and public facilities.
- M4.4.3 Increase the supply of bicycle parking throughout the city.

Goal ED1 A vibrant regional economic center

- Economic Development Policy ED1.1 Promote Santa Cruz as the principal retail, cultural, recreational, restaurant, entertainment, and commercial destination in the region.
- Economic Development Policy 5.2 - Provide for residents’ daily shopping needs in local-serving neighborhood commercial centers.

Goal CC 8 Excellent educational opportunities and resources

- CC8.5 Provide free and equal access to City libraries.
- CC8.6 Strive for library collections that meet community needs.
- CC8.7 Expand the communication and information network in the
- City’s libraries and optimize its quality.
- CC10.1 Encourage an adequate and diverse supply of childcare facilities

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- and services citywide.
- CC10.2 Encourage development of accessible, affordable, and quality childcare facilities near public transportation, employment centers, and in the Downtown.

Goal NRC5 An enhanced and sustainable urban forest

- NRC5.1 Protect and manage tree resources in the urban environment, with emphasis on significant and heritage trees.

Removal of multiple trees will be necessary as part of the project; however, standard tree replacement measures will be incorporated, as included in the conditions of approval.

Goal H1: Encourage an adequate diversity in housing types and affordability levels to accommodate present and future housing needs of Santa Cruz residents.

- Policy 1.1 Provide adequate sites and supporting infrastructure to accommodate housing through land use, zoning, and specific plan designations that encourage a broad range of housing opportunities.
- Policy 1.2 Concentrate new housing in the Central Core, along major commercial corridors, and on major opportunity sites consistent with the Land Use Element.
- Policy 1.3 Facilitate the production of mixed residential-commercial uses through the use of appropriate development standards, design and compatibility review, and regulatory and financial incentives.
- Policy 1.4 Establish and maintain residential development standards that support housing production yet promote the vitality of established neighborhoods.

Goal H2: Increase and protect the supply of housing affordable to extremely low, very low, low, and moderate income households.

- Policy 2.2 Facilitate the development of affordable housing through the provision of regulatory concessions, financial incentives and assistance, density bonuses, and other means.
- Policy 2.5 Promote meaningful and informed participation of residents, community groups, and governmental agencies in local housing and community development activities.

Goal H4: Provide increased opportunities for low and moderate income residents to rent or purchase homes.

Goal H5: Improve housing and neighborhoods throughout Santa Cruz and in designated target areas.

- Policy 5.3 Ensure that the character and design of both infill development and remodel/rehabilitation projects promote the vitality of existing neighborhoods.
- Policy 5.4 Promote the overall vitality and livability of neighborhoods by providing adequate public services, community facilities, infrastructure, landscaping and open space, adequate parking, traffic management, pedestrian and bicycle routes, and public safety to meet the needs of each individual neighborhood, as well as by preventing and eliminating blighting conditions

Goal H6: Strive to fulfill the city's housing needs while promoting an environmentally sustainable, compact community with clearly defined urban boundaries.

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Policy 6.1 Ensure a compatible relationship between new housing and circulation patterns and encourage pedestrian and bicycle friendly communities in order to minimize traffic impacts on quality of life.

- Policy 6.7 Promote transit-oriented, mixed-use residential developments that are close to services, reduce dependence on automobile use, and are of high quality

As a mixed-used development encompassing a new public library; commercial tenant space; childcare facility; approximately 243-space structured parking; and residential complex incorporating 124, 100% affordable residences, including studio-, one-, two- and three-bedroom residential units, situated in the City's urban core, the proposed project demonstrates consistency with the stated purpose of the CBD zone district, Cedar Street Village Corridor subarea and General Plan land use designations. The proposed project would further accommodate a unit density in conformance with the provisions of State Density Bonus Law, as described further below.

State Density Bonus Law and Inclusionary Housing

To address California's need for affordable housing, the State of California adopted its Density Bonus Law (Government Code Sections 65915 to 65918) in 1979 to encourage the provision of subsidized dwelling units by offering to developers a combination of benefits and incentives. For projects that include the requisite number of affordable housing units, and, upon the request of an applicant, local jurisdictions are mandated by State Density Bonus Law to: 1) allow more market-rate units than otherwise accommodated by the applicable zoning designation, offsetting costs associated with construction of affordable units; 2) approve "incentives or concessions," such as relaxed development standards, resulting in "actual and identifiable cost reductions" for the project; 3) authorize "waivers or modifications" from development standards, should adherence to such standards otherwise have the effect of physically precluding development at the level allowable under the Density Bonus Law; and 4) grant reduced parking requirements.

The project site is primarily located within the Cedar Street Village subarea regulated by the City's Downtown Plan, which limits heights of structures to 50 feet and four stories maximum.

State Density Bonus law allows for any residential project located within a half-mile of a major transit stop to request exemptions from maximum density controls and be provided a height increase of up to three (3) stories or thirty-three (33) feet above the standard maximum threshold allowable by the Municipal Code. A qualifying project may additionally receive four (4) incentives or concessions and is not required to include vehicular parking for residential units.

The applicant has submitted a base density plan (Attachment 3), which demonstrates that 72 residential units can be accommodated within the three-dimensional building envelope representing a fully-conforming project adhering to all applicable standard regulations. The base density plan incorporates a library, commercial tenant space, and childcare component, along with parking facility, as specified by City Council directives for the project. The submitted base density plans incorporate below-ground parking, intended to accommodate parking capacity per project objectives while minimizing the height of the building for conformance to the maximum standard building height of 50 feet as specified in the Downtown Plan. The base density plans result in a Floor Area Ratio (FAR) of 3.86, in compliance with the General Plan limitation of 5.0 for sites within the Downtown Plan area and with a land use designation of Regional Visitor Commercial (RVC), as in the case of the proposed project.

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The proposed project would measure 84 feet in height and include five stories of residential apartments above a three-story parking garage. Because the residential units are located above a three-story parking garage, the building cannot invoke the provision of Density Bonus law that allows for three additional stories or 33 feet in height for residential projects by-right.

A variation from the Downtown Plan's standard height limitation of 50' has been requested for the proposed project. While it is more common for a variation to development standards to be requested as either a waiver or an incentive/concession, the proposed variation to exceed height is justified by both cost-prohibitive improvements and physical construction limitations of the 100% affordable housing project. Therefore, the requested variation has been proposed as both an incentive/concession and waiver, as described below.

The base density plans incorporate two stories of underground parking, positioned below the portion of the building including the library, commercial tenant space, childcare facility, and residential units. However, due to the elevated costs associated with two stories of subterranean construction, underground parking is not a feasible option for the project. When the parking is placed at surface level, the parking structure's height of approximately 33 feet would remain less than 35 feet as identified in the Downtown Plan for parking garages. *However, the overall building height including the 100% affordable residential units, would exceed the 50' maximum height identified in the Downtown Plan, thereby necessitating the request for variation to building height as an incentive/concession.* Provision of parking constitutes a core objective of the proposed project as directed by the City Council. The project incorporates public parking necessary to offset deficits in available downtown parking capacity resulting from approved and anticipated future development projects, and to replace the existing public parking on the project site. Financial documentation submitted by the applicant details the heightened expenditures associated with pursuit of subterranean parking (compared with placement of structured parking at surface level), including additional costs related to design, structural reinforcement, ventilation, waterproofing, and construction.

The easterly component of the proposed project incorporates residential units situated above the public parking. Placement of parking above grade as requested above due to identifiable and actual cost reductions to the project in turn elevates the height of the residential portion of the project to 84 feet, beyond the maximum height threshold of 50 feet identified in the City's Downtown Plan. *The applicant has requested approval of a density bonus waiver to allow for the additional height.* Due to the project's affordability levels and location within a half-mile of a major transit stop, the project remains exempt from maximum density controls. With 124 residential units proposed, the project exhibits an FAR of 4.60, under the maximum FAR threshold of 5.0 allowable by the General plan for sites on land contained within the General Plan designation of RVC on land within the City's Downtown Plan area. Without the requested waiver, the proposed development would be physically precluded from development of the number of residential units allowable for consistency with State Law and the City's General Plan in which residential density is indirectly regulated by FAR.

Compliance with the standard maximum height of 50 feet as specified in the Downtown Plan would require a reduction in the number of stories of the building, and consequently eliminate a significant number of housing units from the project scope and would further have the effect of physically precluding construction of the number of residential units allowed under State Density Bonus Law. Situated on a compact site located within a half-mile of a major transit stop, with all residential units affordable to low- and very-low-income residents, the height of the housing/parking component of the project may be considered as proposed through request for additional height, beyond the 50' threshold as specified in the Downtown Plan, through an incentive/concession due to the excessive cost of placement of parking below ground level and a waiver for exceedance of the 50' height threshold then prompted due to the housing component's position above the parking facility and to accommodate the number of residential units allowable.

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Pursuant to California Government Code Section 65915(e), local jurisdictions hold very little discretion to deny any requested waiver, if such denial would preclude development at the density allowable pursuant to State Density Bonus Law, unless grant of any requested waiver would result in a violation of state or federal law, create a specific adverse impact on health and safety or the physical environment that cannot be mitigated, or adversely impact real property listed on the California Register of Historical Resources.

With regard to the proposed project, failure to grant the variation from maximum height threshold requested would render the project financially infeasible and physically preclude construction of the project accommodating the number of residential units allowed under Density Bonus Law, and the applicant has submitted sufficient information to support these conclusions. The City's Municipal Code, Section 24.16.020, requires that housing developments that would create five or more new residential dwelling units provide twenty percent (20%) of the dwelling units as inclusionary units, which shall be made available for lease to low-income households at an affordable rent. Inclusionary units are restricted in perpetuity to households earning eighty percent (80%) or less of the Area Median Income (AMI). The proposed project provides one hundred percent of the residential units as affordable units, exclusive of a manager's unit.

As with all multi-family property in the State, this proposal is entitled to create Accessory Dwelling Units (ADUs) in addition to the units proposed, reviewed as a ministerial action. Up to 25% of the total number of units (for this project, a total of 31) can potentially be created by converting non-livable space, and up to two New Construction ADUs can also potentially be built, either attached to, or detached from, the proposed structure.

Floodplain Overlay District

The southwestern corner of the project site is included in the City's Floodplain Overlay, within the A99 FEMA Flood Hazard area. The A99 Flood Hazard Area was designated by FEMA in 2002 as an area having additional flood protection due to the construction of the San Lorenzo River levee. Per Section 24.14.500 of the Zoning Ordinance, no standards for construction apply within the A99 flood zone area and the project will not adversely impact the carrying capacity of the San Lorenzo River or alter the natural watercourse of the river. The applicant has provided a written acknowledgement of potential flood hazards associated with the project.

Architecture and Design/Design Permit

The proposed project requires approval of a Design Permit per Code Section 24.08.410 for "multiple dwellings and dwelling groups containing three or more dwelling units," with the purpose of the Design Permit to promote high quality of project design consistent with the standards for aesthetics typifying the Santa Cruz community.

At the easterly half of the site, the five-story residential component rises above the parking garage of board-formed concrete base and three-toned integral stucco with metal trim exterior. The structure incorporates offset planes formed by strategically-placed projections and curved recesses featuring a three-tone stucco exterior punctuated by a regular arrangement of windows of alternating sash lending a balance of regularity and variety. Set back significantly from Cedar Street and physically separated from the library, commercial tenant space, and childcare components, the placement of the residential component affords privacy to residents while facilitating ready access to services of the library, childcare, and commercial space. The building includes a rooftop staircase tower element and elevator penthouse imparting variation in building form. Stepped-back facades accented with trim caps break up the buildings' mass and provide an element for horizontal emphasis. A color scheme of muted orange, beige, and gray applied to exterior wall surfaces

of the housing element create subtle contrast to the neutral earth-tone color palette dominating the building's first three levels, ensuring internal aesthetic consistency while ensuring visual harmony with the appearance of the existing site and surrounding land uses. The residential building furnishes a parapet height of seven feet for screening of rooftop mechanical equipment to avoid unsightly views and reinforce the high quality of project design.

Consistent with the design standards of the Cedar Street Village Corridor, the building provides ground-level treatment integrating primary entrances accessible from Cedar Street, accentuating the building's point of entry; effects transparency at ground level to afford visibility to the building's interior, thereby creating a sense of activity and vitality; integrates signage into building facades; and incorporates ample glazing.

Per provisions of the Downtown Plan, the parking structure façade serves as a compatible visual extension to the first three levels of the library building and avoids placement of any sloping-floor elevation adjacent to public streets. Located at the rear of the building, the parking facility has been set back from ground-floor commercial uses. As directed in the design criteria of the Cedar Street Village Corridor, although the lower levels of the library façade exhibit long, continuous strips of glazing, use of frit patterns and a regular gridded network avoid a monotonous presentation, and openings have been thoughtfully integrated within the garage and residential building walls to appear as well-proportioned windows, rather than continuous strips; variation in the dimension and proportion of openings and in the horizontal and vertical planes of the facade have been integrated to create visual interest and to reduce the mass of the parking structure. Decorative screen and trellis elements of durable, high-quality materials are also utilized to provide variation and interest on the façade, while special attention has been paid to minimize the prominence of the parking structure, including placement adjacent to a rear service lane. As promoted by the Downtown Plan, the proposed parking structure would play an important role in providing parking facilities for surrounding land situated along Pacific Avenue and to surrounding downtown destinations.

An integrated rooftop trellis structure and planters grant variation in texture, detail, and functionality, while entries and stairwells within parking structures have been located adjacent to public streets and designed to be visually open, to promote feelings of security and comfort. By demonstrating consistency with the elements stipulated in the Cedar Street Corridor design criteria, the proposed project preserves and enhances the informal "village" qualities of the Cedar Street Village Corridor, advances the vision of the City's Downtown Plan, and affords a visually-interesting and durable structure which fulfills the directives of the City Council while enhancing the aesthetic environment and integrating a multi-use facility in the City's downtown urban core.

Health in all Policies (HiAP)

HiAP is a collaborative approach to improving the health of all people by incorporating health considerations into decision-making across sectors and policy areas. HiAP is based on 3 pillars: equity, public health, and sustainability. The goal of HiAP is to ensure that all decision-makers are informed about the health, equity, and sustainability impacts of various policy options during the policy development process. The project supports the pillar of equity by providing a destination public facility, childcare, commercial facility, and affordable residential rental units on a site in the City's downtown urban core, in an area that is improved with sidewalks and street trees and that is in close proximity to public transportation, commercial goods and services, and recreational areas. The development of such land uses in this central location encourages a sustainable and healthy lifestyle by promoting alternative forms of transportation. Therefore, the project is considered to be consistent with the three pillars of the HiAP and is recommended as an efficient use of the land.

Geotechnical Report

A geotechnical evaluation dated June 2, 2022, prepared by *Cornerstone Earth Group*, indicates that the construction of the proposed project, supported by shallow foundations overlying ground improvement to mitigate the potential for liquefaction-induced settlement and lateral spreading, remains feasible from a geotechnical standpoint, provided that the final project design additionally addresses the concerns raised in the report. As described, ground improvement can mitigate settlement to tolerable levels, subject to appropriate techniques as designed by a qualified contractor. The geotechnical investigation has been provided to Building Division staff for review and Building Division staff has expressed no concern related to the analysis.

Cultural Resources (Archaeological) Evaluation

The applicant has submitted an archaeological evaluation, prepared by consultant *Albion Environmental, Inc.*, dated March 2022. The archaeological evaluation includes a records search of the California Historical Resource Information System (CHRIS) at the Northwest Information Center, Sonoma State University. The records search revealed that no archaeological resources have been previously identified within the project area, although ten resources have been recorded within a ¼-mile radius of the subject site. Based on observations made during on-site investigation, the archaeological consultant recommended preparation of an Extended Phase I evaluation to locate subsurface resources as they may occur on-site.

Archaeological reconnaissance was then conducted by consultant *Dudek, Inc.* based on the recommendations of the report prepared by *Albion*, with findings presented in a report dated November 2022. Testing produced positive results for historical period archaeological resources in four disparate trench locations distributed throughout the project site. Excavation work produced domestic artifacts strongly associated with the mid- to late- nineteenth century land uses in place along Lincoln and Cedar streets during that period. Due to the small sample of the Extended Phase I investigation conducted, *Dudek* recommended that a more extensive Phase II archaeological evaluation be conducted to broaden and intensify the geographic coverage of the investigation to complete a formal evaluation of found resources within the Project area for California Register of Historical Resources (CRHR) eligibility under CEQA.

A Phase II archaeological site investigation conducted by consultant *Dudek, Inc.* was subsequently prepared and submitted. The report, dated January 2023, presents the results of mechanical subsurface archaeological testing performed at eight locations in which the potential for subsurface historical period resources had been revealed in the preliminary Phase I archaeological report and Extended Phase I investigation. The results of collection and analysis of artifacts derived from 12 exploratory trenches indicated that much of the project area contains a deposit of scattered historical period artifacts associated with the mid- to late nineteenth century and early twentieth century. Analysis indicates the resource is a secondary deposit of low integrity and therefore not significant.

In total, results of on-site archaeological surveys, including ground and subsurface assessments, identified no cultural resources at the subject site which would render the project site or its contents of significance or requiring projection under CEQA. Standard conditions of approval are included that require compliance with Section 24.12.430(5) of the Zoning Ordinance regarding the discovery of artifacts during construction.

Historic Evaluation

An historic evaluation (DPR 523) dated March 14, 2022, has been prepared by City-approved historian Seth Bergstein of *PAST Consultants, LLC*, concluding that the property located at 113 Lincoln Street

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remains unlisted on the California Register of Historic Resources, the National Register of Historic Places, or the City of Santa Cruz Historic Building Survey, and appears ineligible for listing on any of the registers. As described in the historic evaluation, the commercial building at 113 Lincoln Street has been altered considerably since the time of its construction, with remodel of the storefront and removal of the building's original entrance undertaken in 1980, and a rear addition constructed in 1986. As substantiated by the report, the subject building no longer exhibits sufficient integrity of setting, design, materials, workmanship feeling, or association for it to qualify for inclusion in the National Register of Historic Places or the California Register of Historical Resources. The subject property containing the commercial building at 113 Lincoln Street is further determined ineligible for the Santa Cruz Historic Resources Inventory, as the building fails to satisfy City preservation criteria and experienced substantial alterations since the time of its original construction. The proposed redevelopment project requires no mitigation for impact to historic resources pursuant to the provisions of the California Environmental Quality Act (CEQA - Section 15064.5), as the subject property addressed 113 Lincoln Street, including its existing structure, has been demonstrated to lack historic significance. As the property at 119 Lincoln Street contains no structure, the above finding remains inapplicable to that parcel.

Acoustic Analysis

An acoustic (noise) impact analysis report dated January 23, 2023, was prepared by consultant *Salter, Inc.* to evaluate the project's potential for generation of unwanted sound and likelihood for compliance of the proposed project with standards of the City's General Plan and Chapter 4.13 of the Municipal Code and for impacts related to environmental concerns as specified by CEQA.

The acoustic evaluation concludes the following:

- Increased volumes of vehicular traffic generated by the proposed project are not predicted to significantly increase volumes of environmental noise to surrounding properties.
- Impacts generated by construction and mechanical equipment will either have no impact or can be designed to be reduced to result in volumes below thresholds of significance for compliance with CEQA standards.

Conditions of approval for compliance with noise standards have been incorporated in the project's conditions of approval.

Phase I, II Environmental Site Assessment

As part of due diligence conducted prior to proposed development of the subject site, a Phase I/II Environmental Site Assessment (ESA) dated September 22, 2022, prepared by *Weber, Hayes & Associates*, provides evaluation of existing environmental site conditions and an assessment of impacts related to the proposed project. An initial site investigation, (Phase I Environmental Site assessment) identified no recognized environmental conditions of concern but revealed the locations of two historic dry cleaners, now defunct, near the project site. Accordingly, for purposes of due diligence, the consultant conducted a limited Phase II ESA, including collection of subsurface samples for further analysis.

The Phase II subsurface site investigation included:

- Installation and sampling of nine (9) temporary soil vapor wells;
- Advancement of nine (9) shallow soil borings for the collection of soil samples for soil waste characterization associated with the development; and

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- Advancement of five (5) hydropunch groundwater borings for the collection of grab groundwater samples.

The Phase II ESA detected the presence of arsenic, barium, and lead in collected soil samples at concentrations exceeding applicable screening levels. Additionally, testing detected the presence of additional contaminants, including tetrachloroethylene (PCE), trichloroethene (TCE), total petroleum hydrocarbons as gas (TPHg), benzene, 1,2-dibromoethane (EDB), and 1,2-dichloroethane (1,2-DCA) in soil vapor samples at concentrations exceeding applicable screening levels.

A letter dated November 16, 2022, was received from the County of Santa Cruz Department of Environmental Health and Safety (ESH) in review of the submitted Phase I/II ESA. The letter from County ESH staff relayed general concurrence with the findings of the Phase I/II ESA and provided comments, with the following anticipated:

- requirement for additional, seasonal soil vapor sampling;
- placement of vapor intrusion devices designed for protection of sensitive receptors related to proposed ground-floor commercial childcare use as necessary for compliance with State requirements, dependent on concentrations of additional soil vapor samples;
- likely requirement for installation of trench dams in all subsurface utilities;
- testing of shallow soils, including from soil beneath the existing building following its demolition, should the proposed project receive entitlements, as a means of delineating the extent of shallow soil contamination;
- preparation of a remedial soil excavation plan of site soils, including removal and remediation of contaminated soils, regardless of final project construction;
- and completion and submittal of a soil management plan related to development earthwork activities involving encounter with contaminated soils, including a fugitive dust risk assessment for identification of risks associated with exposure to dust during remedial excavation activities to affect construction workers and off-site receptors.

A Condition of Approval has been added, requiring that all recommendations of the County of Santa Cruz Department of Environmental Health and Safety be applied, should the proposed project be approved by the City Council.

ENVIRONMENTAL REVIEW

The proposed project requires approval of a Nonresidential Demolition Authorization Permit, Special Use Permit, Design Permit, Lot-Line Adjustment, and Heritage Tree Removal Permit. All such entitlements represent discretionary actions, and the proposed redevelopment qualifies as a “project” under CEQA.

In analyzing a proposed project, the City may consider whether existing environmental documents contain an adequate analysis of potential environmental impacts associated with a proposed project. An earlier analysis may be used when, pursuant to tiering, a program EIR, or other California Environmental Quality Act (CEQA) provisions, it can be determined that one or more effects have been adequately analyzed in an earlier EIR or negative declaration (State CEQA Guidelines section 15063(c)(3)(D)). If a previous analysis is used, an evaluation of the potential environmental impacts of the proposed project may be conducted through preparation of an Initial Study checklist that identifies: a) the earlier analyses and states where they are available for review; b) which effects were adequately analyzed in an earlier document pursuant to applicable legal standards, and states whether such effects were addressed by mitigation measures based on the earlier analysis; and c) the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.

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CEQA also allows a lead agency to avoid repeating analyses that were already provided in a certified General Plan EIR for a development project that is consistent with the General Plan. Public Resources Code section 21083.3 and its parallel CEQA Guidelines provision, section 15183, provide for streamlined environmental review for projects consistent with the General Plan for which an EIR was certified. Section 15183, subdivision (b), states that, if a project is consistent with an agency's General Plan for which an EIR has been certified, the agency shall limit its examination of environmental effects to those which the agency determines, in an initial study or other analysis:

- (1) Are peculiar to the project or the parcel on which the project would be located;
- (2) Were not analyzed as significant effects in a prior EIR on the zoning action, general plan, or community plan, with which the project is consistent;
- (3) Are potentially significant off-site impacts and cumulative impacts which were not discussed in the prior EIR prepared for the general plan, community plan, or zoning action; or
- (4) Are previously identified significant effects which, as a result of substantial new information which was not known at the time the EIR was certified, are determined to have a more severe adverse impact than discussed in the prior EIR. (State CEQA Guidelines section 15183(b).)

An Environmental Impact Report was prepared for the City's most recently-adopted General Plan, General Plan 2030; and a separate EIR was completed for the Downtown Plan. Any project within City limits falls under the purview of the City's General Plan, and, due to the location of the subject site, the project is additionally regulated by the Downtown Plan. The DLHP provides for consistency with both documents and, therefore, qualifies for streamlined environmental review as allowed by Public Resources Code 21083.3.

An Environmental Checklist for Determination of CEQA Exemption has been prepared for the project by the City's environmental consultant, *Dudek*, in accordance with the procedures directed in CEQA (Attachment 5). The memorandum states that the City's General Plan 2030 EIR has adequately addressed the potential environmental effects for all required categories of impacts, and the project necessitates no further environmental review pursuant to Public Resources Code section 21083.3 for likely consequences of the project related to aesthetics; agricultural and forest resources; air quality; biological resources; cultural resources; energy; greenhouse gas emissions; hazards/hazardous materials; hydrology/water quality; land use; mineral resources; noise and vibration; population and housing; public services; recreation; transportation; utilities; and wildfire. Through the evaluation, site-specific impacts have been analyzed and determined to be less than significant due to substantial mitigation resulting from General Plan policies, zoning regulations and/or development standards that are uniformly applied to development projects throughout the City for all categories of impacts. Thus, pursuant to Public Resources Code section 21083.3 and State CEQA Guidelines section 15183, no further environmental analysis is required under CEQA. As detailed in the prepared evaluation, the project qualifies for the Statutory Exemption found in CEQA Guidelines Section 21083.3, and a Notice of Exemption is provided in Exhibit B of this report.

SUMMARY

The proposed project is consistent with the development requirements of the CBD Zone District and Downtown Plan and complies with eligibility requirements for State Density Bonus Law, which provides incentives such as allowance for additional building height and elimination of on-site parking requirements for residential uses. Through the State Density Bonus Law, the proposed project exceeds codified height limits but is situated in the City's downtown urban core a block from Pacific Avenue; surrounded by existing commercial, mixed-use, and residential development and quasi-public and public facilities; and, with its multi-tiered architecture, would provide a natural transition in intensity and form leading from the three-story library, commercial, and childcare building to the taller combined parking garage adjacent to

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the Cedar Street to the residential component nearer intense development of Pacific Avenue. The subject site is located within a developed, urbanized area supported by existing transit service. The development conforms to the existing site topography and will enrich the subject lot and surrounding neighborhood through removal of an underutilized City surface parking facility and commercial building of substandard development intensity, replacing it with a destination facility offering enhanced opportunities for literacy, job enrichment and training, scholarship, and community gathering; high-density housing project offering new amenities and support services to residents qualifying for affordable housing; care for young residents of the City; as well as active commercial space for gathering and designed for a range of land uses. The site lies south of Soquel Avenue and west of Pacific Avenue, approximately 0.1 mile west of the San Lorenzo River and 0.75 mile north of the Pacific Ocean, providing compatibility with, and continuity to, the existing street network, neighboring architecture, and surrounding landforms in the immediate vicinity of the subject site and downtown at large.

Through establishment of a flagship downtown library facility providing a broad range of valuable community services; childcare facility in heavy demand; commercial tenant space designed for a broad range of uses, with flexible interior layout accommodating varied programming through the life of the building; and enhanced stock of affordable residences providing residential opportunities to a vulnerable segment of the City's population, while merging an existing underutilized parcel to its contiguous lot, the proposed project will have the effect of advancing the achievement of General Plan goals and policies and ensuring compliance with Municipal Code standards while fostering a more significant, substantive development with an attractive, functional design accommodating a range of uses. It is recommended that the Planning Commission recommend to the City Council acknowledgement of the environmental determination and approval of the Nonresidential Demolition Authorization Permit, Use Permit, Design Permit, and Lot-Line Adjustment, based on the Findings listed below and the attached Conditions of Approval.

FINDINGS

Special Use Permit, Section 24.08.050

1. The proposed structure or use conforms to the requirements and the intent of this title, and of the General Plan, relevant area plans, and the Coastal Land Use Plan, where appropriate;

The subject parcel has a General Plan land use designation of Regional Visitor Commercial (RVC). The General Plan states

“Regional Visitor Commercial (RVC), 0.25 to 3.5 FAR. Applies to areas that emphasize a variety of commercial uses that serve Santa Cruz residents as well as visitors. Mixed-use development is strongly encouraged in RVC districts. Areas designated RVC include:

- Downtown Santa Cruz, 0.25 to 5.0 FAR. Emphasizes a mix of regional office and retail uses, residential and mixed-use developments, restaurants, and visitor attractions such as entertainment venues. The Downtown Recovery Plan provides detailed requirements for this area.

The proposed project is consistent with the policies of the General Plan, including the following:

Goal LU3 A complementary balance of diverse land uses

- Land Use Development Policy LU3.1: Foster land use patterns that balance economic, housing, community, and environmental needs, and promote social diversity.

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- Land Use Development Policy LU3.3: Develop, maintain, and encourage economically viable neighborhood-serving commercial districts. Cf. LU4.2.4 and ED5.2.
- Land Use Development Policy LU3.4 - In neighborhoods near visitor areas, give priority to uses that serve both visitors and residents.
- Land Use Development Policy LU3.7 - Encourage higher-intensity residential uses and maximum densities in accordance with the General Plan Land Use designations.
- Land Use Development Policy LU4.2 Encourage land use changes that reduce the need for autos.

Goal M1 Land use patterns, street design, parking, and access solutions that facilitate multiple transportation alternatives

- Mobility Development Policy M1.1 - Reduce automobile dependence by encouraging appropriate neighborhood and activity center development.
- Mobility Development Policy M1.3 - Create pedestrian-friendly frontage and streetscapes and attractive pedestrian-oriented areas.
- M4.2 Provide and maintain a complete, interconnected, safe, inviting, and efficient citywide bicycle network.
- M4.4 Assure a high level of bicycle user amenities. Cf. PR1.6.4.
- M4.4.1 Maintain Zoning Ordinance and parking district requirements that require secure, covered bicycle parking and/or storage lockers at private and public facilities.
- M4.4.3 Increase the supply of bicycle parking throughout the city.

Goal ED1 A vibrant regional economic center

- Economic Development Policy ED1.1 Promote Santa Cruz as the principal retail, cultural, recreational, restaurant, entertainment, and commercial destination in the region.
- Economic Development Policy 5.2 - Provide for residents' daily shopping needs in local-serving neighborhood commercial centers.

Goal CC 8 Excellent educational opportunities and resources

- CC8.5 Provide free and equal access to City libraries.
- CC8.6 Strive for library collections that meet community needs.
- CC8.7 Expand the communication and information network in the City's libraries and optimize its quality.
- CC10.1 Encourage an adequate and diverse supply of childcare facilities and services citywide.
- CC10.2 Encourage development of accessible, affordable, and quality childcare facilities near public transportation, employment centers, and in the Downtown.
- PR1.6 Ensure that parks and recreation facilities are accessible to all

Goal NRC5 An enhanced and sustainable urban forest

- NRC5.1 Protect and manage tree resources in the urban environment, with emphasis on significant and heritage trees.

Removal of multiple trees will be necessary as part of the project; however, standard tree replacement measures will be incorporated, as included in the conditions of approval.

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Goal H1: Encourage an adequate diversity in housing types and affordability levels to accommodate present and future housing needs of Santa Cruz residents.

- Policy 1.1 Provide adequate sites and supporting infrastructure to accommodate housing through land use, zoning, and specific plan designations that encourage a broad range of housing opportunities.
- Policy 1.2 Concentrate new housing in the Central Core, along major commercial corridors, and on major opportunity sites consistent with the Land Use Element.
- Policy 1.3 Facilitate the production of mixed residential-commercial uses through the use of appropriate development standards, design and compatibility review, and regulatory and financial incentives.
- Policy 1.4 Establish and maintain residential development standards that support housing production yet promote the vitality of established neighborhoods.

Goal H2: Increase and protect the supply of housing affordable to extremely low, very low, low, and moderate income households.

- Policy 2.2 Facilitate the development of affordable housing through the provision of regulatory concessions, financial incentives and assistance, density bonuses, and other means.
- Policy 2.5 Promote meaningful and informed participation of residents, community groups, and governmental agencies in local housing and community development activities.

Goal H4: Provide increased opportunities for low and moderate income residents to rent or purchase homes.

Goal H5: Improve housing and neighborhoods throughout Santa Cruz and in designated target areas.

- Policy 5.3 Ensure that the character and design of both infill development and remodel/rehabilitation projects promote the vitality of existing neighborhoods.
- Policy 5.4 Promote the overall vitality and livability of neighborhoods by providing adequate public services, community facilities, infrastructure, landscaping and open space, adequate parking, traffic management, pedestrian and bicycle routes, and public safety to meet the needs of each individual neighborhood, as well as by preventing and eliminating blighting conditions.

Goal H6: Strive to fulfill the city's housing needs while promoting an environmentally sustainable, compact community with clearly defined urban boundaries.

- Policy 6.1 Ensure a compatible relationship between new housing and circulation patterns and encourage pedestrian and bicycle friendly communities in order to minimize traffic impacts on quality of life.
- Policy 6.7 Promote transit-oriented, mixed-use residential developments that are close to services, reduce dependence on automobile use, and are of high quality.

Specifically, the General Plan designation of RVC characterizes downtown Santa Cruz as emphasizing, “a mix of regional office and retail uses, residential and mixed-use developments, restaurants, and visitor attractions such as entertainment venues.”

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The Downtown Plan additionally establishes a vision for the City's downtown core as embodied in the First Principles originally introduced in the Downtown Plan in 1991 and as subsequently refined in the years following. An excerpt of the Vision appears below:

"Vibrant, vital and active, the central business district constitutes the primary retail, commercial, professional and employment center for the City of Santa Cruz. This compact, high-density area is home to unique businesses, offering residents and visitors a diverse and wholesome environment for commercial, cultural, civic and social pursuits. Local, regional and national businesses combine in a potent blend, making the downtown a major destination for the entire region.

The project site occurs on land within the Cedar Street Village Corridor subarea of the Downtown Plan, which the Downtown Plan characterizes as follows:

"The Cedar Street Corridor is immediately west of the Pacific Avenue Retail District. The area provides an appropriate transition in scale and use between the downtown and the adjacent residential neighborhoods and the civic center. In contrast to Front Street, which plays a destination retail role, Cedar Street serves as a more local-serving street with a mixture of professional offices, support and convenience retail, and restaurant uses. Unlike Pacific Avenue, which developed in a relatively consistent manner with a strong "street wall" of buildings, Cedar Street is more diverse in nature, with a mixture of one and two-story structures of varied setbacks. Many of the buildings are wood frame structures with a strong residential character."

With an FAR of 4.60, the proposed project design conforms to the maximum allowable FAR of 5.0 as specified in the General Plan for development in the City's downtown. As a mixed-used development encompassing a new public library; commercial tenant space; childcare facility; approximately 243-space structured parking; and residential complex incorporating 124 100% affordable residences, including studio-, one-, two- and three-bedroom residential units situated in the City's downtown urban core, the proposed project demonstrates consistency with the stated purpose of the CBD zone district, Cedar Street Village Corridor subarea and General Plan land use designations, as articulated in the project plans, agenda report, website materials for the project, public hearing presentations, conditions of approval, and elsewhere in these findings. The proposed project would conform to residential unit densities consistent with the provisions of State Density Bonus Law. The associated agenda report text further describes how the State Density Bonus Law is used by the project to remain consistent with the Downtown Area Plan. The site is not located within the Coastal Zone.

2. That any additional conditions stipulated as necessary in the public interest have been imposed;

Conditions of approval have been added to the proposed project, including, but not limited to, requirements for construction of a sidewalk of at least 10' in width per design criteria of the Downtown Plan, establishment of new City street trees per the list of approved varieties and establishment of 12 off-site trees within the downtown area intended to counteract the removal of existing trees, continuation of a 6' wide westbound bicycle lane and installation of new City streetlights including decorative light standards, collectively improving circulation and safety of motorists, bicyclists, and pedestrians, and enhancing the aesthetic environment and streetscape. Required construction of a new trash enclosure and storm drain inlets will additionally provide for upgraded refuse collection and materials recovery as well as treatment of runoff at the project site for mitigation of potential impacts to surrounding properties, public right-of-way for enhanced protection of ground- and surface-water resources.

3. That such use or structure will not constitute a nuisance or be detrimental to the public welfare of the community; and

Since the time of its inception, the proposed project's design has evolved in response to feedback received through yearslong community outreach efforts; architectural plans have additionally undergone revision resulting from feedback provided by City staff. As currently proposed, the project satisfies design standards of the Municipal Code and Downtown Plan. Consistent with provisions of the Downtown Plan, the structure's design emphasizes the development's ground floor, accentuating building entries to relate to the human scale, while stepped-back facades and a coordinated program of fenestration present a balanced, intentional appearance which offsets bulk and mass. The building bestows street presence due to its height, width, and substantial footprint, while avoiding the impression of an imposing edifice through use of a tiered form and placement of the tallest components a significant distance from the front property line. Integration of new landscaping will soften the appearance of the development by including a drought-tolerant, water-efficient plant palette which will enliven the existing site, enhance the area's ecology, while additionally providing greater vibrancy and durable functionality, enhancing the pedestrian experience and offering opportunities for usability of outdoor space for passive recreation.

The proposed project meets all district development standards, with the exception of project height proposed as a Density Bonus waiver and incentive/concession, and the overall building mass has been broken up by architectural treatments, including articulated exterior surfaces, a diversified material and color palette, integration of expansive glazing, and incorporation of tasteful exterior detail including score lines, recesses, and overhangs. Visual interest is ensured by incorporation of varied roof forms and relief in building planes. Rooftop equipment is incorporated into the project design and screened from view from adjacent properties and public rights-of-way, while utility installations such as trash enclosures, storage units, and parking are incorporated into project design, rendering them accessible but screened from view. The commercial childcare facility, although imbedded in the project floor plan, remains sheltered due to strategic placement of building walls and inclusion of separate entrances dedicated to individual uses, while the residential tower remains separated by distance for privacy and security. Through separation by distance and provision of secured access, sensitive uses retain privacy and security programming. Placed adjacent to the Cedar Street frontage, the project's rooftop terrace, including outdoor community gathering space, remains oriented away from surrounding residences and other land uses, disconnected from adjacent residential uses by building areas, further avoiding impacts related to potential loss of privacy, strategically placed to avoid imparting unintended nuisances activities to surrounding land uses associated with production of noise, vibration, glare, and the like associated with the introduction of new housing units. The library will serve as a community space for resources, learning, and gathering. With all such factors considered, including conditions of approval implemented, the proposed uses incorporated into the project will not constitute a nuisance or impose detrimental impacts to the public welfare of the community.

4. That all thrift store uses shall include a management plan that identifies collection facilities for donated items, operating hours for donation facilities which discourage unsupervised dropoffs, adequate storage areas for sorting the materials, and provides a plan to properly dispose of unusable items in a timely, secure, and orderly fashion and maintains premises in a clean and attractive condition.

The above finding remains inapplicable, as the project does not include a thrift store use.

Large Non-Residential Ground-Level Uses, Downtown Plan

5. The use adds a desired, “targeted” business to the Downtown, which would serve to diversify the Downtown Plan area ground-level business base;

The land uses included in the proposed project, including public library, affordable housing units, childcare, and commercial tenant space, represent desirable land uses, as expressed by the City Council and advisory bodies and as additionally affirmed by the community as a whole through feedback received via extensive public outreach. The proposed scope of work encompasses three distinct ground-level uses (and four uses overall) within a mixed-use format which would diversify the mix of development in the City’s urban core. The new library would exceed 16,000 square feet in size; however, as a public use open to all members of the community and not representing a “business”, siting of such facility would remain in conformance with the spirit and intent of the above finding, which allows for review of expansive, for-profit land uses. The combined floor area of the proposed childcare and commercial tenant space would remain below the 16,000 square-foot size threshold identified and constitute land uses directed by the City Council for incorporation into the proposed project’s scope of work. Therefore, the above finding can be made.

6. The use provides a public benefit and contributes to an appropriate balance of local or non-local businesses. For the purposes of this finding, it shall be presumed that local businesses serve to sustain the authenticity and unique retail character of the downtown business mix. However, non-local businesses may add to retail draw and contribute to overall downtown vitality in certain circumstances;

As a not-for-profit enterprise, the new library would provide an array of public benefits, functioning as a landmark downtown destination providing resources for enhancement of community literacy, offering new capabilities for research, fulfilling the need for a community gathering space, and providing capacity for community events. The library would primarily serve local residents but would also attract some visitors. As a regular destination for many community residents, the library use would support other businesses in the downtown by bringing additional customers to the area. While both under the 16,000-square-foot threshold considered here, the childcare facility would assist in addressing the dearth of much-needed opportunities for care of the City’s youngest residents, and the commercial tenant space would add ground-floor capacity for a range of tenant types and provide for relocation of the existing Toadal Fitness use displaced through the proposed redevelopment of 113 Lincoln Street.

7. The use contributes to an appropriate balance of small, medium and large-sized businesses in the downtown area to diversify the ground-level business mix; to insure the maintenance of the “Santa Cruz” identity, unique character and authenticity; to seek to reduce economic “leakage” of sales out of the City and County; and to induce local investment and employment to the downtown area;

The new library facility, as a public facility affording a diverse array of benefits to the community, constitutes a large facility which nonetheless acts in a service role, providing access to print, digital, and audio media foster development of literacy and fostering life-long learning opportunities for community residents and visitors. As the flagship downtown library boasting an attractive, modern, and urbanist design and replacing the City’s existing, aged downtown branch, the library facility offers a unique addition to the mix of uses and building types in the City’s downtown core and may serve as the impetus for further positive land-use changes within the neighborhood. Siting of the new facility, near the existing library, retains patronage within the immediate vicinity of the existing library and

would add foot traffic to the area with potential for an added customer base to surrounding businesses. Addition of walkable, pedestrian-and cyclist-oriented ground-floor uses would maintain neighborhood-and community-serving uses within City limits, preventing leakage to locations outside of Santa Cruz. The location of affordable housing, childcare, and commercial space within a single building creates a symbiotic mix of uses which complement surrounding land uses and furnish a broader range of destinations in the locale intended to represent a destination for the community.

8. The design of the façade of the proposed use meets the design standards and guidelines of the Downtown Plan and is not restricted by corporate standardized or trademarked exterior design, signage, materials, color or other visual treatments;

The proposed project includes high quality of architecture and attractive arrangement and presentation of facades, aesthetically enhancing the existing site, ensuring compatibility with surrounding uses, and ensuring consistency with the provisions of the Downtown Plan. The design incorporates relief in the buildings' front and side facade planes; diversity of materials and colors; inseting of windows and placement of projecting metal awnings; and integration of a distinct building base, middle, and cap. Varied fenestration, ample use of score lines, and placement of decorative louvers and trim detail additionally offer visual diversity, while reducing the appearance of project building bulk and mass. With a design tailored to the project site, the proposed project introduces no corporate architecture or signage, but, rather, affords originality and uniqueness, furthering the unique identity which establishes Santa Cruz as a vibrant, authentic, and attractive city. Use of native, drought-tolerant, and low-water-use vegetation further enhance the image of the proposed development while providing ecological benefits and functionality through improved treatment of stormwater, creation of passive recreational space, and provision of opportunities for both active and passive recreation and gathering space for social interaction to the entirety of the Santa Cruz community.

9. The proposed use would be a good neighbor and contribute to the community life of the downtown by participating in such community activities as: (1) Membership in downtown merchant, resident, neighborhood improvement organizations and/or assessment districts; (2) to the greatest extent feasible, hiring local residents; and (3) hosting or participating in downtown festivals, fairs, benefit events and similar neighborhood activities; and

The proposed use would enhance the vibrancy and life of the community, acting as an integral component of the City's continually evolving and diversified downtown core. The new library would provide capacity for community gatherings, events, festivals, and fairs and offer a venue for hosting of events open to the public and serving a wide range of stakeholder needs. The childcare use would allow for area residents to care for the youngest members of their families in a location near a high-density commercial and employment center, while the commercial tenant space would offer capacity for new retail, service, and similar resident-serving categories of uses accessible from ground level and offering expanded business and employment stock and representing a venue accommodating new and existing local merchants.

10. If applicable, all food and/or beverage service activities shall be conducted in accordance with the following "good neighbor operating procedures" for such uses.

- i. Sufficient trash and recycling receptacles shall be provided and shall be regularly maintained;**
- ii. All debris boxes shall be screened and kept on the premises in a designated or approved location;**

- iii. The operator shall be responsible for cleaning the sidewalk within fifty (50) feet horizontal distance from the premises during the hours of operation to maintain the sidewalk free of paper, spillage or other litter; and**
- iv. Noise, glare and odors shall be contained within the premises so as not to be a nuisance to neighbors. Under no circumstance shall the ventilation outlets or motors cause emission of objectionable odors or noise directed toward neighbors.**

The mix of land uses incorporated within the proposed project would introduce an array of enterprises into the Cedar Street Village subarea of the City's Downtown Plan area. While food and beverage services are not currently expected as part of the regular library operations, if such service were to occur, through application of standards conditions of approval and through implementation of principles of design in keeping with the provisions of the Downtown Plan and practices of property maintenance conforming to the provisions of the City's Municipal Code, trash receptacles would remain in sufficient capacity and of a unified design consistent with the aesthetic standards of the City's Downtown Plan; debris boxes would remain within designated, approved locations; proper sanitation practices would be followed; and nuisance impacts related to generation of noise, glare, odors, and similar offensive effects would not manifest.

Design Permit, Section 24.08.430

- 11. The site plan and building design are consistent with design and development policies of the General Plan, any element of the General Plan, and any area plan, specific plan, or other city policy for physical development. If located in the Coastal Zone, the site plan and building design are also consistent with policies of the Local Coastal Program.**

The project site plan demonstrates consistency with, and will facilitate achievement of, the goals, policies, and actions of General Plan 2030, whose Land Use Map designates the land including the subject parcel as "Retail Visitor Commercial." Demolition of an existing, aged commercial building and surface parking lot situated on the respective parcels comprising the project area and replacement with a higher-intensity development will provide improved utility of the site; and placement of a new development will provide for a more uniform, cohesive exterior appearance consistent with the bulk, mass, and architecture of existing, surrounding uses. As proposed, the project will, therefore, 1) attain General Plan Goal CD-1 by promoting "a building environment in harmony with its natural setting;" and 2) advance Policy LU1.1 by relating "residential, commercial, and industrial land use intensities to the capability and location of the land while ensuring optimum utilization of infill parcels." The project provides 124 dwelling units, resulting in an elevated residential intensity as allowable by the State's Density Bonus Law, and thus advances site development standards of the Downtown Plan through advancement of elements of the plan by facilitating the vision that "A range of housing types is integrated into the downtown ... This urban-density housing provides both market-rate and affordable units, and expands the immediate market for downtown goods, services and public transportation" and fostering attainment of qualities of the Code Street Village Corridor as envisioned in the Plan that "upper-level residential uses are particularly encouraged within the Cedar Street subarea to intensify the resident population of the downtown and to create an appropriate land use transition to the adjacent neighborhoods." Through provision of traffic-calming measures, including widened sidewalks and extended bicycle travel lanes, the project mitigates increases in vehicular volumes and assists in improvement of public safety while avoiding disruption to current circulation patterns. Consistency with the General Plan, Downtown Plan, and other applicable regulations is further articulated in the project plans, staff reports, website materials for the project, public hearing presentations, and conditions of approval, and elsewhere in these findings.

12. For non-residential projects, the project's location, size, height, operations, and other significant features and characteristics are compatible with and do not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, safety, and welfare. For residential projects, the project complies with the objective standards and requirements of the zoning district in which it is located, as well as any objective standards of any area plan or other regulatory document that applies to the area in which the project is located.

The project complies with all applicable objective standards, in part through the implementation of State Density Bonus Law, as articulated in the project plans, staff reports, website materials for the project, public hearing presentations, and conditions of approval, and elsewhere in these findings. The proposed project would replace an existing, low-intensity building and fixtures with a dynamic new mixed-use development accommodating a variety of uses, including public facility, commercial, and residential units at a site bounded on all sides by existing buildings of similar scale and range of land uses. Demolition of the existing aged structures and replacement with a new development boasting modern architecture will eliminate aging infrastructure while introducing new land uses whose attributes retain compatibility with the nature of surrounding uses of commercial, residential, and public-facilities character, with a diversity analogous to that proposed while avoiding spillover effects inducing detrimental effects to surrounding land uses. The proposed layout will allow for improved use of the site for mixed-use high-density commercial and residential use and maintain compatibility in design and utility of surrounding land uses.

13. For non-residential projects, the project provides for an arrangement of uses, buildings, structures, open spaces, and other improvements that are compatible with the scale and character of the adjacent properties and surrounding neighborhood.

Through removal of an antiquated, underutilized building and surface parking lot, the proposed project will allow for better use of a property of constrained dimensions and limited area while continuing the multi-use character of the site and maintaining cohesiveness to surrounding uses. The design of the project and all landscaping will enhance the aesthetics of the project site and allow for an intensity of use and activity appropriate for the site's downtown location, while minor regrading of the project area and setting of new surface material will combine for improved circulation and site access conducive to a high-density, mixed-use development.

The building would reflect an individual character while introducing ample articulation, diversity of colors and materials, varied setbacks across stories, and appropriate scale and massing, compatible building form and bulk, and protection for solar access; provide an appropriate height, setting the taller residential building components closer to Pacific Avenue and stepping down significantly from the height of the residential component to a structured parking facility and library, and consistent with the maximum height stipulated by the Downtown Plan, in part through implementation of State Density Bonus Law; supply multifamily housing as a core component of the proposed scope of work; ensure accessibility to downtown destinations; integrate a strong network of public and private open spaces for social activity and pedestrian orientation; emphasize pedestrian and bicyclist circulation; and centralize parking within a structured facility. The project would provide new opportunities for placement of affordable residential units in the City's Downtown; would promote the appearance of groupings of buildings rather than one monolithic mass; will facilitate the creation of internal pedestrian connections and will advance the construction of childcare and structured parking and will incorporate public right-of-way improvements. The project therefore provides for an arrangement of uses, buildings, structures, open spaces, and other improvements that are compatible with the scale and character of the adjacent properties and surrounding neighborhood.

14. The exterior design and appearance of buildings and structures and the design of the site plan shall be compatible with design and appearance of other existing buildings and structures in neighborhoods which have established architectural character worthy of preservation.

The proposed project proposes modifications to an existing underutilized downtown site containing a single decades-old commercial building and asphalt parking lot, whose removal will eliminate a low-performing, aged structure precluding attainment of optimum development potential and use of the subject site; and proposed replacement with a new landmark building, attractive landscaping, and attendant on- and off-site amenities granting enhanced aesthetics and acting as the impetus for urban renewal in the subject area. Construction of a modern building with variation in height, ample articulation in planes, diversity in materials and colors, balance in fenestration, and incorporation of a tiered building design would enhance the project site while complementing the local environment, including surrounding land uses of various scales of development intensity, thus advancing neighborhood compatibility.

The proposed project includes high quality of architecture and site design, satisfying the stated rationale of the requirement for Design Permit and providing consistency with the provisions of the Downtown Plan. The design incorporates relief in the buildings' front and side facade planes; diversity of materials and colors; inseting of windows and placement of projecting metal awnings; and integration of a distinct building base, middle, and cap. Varied fenestration, ample use of score lines, and placement of decorative louvers and trim detail additionally offer visual diversity, while reducing the appearance of project building bulk and mass. Use of native, drought-tolerant, and low-water-use vegetation further enhance the image of the proposed development while providing ecological benefits and functionality through improved treatment of stormwater, creation of passive recreational space, and provision of opportunities for both active and passive recreation and gathering space for social interaction to the entirety of the Santa Cruz community.

Consistent with the design standards of the Cedar Street Village Corridor, the building provides ground-level treatment integrating primary entrances accessible from Cedar Street, accentuating the building's point of entry; transparency at ground level to afford visibility to the building's interior, thereby creating a sense of activity and vitality; integration of signage into building facades; and incorporation of ample glazing. The new green roof positioned atop the third floor of the library building, aligned to the building's primary frontage, include landscaping to soften the appearance of the built environment, blurring the hard edge of the building's cap along Cedar Street and blending nature with new construction, offers an element for visual interest, access to usable space, and opportunities for community interaction.

The surrounding area has a mix of building heights and massing, and the proposed design responds to the urban context and planned building intensities by placing taller building heights closer to Pacific Avenue and stepping building heights down towards Cedar Street. The existing building on the site at 113 Lincoln Street was determined to not qualify for local, state, or national historic register designations, though some buildings with historic designations are located in proximity to the site. The closest building with a historic designation is at the southwest corner of Pacific Avenue and Lincoln Street, at 1129 Pacific Avenue. The historic report for that building notes the large glass display windows on the façade and the terra cotta tiles along the parapet. These design features are not present in what appears to be a later addition to the building at 105 Lincoln Street, based on the lack of those features, different building height, different parapet design, and different fenestration. Regardless, the existing and planned urban context of the area with mixed building heights provides an existing condition and expectation of differing new building sizes and scales in the area, and the urban context, separations (in addition to 105 Lincoln Street providing separation between the

proposed project and the historic building at 1129 Pacific Avenue, an alleyway also separates the project from the historic building, and the taller element of the building is separated even further from the edge of the alley, making the taller element over approximately 30 feet from the property line of 105 Lincoln Street), and building design provide for compatibility between the historic building at 1129 Pacific Avenue and the proposed project. Other historic buildings are located nearby on or near the west side of Cedar Street. Similar to the case with the 1129 Pacific Avenue structure, the urban context, the separations between the project and the historic sites, and the building design are all proposed in a manner that creates compatibility with nearby structures with architectural character that is worthy of preservation. The project's consistency with applicable rules of the Downtown Plan and other plans establishes compatibility between the project and existing and planned development in the area, and the context of the area would not be altered by the project in a manner that would affect the respective designations of any of the nearby historically-listed structures.

15. Design of the site plan respects design principles in terms of maintaining a balance of scale, form and proportion, using design components which are harmonious, and materials and colors which blend with elements of the site plan and surrounding areas. Location of structures takes into account maintenance of public views; rooftop mechanical equipment is incorporated into roof design or screened from public rights-of-way to the extent possible. Utility installations such as trash enclosures, storage units, traffic-control devices, transformer vaults and electrical meters are accessible and screened.

The proposed project will maintain a balance of scale, form, and proportion with both the existing site and neighboring properties in a variety of ways. Through removal of an antiquated, underutilized building and surface parking lot, the project will allow for better use of a property of constrained dimensions and limited area while continuing the multi-use character of the site and maintaining cohesiveness to surrounding uses. The design of the proposed project and all landscaping will enhance the aesthetics of the project site and allow for an intensity of use and activity appropriate for the site's downtown location, while minor regrading of the project area and setting of new surface material will combine for improved circulation and site access conducive to a high-density, mixed-use development. New rooftop mechanical equipment and all ground-mounted equipment and utility installations will be required to be fully screened from view from surrounding properties and public rights-of-way.

16. Where a site plan abuts, or is in close proximity to, uses other than that proposed, the plan shall take into account its effect on other land uses. Where a nonresidential use abuts or is in close proximity to a residential use, the effect of the site plan should maintain the residential quality of adjacent or nearby areas.

The proposed project would replace an existing, low-intensity building and fixtures with a dynamic new mixed-use development accommodating a variety of uses, including public facility, commercial, and residential units at a site bounded on all sides by existing buildings of similar scale and range of land uses. Demolition of the existing aged structures and replacement with a new development boasting modern architecture will eliminate aging infrastructure while introducing new land uses whose attributes retain compatibility with the nature of surrounding uses of commercial, residential, and public-facilities character, with a diversity analogous to that proposed while avoiding spillover effects inducing detrimental effects to surrounding land uses. The proposed layout will allow for improved use of the site for mixed-use high-density commercial and residential use and maintain compatibility in design and utility of surrounding land uses.

The proposed project would likely generate only a minor increase in traffic to the surrounding area, as the project's scope of work would provide for ingress and egress from existing frontages, thereby

continuing all existing circulation patterns to minimize impacts and simultaneously enhancing safety for motorists, bicyclists, and pedestrians. A broadened sidewalk of 10' in width per design criteria of the Downtown Plan, and continuation of a 6' wide westbound bicycle lane combine to improve circulation and safety of motorists, bicyclists, and pedestrians, and enhancing the astatic environmental and streetscape. Vehicular ingress and egress would occur from Cathcart Street to the parking garage serving all uses included in the project, with pedestrian entry positioned midblock along Cedar Street. Pedestrian access to the parking garage occurs adjacent to the vehicular entries along the building's southerly elevation, as well at the project's north side along its Lincoln Street frontage, immediately adjacent to the library's easterly wall. By replacing existing surface parking stalls with new structured parking of greater increased capacity near the easterly portion of the project site, the project would provide a parking facility readily accessible to the public, accommodating the anticipated project demand and helping to offset deficits projected through existing and future downtown development while minimizing the visual impacts of vehicle storage. Through placement of the entry from Cathcart Street at a sufficient distance from Cedar Street, the site design affords ease of ingress and egress while avoiding obstructions to vehicular flow and facilitating safe passage to and from the project site. The scale of the building is compatible with the scale of the surrounding urbanized area, and the project design responds to the criteria called for in the Downtown Plan.

- 17. To the extent feasible, the orientation and location of buildings, structures, open spaces, and other features of the site plan maintain natural resources including significant trees and shrubs, minimize impacts to solar access of adjacent properties, and minimize alteration of natural land forms; building profiles, location, and orientation must relate to natural land forms.**

The proposal requires the removal of existing vegetation, including trees; however, a new plant palette will provide a renewed, vibrant appearance through incorporation of native, low-water-use, and drought-tolerant foliage selected for adaptation to local climatic and soil conditions and with City street trees of a number greater than those proposed for removal. The project scope incorporates minor alteration of site topography. Due to the flat slope of the site, limited earthwork would occur and not alter landforms in any appreciable manner. Although new buildings are proposed, such development would replace an existing underutilized site with new features occurring in approximately the same location as existing development, maintaining height as allowable by Code, and as modified pursuant to State legislation, while avoiding inducement of adverse impacts related to height, setbacks, or loss of sunlight exposure to surrounding properties.

The proposed project incorporates new landscaping with a plant palette tailored to local soil and climatic conditions situated at the perimeter of the project site, providing limited screening to new parking stalls located within the proposed structure. Open space has been integrated in the project design, breaking up building mass and bulk while providing opportunities for respite, reflection, and outdoor recreation.

- 18. The site plan ensures that the scale, bulk, and setbacks of new development preserves important public views along the ocean and of designated scenic coastal areas. Where appropriate and feasible, the project shall restore and enhance visual quality of visually degraded areas.**

The site does not have a view of the ocean or scenic coastal areas and is not located in a visually degraded area; therefore, this finding is not applicable.

- 19. The site plan shall reasonably protect against external and internal noise, vibration and other factors which may tend to make the environment less desirable. The site plan should respect the need for privacy of adjacent residents.**

A temporary increase in noise and vibration will result from project construction; however, no long-term intensification in nuisance impacts, including noise or vibration, would stem from the project. As a minor modification to the existing site zoned for Central Business District intensity and flanked by existing development and buffered by surrounding buildings, the project would not produce detrimental impacts related to loss of privacy, as no alteration to site standards or existing setbacks required by the Downtown Plan are incorporated in the scope of work, aside from the height increase allowed pursuant to the State Density Bonus Law. Placement of the project's residential component at the easterly portion of the project site, maximizing separation from neighboring residences and siting of the project's rooftop terrace, including outdoor community gathering space, adjacent to the Cedar Street public right-of-way, diminishes impacts related to potential loss of privacy and reduces adverse, potential nuisance activities related to noise, glare, and vibration associated with occupancy of proposed housing units and associated with congregate gathering on the library's rooftop. Therefore, the project will not render the environment less desirable, nor will it affect privacy of adjacent residents.

20. Building and structures shall be designed and oriented to make use of natural elements such as solar radiation, wind, and landscaping for heating, cooling, ventilation, and lighting.

The proposed project has been designed to maximize space efficiency while providing ample access to light and air. Integration of generous glazing on all levels and facades of the building, including operable windows, introduces opportunities for passive heating and cooling, while providing views to the surroundings. The project design accommodates future installation of rooftop photovoltaic arrays, furthering sustainability goals for reductions in greenhouse gas emissions, reducing the project's carbon footprint while offsetting costs associated with provision of electricity while maximizing efficiency of energy use.

The project scope of work includes new landscaping maximizing use of native vegetation and low water-use, drought-tolerant plant varieties. The project will further be required to comply with all applicable provisions of Municipal Code Chapter 16.16, Water-Efficient Landscaping related to regulation of landscape design, construction, and maintenance, thereby promoting efficient water use, facilitating management of peak season water demand, and assisting with the preservation of water storage in order to ensure a reliable and adequate public water supply. The application has been conditioned to provide a final landscape plan for review and approval with the building permit plans. Additionally, all new building and plumbing fixtures will be required to comply with Title 24 Energy-Efficiency requirements, including maximum efficiency of resource utilization.

Density Bonus, Section 24.16.270

21. The housing development is eligible for a density bonus and any concessions, incentives, waivers, modifications, or modified parking standards requested; conforms to all standards for affordability included in this section; and includes a financing mechanism for all implementation and monitoring costs.

The General Plan establishes a maximum Floor Area Ratio of 5.0 for property with a land use designation of Regional Visitor Commercial (RVC). As Floor Area Ratio constitutes a general measure of mass and bulk, it intrinsically relates to residential density in that the number of residential units which may be accommodated within a project relies on the intensity of development (i.e., the three-dimensional space occupied by the building, or its massing).

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Although the General Plan establishes a maximum Floor Area Ratio of 5.0 in the City's Downtown, notably, State Density Bonus Law allows for an increase in the number of residential units which may be accommodated within a project through provision of affordable housing units of particular percentages of the number of residential units included in the project's base density, or the density of residential units which may be included in a project fully-conforming to all applicable regulations, including legislation, Code, policy and such as height, setbacks, and the like.

As shown in the base density plans, 72 residential can be accommodated within the three-dimensional space provided per all applicable standard regulations. Such base density incorporates a library facility, commercial tenant space, and childcare component as specified by City Council directives and results in an FAR of 3.86.

Through AB1763, any project located within a half-mile of a major transit stop remains exempt from maximum density controls and is provided a height increase of up to three (3) stories or thirty-three (33) feet above the standard maximum threshold allowable by the Municipal Code. Via this legislation, a qualifying project may receive four (4) incentives or concessions pursuant to State Density Bonus Law (Government Code Section 65915 et. seq.), as affirmed through the provisions of Senate Bill (SB) 330 (Housing Crisis Act of 2019). Further, Assembly Bill 2345 exempts the housing component of the project from provision of vehicular parking due to the site's proximity to a major public transit location.

The City's Municipal Code, Section 24.16.020, requires that residential developments that would create five or more new residential dwelling units provide twenty percent (20%) of the dwelling units as inclusionary units, which shall be made available for lease to low-income households at an affordable rent. Inclusionary units are restricted in perpetuity to households earning eighty percent (80%) or less of the Area Median Income (AMI). The proposed project provides one hundred percent of the residential units as affordable units. A condition of approval has been added, requiring designation of unit(s) as manager's residences as deemed necessary or appropriate.

With 124 units proposed and a residential base density of 72 units, the project as presented exhibits an FAR of 4.60, a number below the maximum threshold allowable by the General Plan for sites located on land within the City's Downtown Plan area; the design additionally has a residential density of approximately eighty (80) dwelling units per acre and would result in a density bonus of 72%. The housing component of the project therefore demonstrates eligibility for a density bonus and waivers and modified parking standards requested; the project additionally conforms to all standards for affordability; and, as conditioned, will include a financing mechanism for all implementation and monitoring costs. The project applicant has secured various sources of financing for construction, implementation, and monitoring costs and has expressed the intent to pursue a range of future financing opportunities.

22. Any requested incentive or concession will result in identifiable and actual cost reductions to provide for affordable rents or affordable ownership costs based upon appropriate financial analysis and documentation if required by Section.

The project plans present a design which places the bottom level of the parking garage at surface level, with the residential component positioned atop the structured parking facility. An incentive/concession is requested for increase in height related to placement of structured parking at surface level, as included in the project plans. Reasonable financial documentation has been submitted in support of the requested incentive/concession in which the applicant has demonstrated the elevated expenditures associated with the proposal for subterranean parking compared with placement of

structured parking at surface level, including costs incurred related to design, structural reinforcement, ventilation, waterproofing, and construction.

23. If the density bonus is based all or in part on dedication of land, the approval body has made the findings included in Section 24.16.230.

The above finding remains inapplicable, as the project does not include any requests for dedication of land.

24. If the density bonus, incentive, or concession is based all or in part on the inclusion of a child care center, the development conforms to the standards included in Section 24.16.235.

Although the proposed development includes a childcare facility, no waiver or incentive/concession has been requested related to the childcare facility, and, thus, the above finding remains inapplicable pursuant to SCMC 24.16.235.

25. If the density bonus incentive or concession is approved for a condominium conversion, the development conforms to the standards included in Section 24.16.240.

The above finding remains inapplicable, as the project does not include a proposal for a condominium conversion.

26. If the incentive or concession includes mixed-use buildings or developments, the nonresidential land uses will reduce the cost of the housing development and the proposed nonresidential uses are compatible with the housing development and with existing or planned development in the area where the proposed housing development will be located.

An incentive/concession has been proposed for placement of the structure parking facility at surface level in order to offset costs associated with subterranean construction as illustrated in the base density plans, which present a theoretical, fully-conforming, baseline project. To support the proposed incentive/concession, financial documentation has been provided to demonstrate the actual cost reductions associated with avoidance of underground construction. The financial gains accrued from averting subterranean construction translate into increased availability of funds for building affordable housing.

The proposed project displays consistency with all relevant requirements, including provisions of the City's Downtown Plan, and completeness the existing site, project features, and surrounding development as proposed, thereby establishing compatibility between the project and existing and planned development in the area.

27. If a waiver or modification is requested, the applicant has shown that the development standards for which the waiver or modification is requested will have the effect of physically precluding the construction of the housing development at the densities or with the incentives or concessions permitted by this Part 3.

The Downtown Plan includes areas in which height may be increased beyond the standard maximum threshold, named "Additional Height Zone A" and "Additional Height Zone B." Portions of the project site, composed of two lots, fall within "Additional Height Zone A," which accommodates building heights of up to 75' if located within 200' of Pacific Avenue. That is, the easterly, approximately one quarter of the combined project site (including most of 113 Lincoln Street) fall within Additional

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Height Zone A, and the height of the building may be proposed as up to 75' within that portion of the project area.

Portions of the proposed affordable housing component of the Library Affordable Housing Project fall outside "Additional Height Zone A" delineated in the Downtown Plan, in which the Downtown Plan allows a height of up to 75' if approved by the City Council. As a 100% affordable housing project located within a half-mile of a major transit stop, the proposed height of 84' has been requested as a waiver; as specified in the associated staff report, recent court rulings indicate that all waivers must be granted unless resulting in a violation of law, involving a "specific adverse impact," or impacting an historic resource. Thus, it is recommended that the Planning Commission recommend to the City Council granting of a waiver to the proposed project for the residential component of the project to attain the height of the residential component as proposed.

The project proposes a maximum height of approximately 84' (determined in the manner specified by Section 24.12.262 of the Municipal Code), including a height of 91'-0" to the top of parapet and 95'-0" to the top of the rooftop access stair. The proposed design complies with the increased height thresholds as allowable through State legislation. Without approval of the incentive/concession for placement of the parking facility at surface level, and, absent authorization of the requested waiver for exceedance of the project's residential component beyond the standard maximum height of 50' as specified in the Downtown Plan, the project would incur significant financial burdens potentially resulting in project infeasibility due to cost, and prompting severe reduction in the number of affordable housing units, respectively, precluding development of the project at a scale and density allowable per the General Plan and pursuant to applicable State legislation.

Justification for the waiver is further articulated in the staff report, project plans, and associated materials submitted by the applicant.

- 28. If a commercial development bonus is requested, the project complies with the requirements of Section 24.16.258, the city has approved the partnered housing agreement, and the bonus has been mutually agreed upon by the city and the commercial developer.**

The above finding remains inapplicable, as the project does not include a proposal for a commercial development bonus.

- 29. If the housing development or the commercial development is in the coastal zone, any requested density bonus, incentive, concession, waiver, modification, modified parking standard, or commercial development bonus is consistent with all applicable requirements of the certified Santa Cruz local coastal program, with the exception of density.**

The project site is not located within the Coastal Zone, and, therefore, the above finding does not apply.

With Respect to the California Environmental Quality Act - Environmental Checklist for Determination of CEQA Exemption and Class 32 Categorical Exemption Memo

- 30. The California Environmental Quality Act (CEQA) provides Statutory Exemptions which are applicable to categories of projects and activities that the Lead Agency has determined generally do not pose a risk of significant impacts on the environment. The project consists of 124 multifamily units, a public facility, childcare space, and commercial tenant area within a developed urban center of the City of Santa Cruz. Public Resources Code section 21083.3 and**

its parallel CEQA Guidelines provision, section 15183, provide for streamlined environmental review for projects consistent with the General Plan for which an EIR was certified. Section 15183, subdivision (b), states that, if a project is consistent with an agency's General Plan for which an EIR has been certified, the agency shall limit its examination of environmental effects to those which the agency determines, in an initial study or other analysis:

- 1. Are peculiar to the project or the parcel on which the project would be located;**
- 2. Were not analyzed as significant effects in a prior EIR on the zoning action, general plan, or community plan, with which the project is consistent;**
- 3. Are potentially significant off-site impacts and cumulative impacts which were not discussed in the prior EIR prepared for the general plan, community plan, or zoning action; or**
- 4. Are previously identified significant effects which, as a result of substantial new information which was not known at the time the EIR was certified, are determined to have a more severe adverse impact than discussed in the prior EIR. (State CEQA Guidelines section 15183(b).)**

An Environmental Impact Report was prepared for the City's most recently-adopted General Plan, General Plan 2030; and a separate EIR was completed for the Downtown Plan. Any project within City limits falls under the purview of the City's General Plan, and, due to the location of the subject site, the project is additionally regulated by the Downtown Plan.

A thorough evaluation was completed and provided to the decision-makers, and the evaluation determined that the project is eligible for use of Public Resources Code section 21083.3. Thus, pursuant to Public Resources Code section 21083.3 and State CEQA Guidelines section 15183, no further environmental analysis is required under CEQA. The project qualifies for the Statutory Exemption found in CEQA Guidelines Section 21083.3.

Nonresidential Demolition Authorization Permit, Section 24.08.1230

- 31. The cultural resources evaluation is accepted as accurate and complete; and the cultural resources evaluation concludes that the building or structure is not eligible for listing on the city historic building survey.**

Pursuant to the Nonresidential Demolition Authorization Permit ordinance, the permit serves to evaluate requests for demolition of nonresidential structures fifty years of age or older, and of undetermined age, to ensure that those which may have historic value are not demolished.

An historic evaluation (DPR 523) dated March 14, 2022, has been prepared by City-approved historian Seth Bergstein of PAST Consultants, LLC, concluding that the property located at 113 Lincoln Street remains unlisted on the California Register of Historic Resources, the National Register of Historic Places, or the City of Santa Cruz Historic Building Survey, and appears ineligible for listing on any of the registers. As described in the historic evaluation, The commercial building at 113 Lincoln Street has been altered considerably since the time of its construction, with remodel of the storefront and removal of the building's original entrance undertaken in 1980, and a rear addition constructed in 1986. As substantiated by the report, the subject building no longer exhibits sufficient integrity of setting, design, materials, workmanship feeling, or association for it to qualify for inclusion in the National Register of Historic Places or the California Register of Historical Resources. The subject property containing the commercial building at 113 Lincoln Street is further determined ineligible for the Santa Cruz Historic Resources Inventory, as the building fails to satisfy City preservation criteria

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and experienced substantial alterations since the time of its original construction. The proposed redevelopment project requires no mitigation for impact to historic resources pursuant to the provisions of the California Environmental Quality Act (CEQA - Section 15064.5), as the subject property addressed 113 Lincoln Street, including its existing structure, has been demonstrated to lack historic significance. As the property at 119 Lincoln Street contains no structure, the above finding remains inapplicable to that parcel.

- 32. The project which will replace the demolished building or structure has been, or is concurrently being, approved by the city, and an appropriate building permit has been, or is concurrently being, issued; unless some other practical hardship can be documented rendering this requirement inappropriate.**

The proposed project has been proposed for approval concurrently with the approval to demolish the existing commercial structure.

- 33. The property owner has been advised of the benefits of listing the property on the city historic building survey and incorporating the preservation of the historic resource into the proposed project.**

The above finding remains inapplicable, as the subject property has been determined to not be eligible for listing.

- 34. The cultural resources evaluation determines that the resource is eligible for listing on the city historic building survey, appropriate environmental review has been completed in accordance with the California Environmental Quality Act, and the zoning administrator can make a finding of overriding consideration that the replacement project will have public benefits which will outweigh the impact of loss of the historic resource.**

It has been determined that the property does not qualify as a historic resource. Therefore, the above finding does not apply.

Lot Line Adjustment, Section 23.12.030.1

- 35. The parcels resulting from the lot line adjustment will conform to the general plan, any applicable specific plan, any applicable coastal plan, zoning and building ordinances; and**

The lot line adjustment will combine two (2) existing parcels, bearing Assessor's Parcel Numbers 005-141-11 and 005-141-21, into a single lot. The parcel resulting from the lot line adjustment will enclose approximately 66,921 square feet, exceeding the minimum lot size of 5,000 square feet as established in Section 24.10.2305 of Title 24, Zoning, Part 24, Central Business District zone district, of the City of Santa Cruz Municipal Code. By combining the two parcels, the lot-line adjustment will form one lot of adequate size to facilitate development of a public facilities/commercial/ high-density residential mixed-use complex and encourage "appropriate transition in scale and use between the downtown and the adjacent residential neighborhoods and the civic center", conform to the Local Coastal Program to support greater intensity of residential development in the City's Downtown per Policies and Programs 2.7.7; and advance a project on a "local-serving street with a mixture of professional offices [and] support and convenience retail", which reinforces the overall pedestrian character of these areas "to preserve and enhance the informal 'village' qualities of the Cedar Street Corridor", while affording a strong pedestrian ambiance creating a more welcoming environment along the corridor and ensuring high quality of new buildings as advanced by the Downtown Plan.

36. A greater number of parcels than originally existed are not created by the lot line adjustment.

The lot line adjustment will combine two (2) contiguous parcels, as tabulated below, to result in one (1) merged parcel; therefore, no new parcels will be created as a result of the lot line adjustment.

Parcel No.	Address	Recorded Designation	Map	Existing Size	Proposed Size
005-141-11	113 Lincoln Street	966-M-302 (lot no. unspecified)		6,882 square feet	66,921 square feet
005-141-21	119 Lincoln Street	56-PM-05 (Parcel B)		60,039 square feet	


Submitted by:

Approved by:

Timothy Maier
 Senior Planner

Samantha Haschert
 Principal Planner

Exhibits:

1. Conditions of Approval
2. CEQA Notice of Exemption
3. Project Plans, prepared by TenOver Architects/Jayson Architecture, dated September 8, 2022, updated January 26, 2023
4. Financial Documentation prepared by Echelon dated January 13, 2023
5. Environmental Checklist for Determination of CEQA Exemption and Class 32 Categorical Exemption Memo by Dudek, dated February 2023
6. Phase I Cultural Resources Inventory prepared Albion Environmental dated March 2022
7. Extended Phase I Archaeological Testing Report by Dudek dated November 2022
8. Phase II Archaeological Testing and Evaluation Report by Dudek dated January 2023
9. Noise Impact Analysis prepared by Salter dated February 6, 2023
10. Transportation Impact Study prepared by Kimley Horn dated January 31, 2022
11. Historic Evaluation prepared by PAST Consultants, LLC dated March 14, 2022
12. Arborist Report by Dryad, LLC dated January 18, 2022
13. Arborist Report Addendum by Dryad, LLC dated September 29, 2022
14. Arborist Report Addendum by Dryad, LLC dated December 19, 2022
15. Phase I/II Environmental Site Assessment by Weber, Hayes, and Associates dated September 22, 2022
16. Geotechnical evaluation prepared by Cornerstone Earth Group dated June 2, 2022 
17. Stormwater Control Plan prepared by BKF Engineers dated September 8, 2022
18. Link to Parks and Recreation Commission Meeting of December 12, 2022, See Item Number 4: <https://ecm.cityofsantacruz.com/OnBaseAgendaOnline/Meetings/ViewMeeting?id=1838&doctype=1#>
19. Public correspondence
20. Public Noticing Radius Map

RESOLUTION NO. NS-30,120

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTA CRUZ
ACKNOWLEDGING THE CEQA DETERMINATION AND APPROVING A
NONRESIDENTIAL DEMOLITION AUTHORIZATION PERMIT, SPECIAL USE PERMIT,
DESIGN PERMIT, LOT-LINE ADJUSTMENT, AND DENSITY BONUS REQUEST, AND
UPHOLDING THE APPROVAL OF A HERITAGE TREE REMOVAL PERMIT TO ALLOW
DEMOLITION OF THE EXISTING SURFACE PARKING LOT AND STRUCTURES AND
CONSTRUCTION OF THE DOWNTOWN LIBRARY AFFORDABLE HOUSING PROJECT,
ENCOMPASSING DEVELOPMENT OF A NEW, APPROXIMATELY 273,194 SQ. FT.,
EIGHT (8)-STORY BUILDING INCLUDING A THREE (3)-STORY, APPROXIMATELY
38,069 SQ. FT. CITY LIBRARY FEATURING TWO FLOORS; A THREE (3)-STORY
PARKING GARAGE WITH 243 PARKING SPACES; A FIVE (5)-STORY, 100%
AFFORDABLE HOUSING COMPONENT COMPRISING 124 RESIDENTIAL UNITS; A
THREE (3)-STORY, APPROXIMATELY 9,598 SQ. FT. COMMERCIAL TENANT SPACE; A
ONE (1)-STORY, APPROXIMATELY 1,231 SQ. FT. CHILDCARE FACILITY WITH
ADJOINING 674 SQ. FT. OUTDOOR PLAY AREA; AND NEW LANDSCAPING AND
ASSOCIATED SITE IMPROVEMENTS, INCLUDING REMOVAL OF 12 TREES, ON
PARCELS LOCATED AT 113 LINCOLN STREET AND 119 LINCOLN STREET
(APPLICATION NO. CP22-0128)

WHEREAS, on May 10, 2022, a Preapplication was submitted for proposed development of the Library Mixed-Use/Affordable Housing Project, including demolition of the existing City surface parking lot and development of a new, 307,968 sq. ft., eight (8)-story building integrating a three (3)-story, approximately 38,000 sq. ft. City library featuring two floors double-heightened with elevated ceilings; a three (3)-story parking garage with 300-340 parking spaces; a five (5)-story, 100% affordable housing component comprising 124 residential units; a three (3)-story, approximately 10,000 sq. ft. commercial tenant space; a one (1)-story, 1,800-2,500 sq. ft. childcare facility; and associated site improvements on a site located at 113 Lincoln Street and 119 Lincoln Street (CP22-0118);

WHEREAS, on September 21, 2022, pursuant to the City's Community Outreach Policy for Planning Projects, a community engagement meeting (hosted via Internet video conference) was held to allow for early input from the public related to the project;

WHEREAS, on September 28, 2022, a formal application was submitted for proposed development of the project, including demolition of the existing City surface parking lot and development of a new, approximately 273,194 sq. ft., eight (8)-story building including a three (3)-story, approximately 38,069 sq. ft. City library featuring two floors; a three (3)-story parking garage with 243 parking spaces; a five (5)-story, 100% affordable housing component comprising 124 residential units; a three (3)-story, approximately 9,598 sq. ft. commercial tenant space; a one (1)-story, approximately 1,231 sq. ft. childcare facility with adjoining 674 sq. ft. outdoor play area; and new landscaping and associated site improvements, including removal of 12 trees on a site located at 113 Lincoln Street and 119 Lincoln Street (CP22-0128);

RESOLUTION NO. NS-30,120

WHEREAS, on October 14, 2022, applicant Jim Rendler of For the Future Housing submitted an application for Heritage Tree Removal Permit for proposed removal of the twelve (12) existing trees, including nine (9) Heritage Trees, on parcels located at 113 Lincoln Street and 119 Lincoln Street, in conjunction with the Downtown Library Affordable Housing Project (DLAHP);

WHEREAS, a decision of the Director of Parks and Recreation approving the Heritage Tree Removal Permit was made on October 18, 2022, with on-site posting regarding the approval made consistent with provisions of the City of Santa Cruz Municipal Code Section 9.56;

WHEREAS, on December 12, 2022, the Parks and Recreation Commission, after hearing public testimony, voted 4-3 to deny the appeal of the decision of the Director of Parks and Recreation approving the Heritage Tree Removal Permit, and information from that hearing has been considered by the Council, along with additional information that has been provided;

WHEREAS, on February 23, 2023, the Planning Commission recommended to the City Council acknowledgement of the environmental determination and approval of the Nonresidential Demolition Authorization Permit, Special Use Permit, Design Permit, and Lot-Line Adjustment;

WHEREAS, the project requires no further review under CEQA pursuant to Public Resources Code Section 21083.3 (statutory exemption) and pursuant to CEQA Guidelines Sections 15332 and 15305 (“In-fill Development Projects” and “Minor Alterations in Land Use Limitations” categorical exemptions) and the respective analyses conducted pursuant to those sections; and

WHEREAS, on March 14, 2023, the City Council conducted a duly noticed public hearing to consider the application and heard public testimony on the matter; and

WHEREAS, the City Council now makes the following findings:

With Respect to the Environmental Determination

In analyzing a proposed project, the City may consider whether existing environmental documents contain an adequate analysis of potential environmental impacts associated with a proposed project. An earlier analysis may be used when, pursuant to tiering, a program EIR, or other California Environmental Quality Act (CEQA) provisions, it can be determined that one or more effects have been adequately analyzed in an earlier EIR or negative declaration (State CEQA Guidelines section 15063(c)(3)(D)). If a previous analysis is used, an evaluation of the potential environmental impacts of the proposed project may be conducted through preparation of an Initial Study checklist that identifies: a) the earlier analyses and states where they are available for review; b) which effects were adequately analyzed in an earlier document pursuant to applicable legal standards, and states whether such effects were addressed by mitigation measures based on the earlier analysis; and c) the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.

CEQA also allows a lead agency to avoid repeating analyses that were already provided in a certified General Plan EIR for a development project that is consistent with the General Plan. Public Resources Code section 21083.3 and its parallel CEQA Guidelines provision, section 15183, provide for streamlined environmental review for projects consistent with the General Plan for which an EIR was certified. Section 15183, subdivision (b), states that, if a project is consistent with an agency's General Plan for which an EIR has been certified, the agency shall limit its examination of environmental effects to those which the agency determines, in an initial study or other analysis:

- (1) Are peculiar to the project or the parcel on which the project would be located;
- (2) Were not analyzed as significant effects in a prior EIR on the zoning action, general plan, or community plan, with which the project is consistent;
- (3) Are potentially significant off-site impacts and cumulative impacts which were not discussed in the prior EIR prepared for the general plan, community plan, or zoning action; or
- (4) Are previously identified significant effects which, as a result of substantial new information which was not known at the time the EIR was certified, are determined to have a more severe adverse impact than discussed in the prior EIR. (State CEQA Guidelines section 15183(b).)

An Environmental Impact Report was prepared for the City's General Plan 2030; and a separate EIR was completed for the Downtown Plan. Any project within City limits falls under the purview of the City's General Plan, and, due to the location of the subject site, the project is additionally regulated by the Downtown Plan. The proposed project provides for consistency with both documents and, therefore, qualifies for streamlined environmental review as allowed by Public Resources Code 21083.3.

An Environmental Checklist for Determination of CEQA Exemption has been prepared for the project by the City's environmental consultant, Dudek, in accordance with the procedures directed in CEQA and has been considered by the Council in taking this action. The memorandum states that the City's General Plan 2030 EIR has adequately addressed the potential environmental effects for all required categories of impacts, and the project necessitates no further environmental review pursuant to Public Resources Code section 21083.3 for likely consequences of the project related to aesthetics; agricultural and forest resources; air quality; biological resources; cultural resources; energy; greenhouse gas emissions; hazards/hazardous materials; hydrology/water quality; land use; mineral resources; noise and vibration; population and housing; public services; recreation; transportation; utilities; and wildfire. Through the evaluation, site-specific impacts have been analyzed and determined to be less than significant due to substantial mitigation resulting from General Plan policies, zoning regulations and/or development standards that are uniformly applied to development projects throughout the City for all categories of impacts. Thus, pursuant to Public Resources Code section 21083.3 and State CEQA Guidelines section 15183, no further environmental analysis is required under CEQA.

In addition to the information above, the project is also found to be exempt from CEQA under CEQA Guidelines Section 15332. CEQA provides “categorical exemptions” that are applicable to categories of projects and activities that the California Natural Resources Agency has determined generally do not pose a risk of significant impacts on the environment. The Class 32 categorical exemption is for “in-fill development” projects that meet the following criteria:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations;
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;
- (c) The project site has no value as habitat for endangered, rare or threatened species;
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
- (e) The site can be adequately served by all required utilities and public services.

The proposed project meets all of the foregoing criteria to claim the application of the in-fill exemption, and none of the exceptions to the exemption can be made, as explained in the documentation that has been fully considered by the City Council in taking this action.

In addition to the above, the lot line adjustment portion of the project has also found to be exempt from CEQA under CEQA Guidelines Section 15305. Section 15305 deals with minor alterations in land use limitations and specifically exempts minor lot line adjustments that do not result in the creation of a new parcel. The two lots in this project are being combined into one, and no new lots are created, and none of the exceptions to the exemptions can be made, as documented in the CEQA Categorical Exemption Review and other documentation considered by the Council. Thus, the lot line adjustment is exempt from CEQA under CEQA Guidelines Section 15305.

FINDINGS

Special Use Permit, Section 24.08.050

- 1. The proposed structure or use conforms to the requirements and the intent of this title, and of the General Plan, relevant area plans, and the Coastal Land Use Plan, where appropriate;**

The subject parcel has a General Plan land use designation of Regional Visitor Commercial (RVC). The General Plan states

“Regional Visitor Commercial (RVC), 0.25 to 3.5 FAR. Applies to areas that emphasize a variety of commercial uses that serve Santa Cruz residents as well as visitors. Mixed-use development is strongly encouraged in RVC districts. Areas designated RVC include:

- Downtown Santa Cruz, 0.25 to 5.0 FAR. Emphasizes a mix of regional office and retail uses, residential and mixed-use developments, restaurants, and visitor attractions such as entertainment venues. The Downtown Recovery Plan provides detailed requirements for this area.

The proposed project is consistent with the policies of the General Plan, including the following:

Goal LU3 A complementary balance of diverse land uses

- Land Use Development Policy LU3.1: Foster land use patterns that balance economic, housing, community, and environmental needs, and promote social diversity.
- Land Use Development Policy LU3.3: Develop, maintain, and encourage economically viable neighborhood-serving commercial districts. Cf. LU4.2.4 and ED5.2.
- Land Use Development Policy LU3.4 - In neighborhoods near visitor areas, give priority to uses that serve both visitors and residents.
- Land Use Development Policy LU3.7 - Encourage higher-intensity residential uses and maximum densities in accordance with the General Plan Land Use designations.
- Land Use Development Policy LU4.2 Encourage land use changes that reduce the need for autos.

Goal M1 Land use patterns, street design, parking, and access solutions that facilitate multiple transportation alternatives

- Mobility Development Policy M1.1 - Reduce automobile dependence by encouraging appropriate neighborhood and activity center development.
- Mobility Development Policy M1.3 - Create pedestrian-friendly frontage and streetscapes and attractive pedestrian-oriented areas.
- M4.2 Provide and maintain a complete, interconnected, safe, inviting, and efficient citywide bicycle network.
- M4.4 Assure a high level of bicycle user amenities. Cf. PR1.6.4.
- M4.4.1 Maintain Zoning Ordinance and parking district requirements that require secure, covered bicycle parking and/or storage lockers at private and public facilities.
- M4.4.3 Increase the supply of bicycle parking throughout the city.

Goal ED1 A vibrant regional economic center

- Economic Development Policy ED1.1 Promote Santa Cruz as the principal retail, cultural, recreational, restaurant, entertainment, and commercial destination in the region.
- Economic Development Policy 5.2 - Provide for residents' daily shopping needs in local-serving neighborhood commercial centers.

Goal CC 8 Excellent educational opportunities and resources

- CC8.5 Provide free and equal access to City libraries.
- CC8.6 Strive for library collections that meet community needs.
- CC8.7 Expand the communication and information network in the City's libraries and optimize its quality.
- CC10.1 Encourage an adequate and diverse supply of childcare facilities and services citywide.
- CC10.2 Encourage development of accessible, affordable, and quality childcare facilities near public transportation, employment centers, and in the Downtown.
- PR1.6 Ensure that parks and recreation facilities are accessible to all

Goal NRC5 An enhanced and sustainable urban forest

- NRC5.1 Protect and manage tree resources in the urban environment, with emphasis on significant and heritage trees.

Removal of multiple trees will be necessary as part of the project; however, standard tree replacement measures will be incorporated, as included in the conditions of approval.

Goal H1: Encourage an adequate diversity in housing types and affordability levels to accommodate present and future housing needs of Santa Cruz residents.

- Policy 1.1 Provide adequate sites and supporting infrastructure to accommodate housing through land use, zoning, and specific plan designations that encourage a broad range of housing opportunities.
- Policy 1.2 Concentrate new housing in the Central Core, along major commercial corridors, and on major opportunity sites consistent with the Land Use Element.
- Policy 1.3 Facilitate the production of mixed residential-commercial uses through the use of appropriate development standards, design and compatibility review, and regulatory and financial incentives.
- Policy 1.4 Establish and maintain residential development standards that support housing production yet promote the vitality of established neighborhoods.

Goal H2: Increase and protect the supply of housing affordable to extremely low, very low, low, and moderate income households.

- Policy 2.2 Facilitate the development of affordable housing through the provision of regulatory concessions, financial incentives and assistance, density bonuses, and other means.
- Policy 2.5 Promote meaningful and informed participation of residents, community groups, and governmental agencies in local housing and community development activities.

Goal H4: Provide increased opportunities for low and moderate income residents to rent or purchase homes.

Goal H5: Improve housing and neighborhoods throughout Santa Cruz and in designated target areas.

- Policy 5.3 Ensure that the character and design of both infill development and remodel/rehabilitation projects promote the vitality of existing neighborhoods.
- Policy 5.4 Promote the overall vitality and livability of neighborhoods by providing adequate public services, community facilities, infrastructure, landscaping and open space, adequate parking, traffic management, pedestrian and bicycle routes, and public safety to meet the needs of each individual neighborhood, as well as by preventing and eliminating blighting conditions.

Goal H6: Strive to fulfill the city's housing needs while promoting an environmentally sustainable, compact community with clearly defined urban boundaries.

Policy 6.1 Ensure a compatible relationship between new housing and circulation patterns and encourage pedestrian and bicycle friendly communities in order to minimize traffic impacts on quality of life.

- Policy 6.7 Promote transit-oriented, mixed-use residential developments that are close to services, reduce dependence on automobile use, and are of high quality.

Specifically, the General Plan designation of RVC characterizes downtown Santa Cruz as emphasizing, "a mix of regional office and retail uses, residential and mixed-use developments, restaurants, and visitor attractions such as entertainment venues."

The Downtown Plan additionally establishes a vision for the City's downtown core as embodied in the First Principles originally introduced in the Downtown Plan in 1991 and as subsequently refined in the years following. An excerpt of the Vision appears below:

"Vibrant, vital and active, the central business district constitutes the primary retail, commercial, professional and employment center for the City of Santa Cruz. This compact, high-density area is home to unique businesses, offering residents and visitors a diverse and wholesome environment for commercial, cultural, civic and social pursuits. Local, regional and national businesses combine in a potent blend, making the downtown a major destination for the entire region.

The project site occurs on land within the Cedar Street Village Corridor subarea of the Downtown Plan, which the Downtown Plan characterizes as follows:

"The Cedar Street Corridor is immediately west of the Pacific Avenue Retail District. The area provides an appropriate transition in scale and use between the downtown and the adjacent residential neighborhoods and the civic center. In contrast to Front Street, which plays a destinational retail role, Cedar Street serves as a more local-serving street with a mixture of professional offices, support and convenience retail, and restaurant uses. Unlike Pacific Avenue, which developed in a relatively consistent manner with a strong "street wall"

of buildings, Cedar Street is more diverse in nature, with a mixture of one and two-story structures of varied setbacks. Many of the buildings are wood frame structures with a strong residential character.”

With an FAR of 4.60, the proposed project design conforms to the maximum allowable FAR of 5.0 as specified in the General Plan for development in the City’s downtown. As a mixed-used development encompassing a new public library; commercial tenant space; childcare facility; approximately 243-space structured parking; and residential complex incorporating 124 100% affordable residences, including studio-, one-, two- and three-bedroom residential units situated in the City’s downtown urban core, the proposed project demonstrates consistency with the stated purpose of the CBD zone district, Cedar Street Village Corridor subarea and General Plan land use designations, as articulated in the project plans, agenda report, website materials for the project, public hearing presentations, conditions of approval, and elsewhere in these findings. The proposed project would conform to residential unit densities consistent with the provisions of State Density Bonus Law. The associated agenda report text further describes how the State Density Bonus Law is used by the project to remain consistent with the Downtown Area Plan. The site is not located within the Coastal Zone.

2. That any additional conditions stipulated as necessary in the public interest have been imposed;

Conditions of approval have been added to the proposed project, including, but not limited to, requirements for construction of a sidewalk of at least 10’ in width per design criteria of the Downtown Plan, establishment of new City street trees per the list of approved varieties and establishment of 12 off-site trees within the downtown area intended to counteract the removal of existing trees, continuation of a 6’ wide westbound bicycle lane and installation of new City streetlights including decorative light standards, collectively improving circulation and safety of motorists, bicyclists, and pedestrians, and enhancing the aesthetic environment and streetscape. Required construction of a new trash enclosure and storm drain inlets will additionally provide for upgraded refuse collection and materials recovery as well as treatment of runoff at the project site for mitigation of potential impacts to surrounding properties, public right-of-way for enhanced protection of ground- and surface-water resources.

3. That such use or structure will not constitute a nuisance or be detrimental to the public welfare of the community; and

Since the time of its inception, the proposed project’s design has evolved in response to feedback received through yearslong community outreach efforts; architectural plans have additionally undergone revision resulting from feedback provided by City staff. As currently proposed, the project satisfies design standards of the Municipal Code and Downtown Plan. Consistent with provisions of the Downtown Plan, the structure’s design emphasizes the development’s ground floor, accentuating building entries to relate to the human scale, while stepped-back facades and a coordinated program of fenestration present a balanced, intentional appearance which offsets bulk and mass. The building bestows street presence due to its height, width, and substantial footprint, while avoiding the impression of an imposing edifice through use of a tiered form and placement of the tallest components a significant distance from the front property line.

Integration of new landscaping will soften the appearance of the development by including a drought-tolerant, water-efficient plant palette which will enliven the existing site, enhance the area's ecology, while additionally providing greater vibrancy and durable functionality, enhancing the pedestrian experience and offering opportunities for usability of outdoor space for passive recreation.

The proposed project meets all district development standards, with the exception of project height proposed as a Density Bonus waiver and incentive/concession, and the overall building mass has been broken up by architectural treatments, including articulated exterior surfaces, a diversified material and color palette, integration of expansive glazing, and incorporation of tasteful exterior detail including score lines, recesses, and overhangs. Visual interest is ensured by incorporation of varied roof forms and relief in building planes. Rooftop equipment is incorporated into the project design and screened from view from adjacent properties and public rights-of-way, while utility installations such as trash enclosures, storage units, and parking are incorporated into project design, rendering them accessible but screened from view. The commercial childcare facility, although imbedded in the project floor plan, remains sheltered due to strategic placement of building walls and inclusion of separate entrances dedicated to individual uses, while the residential tower remains separated by distance for privacy and security. Through separation by distance and provision of secured access, sensitive uses retain privacy and security programming. Placed adjacent to the Cedar Street frontage, the project's rooftop terrace, including outdoor community gathering space, remains oriented away from surrounding residences and other land uses, disconnected from adjacent residential uses by building areas, further avoiding impacts related to potential loss of privacy, strategically placed to avoid imparting unintended nuisances activities to surrounding land uses associated with production of noise, vibration, glare, and the like associated with the introduction of new housing units. The library will serve as a community space for resources, learning, and gathering. With all such factors considered, including conditions of approval implemented, the proposed uses incorporated into the project will not constitute a nuisance or impose detrimental impacts to the public welfare of the community.

4. **That all thrift store uses shall include a management plan that identifies collection facilities for donated items, operating hours for donation facilities which discourage unsupervised dropoffs, adequate storage areas for sorting the materials, and provides a plan to properly dispose of unusable items in a timely, secure, and orderly fashion and maintains premises in a clean and attractive condition.**

The above finding remains inapplicable, as the project does not include a thrift store use.

Large Non-Residential Ground-Level Uses, Downtown Plan

5. **The use adds a desired, "targeted" business to the Downtown, which would serve to diversify the Downtown Plan area ground-level business base;**

The land uses included in the proposed project, including public library, affordable housing units, childcare, and commercial tenant space, represent desirable land uses, as expressed by the City Council and advisory bodies and as additionally affirmed by the community as a whole

through feedback received via extensive public outreach. The proposed scope of work encompasses three distinct ground-level uses (and four uses overall) within a mixed-use format which would diversify the mix of development in the City's urban core. The new library would exceed 16,000 square feet in size; however, as a public use open to all members of the community and not representing a "business", siting of such facility would remain in conformance with the spirit and intent of the above finding, which allows for review of expansive, for-profit land uses. The combined floor area of the proposed childcare and commercial tenant space would remain below the 16,000 square-foot size threshold identified and constitute land uses directed by the City Council for incorporation into the proposed project's scope of work. Therefore, the above finding can be made.

- 6. The use provides a public benefit and contributes to an appropriate balance of local or non-local businesses. For the purposes of this finding, it shall be presumed that local businesses serve to sustain the authenticity and unique retail character of the downtown business mix. However, non-local businesses may add to retail draw and contribute to overall downtown vitality in certain circumstances;**

As a not-for-profit enterprise, the new library would provide an array of public benefits, functioning as a landmark downtown destination providing resources for enhancement of community literacy, offering new capabilities for research, fulfilling the need for a community gathering space, and providing capacity for community events. The library would primarily serve local residents but would also attract some visitors. As a regular destination for many community residents, the library use would support other businesses in the downtown by bringing additional customers to the area. While both under the 16,000-square-foot threshold considered here, the childcare facility would assist in addressing the dearth of much-needed opportunities for care of the City's youngest residents, and the commercial tenant space would add ground-floor capacity for a range of tenant types and provide for relocation of the existing Toadal Fitness use displaced through the proposed redevelopment of 113 Lincoln Street.

- 7. The use contributes to an appropriate balance of small, medium and large-sized businesses in the downtown area to diversify the ground-level business mix; to insure the maintenance of the "Santa Cruz" identity, unique character and authenticity; to seek to reduce economic "leakage" of sales out of the City and County; and to induce local investment and employment to the downtown area;**

The new library facility, as a public facility affording a diverse array of benefits to the community, constitutes a large facility which nonetheless acts in a service role, providing access to print, digital, and audio media foster development of literacy and fostering life-long learning opportunities for community residents and visitors. As the flagship downtown library boasting an attractive, modern, and urbanist design and replacing the City's existing, aged downtown branch, the library facility offers a unique addition to the mix of uses and building types in the City's downtown core and may serve as the impetus for further positive land-use changes within the neighborhood. Siting of the new facility, near the existing library, retains patronage within the immediate vicinity of the existing library and would add foot traffic to the area with potential for an added customer base to surrounding businesses. Addition of walkable, pedestrian-and cyclist-oriented ground-floor uses would maintain neighborhood-and community-serving uses

within City limits, preventing leakage to locations outside of Santa Cruz. The location of affordable housing, childcare, and commercial space within a single building creates a symbiotic mix of uses which complement surrounding land uses and furnish a broader range of destinations in the locale intended to represent a destination for the community.

- 8. The design of the façade of the proposed use meets the design standards and guidelines of the Downtown Plan and is not restricted by corporate standardized or trademarked exterior design, signage, materials, color or other visual treatments;**

The proposed project includes high quality of architecture and attractive arrangement and presentation of facades, aesthetically enhancing the existing site, ensuring compatibility with surrounding uses, and ensuring consistency with the provisions of the Downtown Plan. The design incorporates relief in the buildings' front and side facade planes; diversity of materials and colors; inseting of windows and placement of projecting metal awnings; and integration of a distinct building base, middle, and cap. Varied fenestration, ample use of score lines, and placement of decorative louvers and trim detail additionally offer visual diversity, while reducing the appearance of project building bulk and mass. With a design tailored to the project site, the proposed project introduces no corporate architecture or signage, but, rather, affords originality and uniqueness, furthering the unique identity which establishes Santa Cruz as a vibrant, authentic, and attractive city. Use of native, drought-tolerant, and low-water-use vegetation further enhance the image of the proposed development while providing ecological benefits and functionality through improved treatment of stormwater, creation of passive recreational space, and provision of opportunities for both active and passive recreation and gathering space for social interaction to the entirety of the Santa Cruz community.

- 9. The proposed use would be a good neighbor and contribute to the community life of the downtown by participating in such community activities as: (1) Membership in downtown merchant, resident, neighborhood improvement organizations and/or assessment districts; (2) to the greatest extent feasible, hiring local residents; and (3) hosting or participating in downtown festivals, fairs, benefit events and similar neighborhood activities; and**

The proposed use would enhance the vibrancy and life of the community, acting as an integral component of the City's continually evolving and diversified downtown core. The new library would provide capacity for community gatherings, events, festivals, and fairs and offer a venue for hosting of events open to the public and serving a wide range of stakeholder needs. The childcare use would allow for area residents to care for the youngest members of their families in a location near a high-density commercial and employment center, while the commercial tenant space would offer capacity for new retail, service, and similar resident-serving categories of uses accessible from ground level and offering expanded business and employment stock and representing a venue accommodating new and existing local merchants.

- 10. If applicable, all food and/or beverage service activities shall be conducted in accordance with the following "good neighbor operating procedures" for such uses.**

- i. Sufficient trash and recycling receptacles shall be provided and shall be regularly maintained;**
- ii. All debris boxes shall be screened and kept on the premises in a designated or approved location;**
- iii. The operator shall be responsible for cleaning the sidewalk within fifty (50) feet horizontal distance from the premises during the hours of operation to maintain the sidewalk free of paper, spillage or other litter; and**
- iv. Noise, glare and odors shall be contained within the premises so as not to be a nuisance to neighbors. Under no circumstance shall the ventilation outlets or motors cause emission of objectionable odors or noise directed toward neighbors.**

The mix of land uses incorporated within the proposed project would introduce an array of enterprises into the Cedar Street Village subarea of the City's Downtown Plan area. While food and beverage services are not currently expected as part of the regular library operations, if such service were to occur, through application of standards conditions of approval and through implementation of principles of design in keeping with the provisions of the Downtown Plan and practices of property maintenance conforming to the provisions of the City's Municipal Code, trash receptacles would remain in sufficient capacity and of a unified design consistent with the aesthetic standards of the City's Downtown Plan; debris boxes would remain within designated, approved locations; proper sanitation practices would be followed; and nuisance impacts related to generation of noise, glare, odors, and similar offensive effects would not manifest.

Design Permit, Section 24.08.430

- 11. The site plan and building design are consistent with design and development policies of the General Plan, any element of the General Plan, and any area plan, specific plan, or other city policy for physical development. If located in the Coastal Zone, the site plan and building design are also consistent with policies of the Local Coastal Program.**

The project site plan demonstrates consistency with, and will facilitate achievement of, the goals, policies, and actions of General Plan 2030, whose Land Use Map designates the land including the subject parcel as "Retail Visitor Commercial." Demolition of an existing, aged commercial building and surface parking lot situated on the respective parcels comprising the project area and replacement with a higher-intensity development will provide improved utility of the site; and placement of a new development will provide for a more uniform, cohesive exterior appearance consistent with the bulk, mass, and architecture of existing, surrounding uses. As proposed, the project will, therefore, 1) attain General Plan Goal CD-1 by promoting "a building environment in harmony with its natural setting;" and 2) advance Policy LU1.1 by relating "residential, commercial, and industrial land use intensities to the capability and location of the land while ensuring optimum utilization of infill parcels." The project provides 124 dwelling units, resulting in an elevated residential intensity as allowable by the State's Density Bonus Law, and thus advances site development standards of the Downtown Plan

through advancement of elements of the plan by facilitating the vision that “A range of housing types is integrated into the downtown ... This urban-density housing provides both market-rate and affordable units, and expands the immediate market for downtown goods, services and public transportation” and fostering attainment of qualities of the Code Street Village Corridor as envisioned in the Plan that “upper-level residential uses are particularly encouraged within the Cedar Street subarea to intensify the resident population of the downtown and to create an appropriate land use transition to the adjacent neighborhoods.” Through provision of traffic-calming measures, including widened sidewalks and extended bicycle travel lanes, the project mitigates increases in vehicular volumes and assists in improvement of public safety while avoiding disruption to current circulation patterns. Consistency with the General Plan, Downtown Plan, and other applicable regulations is further articulated in the project plans, staff reports, website materials for the project, public hearing presentations, and conditions of approval, and elsewhere in these findings.

- 12. For non-residential projects, the project’s location, size, height, operations, and other significant features and characteristics are compatible with and do not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, safety, and welfare. For residential projects, the project complies with the objective standards and requirements of the zoning district in which it is located, as well as any objective standards of any area plan or other regulatory document that applies to the area in which the project is located.**

The project complies with all applicable objective standards, in part through the implementation of State Density Bonus Law, as articulated in the project plans, staff reports, website materials for the project, public hearing presentations, and conditions of approval, and elsewhere in these findings. The proposed project would replace an existing, low-intensity building and fixtures with a dynamic new mixed-use development accommodating a variety of uses, including public facility, commercial, and residential units at a site bounded on all sides by existing buildings of similar scale and range of land uses. Demolition of the existing aged structures and replacement with a new development boasting modern architecture will eliminate aging infrastructure while introducing new land uses whose attributes retain compatibility with the nature of surrounding uses of commercial, residential, and public-facilities character, with a diversity analogous to that proposed while avoiding spillover effects inducing detrimental effects to surrounding land uses. The proposed layout will allow for improved use of the site for mixed-use high-density commercial and residential use and maintain compatibility in design and utility of surrounding land uses.

- 13. For non-residential projects, the project provides for an arrangement of uses, buildings, structures, open spaces, and other improvements that are compatible with the scale and character of the adjacent properties and surrounding neighborhood.**

Through removal of an antiquated, underutilized building and surface parking lot, the proposed project will allow for better use of a property of constrained dimensions and limited area while continuing the multi-use character of the site and maintaining cohesiveness to surrounding uses. The design of the project and all landscaping will enhance the aesthetics of the project site and allow for an intensity of use and activity appropriate for the site’s downtown location, while

minor regrading of the project area and setting of new surface material will combine for improved circulation and site access conducive to a high-density, mixed-use development.

The building would reflect an individual character while introducing ample articulation, diversity of colors and materials, varied setbacks across stories, and appropriate scale and massing, compatible building form and bulk, and protection for solar access; provide an appropriate height, setting the taller residential building components closer to Pacific Avenue and stepping down significantly from the height of the residential component to a structured parking facility and library, and consistent with the maximum height stipulated by the Downtown Plan, in part through implementation of State Density Bonus Law; supply multifamily housing as a core component of the proposed scope of work; ensure accessibility to downtown destinations; integrate a strong network of public and private open spaces for social activity and pedestrian orientation; emphasize pedestrian and bicyclist circulation; and centralize parking within a structured facility. The project would provide new opportunities for placement of affordable residential units in the City's Downtown; would promote the appearance of groupings of buildings rather than one monolithic mass; will facilitate the creation of internal pedestrian connections and will advance the construction of childcare and structured parking and will incorporate public right-of-way improvements. The project therefore provides for an arrangement of uses, buildings, structures, open spaces, and other improvements that are compatible with the scale and character of the adjacent properties and surrounding neighborhood.

14. The exterior design and appearance of buildings and structures and the design of the site plan shall be compatible with design and appearance of other existing buildings and structures in neighborhoods which have established architectural character worthy of preservation.

The proposed project proposes modifications to an existing underutilized downtown site containing a single decades-old commercial building and asphalt parking lot, whose removal will eliminate a low-performing, aged structure precluding attainment of optimum development potential and use of the subject site; and proposed replacement with a new landmark building, attractive landscaping, and attendant on- and off-site amenities granting enhanced aesthetics and acting as the impetus for urban renewal in the subject area. Construction of a modern building with variation in height, ample articulation in planes, diversity in materials and colors, balance in fenestration, and incorporation of a tiered building design would enhance the project site while complementing the local environment, including surrounding land uses of various scales of development intensity, thus advancing neighborhood compatibility.

The proposed project includes high quality of architecture and site design, satisfying the stated rationale of the requirement for Design Permit and providing consistency with the provisions of the Downtown Plan. The design incorporates relief in the buildings' front and side facade planes; diversity of materials and colors; inseting of windows and placement of projecting metal awnings; and integration of a distinct building base, middle, and cap. Varied fenestration, ample use of score lines, and placement of decorative louvers and trim detail additionally offer visual diversity, while reducing the appearance of project building bulk and mass. Use of native, drought-tolerant, and low-water-use vegetation further enhance the image of the proposed

development while providing ecological benefits and functionality through improved treatment of stormwater, creation of passive recreational space, and provision of opportunities for both active and passive recreation and gathering space for social interaction to the entirety of the Santa Cruz community.

Consistent with the design standards of the Cedar Street Village Corridor, the building provides ground-level treatment integrating primary entrances accessible from Cedar Street, accentuating the building's point of entry; transparency at ground level to afford visibility to the building's interior, thereby creating a sense of activity and vitality; integration of signage into building facades; and incorporation of ample glazing. The new green roof positioned atop the third floor of the library building, aligned to the building's primary frontage, include landscaping to soften the appearance of the built environment, blurring the hard edge of the building's cap along Cedar Street and blending nature with new construction, offers an element for visual interest, access to usable space, and opportunities for community interaction.

The surrounding area has a mix of building heights and massing, and the proposed design responds to the urban context and planned building intensities by placing taller building heights closer to Pacific Avenue and stepping building heights down towards Cedar Street. The existing building on the site at 113 Lincoln Street was determined to not qualify for local, state, or national historic register designations, though some buildings with historic designations are located in proximity to the site. The closest building with a historic designation is at the southwest corner of Pacific Avenue and Lincoln Street, at 1129 Pacific Avenue. The historic report for that building notes the large glass display windows on the façade and the terra cotta tiles along the parapet. These design features are not present in what appears to be a later addition to the building at 105 Lincoln Street, based on the lack of those features, different building height, different parapet design, and different fenestration. Regardless, the existing and planned urban context of the area with mixed building heights provides an existing condition and expectation of differing new building sizes and scales in the area, and the urban context, separations (in addition to 105 Lincoln Street providing separation between the proposed project and the historic building at 1129 Pacific Avenue, an alleyway also separates the project from the historic building, and the taller element of the building is separated even further from the edge of the alley, making the taller element over approximately 30 feet from the property line of 105 Lincoln Street), and building design provide for compatibility between the historic building at 1129 Pacific Avenue and the proposed project. Other historic buildings are located nearby on or near the west side of Cedar Street. Similar to the case with the 1129 Pacific Avenue structure, the urban context, the separations between the project and the historic sites, and the building design are all proposed in a manner that creates compatibility with nearby structures with architectural character that is worthy of preservation. The project's consistency with applicable rules of the Downtown Plan and other plans establishes compatibility between the project and existing and planned development in the area, and the context of the area would not be altered by the project in a manner that would affect the respective designations of any of the nearby historically-listed structures.

- 15. Design of the site plan respects design principles in terms of maintaining a balance of scale, form and proportion, using design components which are harmonious, and materials and colors which blend with elements of the site plan and surrounding areas.**

Location of structures takes into account maintenance of public views; rooftop mechanical equipment is incorporated into roof design or screened from public rights-of-way to the extent possible. Utility installations such as trash enclosures, storage units, traffic-control devices, transformer vaults and electrical meters are accessible and screened.

The proposed project will maintain a balance of scale, form, and proportion with both the existing site and neighboring properties in a variety of ways. Through removal of an antiquated, underutilized building and surface parking lot, the project will allow for better use of a property of constrained dimensions and limited area while continuing the multi-use character of the site and maintaining cohesiveness to surrounding uses. The design of the proposed project and all landscaping will enhance the aesthetics of the project site and allow for an intensity of use and activity appropriate for the site's downtown location, while minor regrading of the project area and setting of new surface material will combine for improved circulation and site access conducive to a high-density, mixed-use development. New rooftop mechanical equipment and all ground-mounted equipment and utility installations will be required to be fully screened from view from surrounding properties and public rights-of-way.

- 16. Where a site plan abuts, or is in close proximity to, uses other than that proposed, the plan shall take into account its effect on other land uses. Where a nonresidential use abuts or is in close proximity to a residential use, the effect of the site plan should maintain the residential quality of adjacent or nearby areas.**

The proposed project would replace an existing, low-intensity building and fixtures with a dynamic new mixed-use development accommodating a variety of uses, including public facility, commercial, and residential units at a site bounded on all sides by existing buildings of similar scale and range of land uses. Demolition of the existing aged structures and replacement with a new development boasting modern architecture will eliminate aging infrastructure while introducing new land uses whose attributes retain compatibility with the nature of surrounding uses of commercial, residential, and public-facilities character, with a diversity analogous to that proposed while avoiding spillover effects inducing detrimental effects to surrounding land uses. The proposed layout will allow for improved use of the site for mixed-use high-density commercial and residential use and maintain compatibility in design and utility of surrounding land uses.

The proposed project would likely generate only a minor increase in traffic to the surrounding area, as the project's scope of work would provide for ingress and egress from existing frontages, thereby continuing all existing circulation patterns to minimize impacts and simultaneously enhancing safety for motorists, bicyclists, and pedestrians. A broadened sidewalk of 10' in width per design criteria of the Downtown Plan, and continuation of a 6' wide westbound bicycle lane combine to improve circulation and safety of motorists, bicyclists, and pedestrians, and enhancing the astatic environmental and streetscape. Vehicular ingress and egress would occur from Cathcart Street to the parking garage serving all uses included in the project, with pedestrian entry positioned midblock along Cedar Street. Pedestrian access to the parking garage occurs adjacent to the vehicular entries along the building's southerly elevation, as well at the project's north side along its Lincoln Street frontage, immediately adjacent to the

library's easterly wall. By replacing existing surface parking stalls with new structured parking of greater increased capacity near the easterly portion of the project site, the project would provide a parking facility readily accessible to the public, accommodating the anticipated project demand and helping to offset deficits projected through existing and future downtown development while minimizing the visual impacts of vehicle storage. Through placement of the entry from Cathcart Street at a sufficient distance from Cedar Street, the site design affords ease of ingress and egress while avoiding obstructions to vehicular flow and facilitating safe passage to and from the project site. The scale of the building is compatible with the scale of the surrounding urbanized area, and the project design responds to the criteria called for in the Downtown Plan.

- 17. To the extent feasible, the orientation and location of buildings, structures, open spaces, and other features of the site plan maintain natural resources including significant trees and shrubs, minimize impacts to solar access of adjacent properties, and minimize alteration of natural land forms; building profiles, location, and orientation must relate to natural land forms.**

The proposal requires the removal of existing vegetation, including trees; however, a new plant palette will provide a renewed, vibrant appearance through incorporation of native, low-water-use, and drought-tolerant foliage selected for adaptation to local climatic and soil conditions and with City street trees of a number greater than those proposed for removal. The project scope incorporates minor alteration of site topography. Due to the flat slope of the site, limited earthwork would occur and not alter landforms in any appreciable manner. Although new buildings are proposed, such development would replace an existing underutilized site with new features occurring in approximately the same location as existing development, maintaining height as allowable by Code, and as modified pursuant to State legislation, while avoiding inducement of adverse impacts related to height, setbacks, or loss of sunlight exposure to surrounding properties.

The proposed project incorporates new landscaping with a plant palette tailored to local soil and climatic conditions situated at the perimeter of the project site, providing limited screening to new parking stalls located within the proposed structure. Open space has been integrated in the project design, breaking up building mass and bulk while providing opportunities for respite, reflection, and outdoor recreation.

- 18. The site plan ensures that the scale, bulk, and setbacks of new development preserves important public views along the ocean and of designated scenic coastal areas. Where appropriate and feasible, the project shall restore and enhance visual quality of visually degraded areas.**

The site does not have a view of the ocean or scenic coastal areas and is not located in a visually degraded area; therefore, this finding is not applicable.

- 19. The site plan shall reasonably protect against external and internal noise, vibration and other factors which may tend to make the environment less desirable. The site plan should respect the need for privacy of adjacent residents.**

A temporary increase in noise and vibration will result from project construction; however, no long-term intensification in nuisance impacts, including noise or vibration, would stem from the project. As a minor modification to the existing site zoned for Central Business District intensity and flanked by existing development and buffered by surrounding buildings, the project would not produce detrimental impacts related to loss of privacy, as no alteration to site standards or existing setbacks required by the Downtown Plan are incorporated in the scope of work, aside from the height increase allowed pursuant to the State Density Bonus Law. Placement of the project's residential component at the easterly portion of the project site, maximizing separation from neighboring residences and siting of the project's rooftop terrace, including outdoor community gathering space, adjacent to the Cedar Street public right-of-way, diminishes impacts related to potential loss of privacy and reduces adverse, potential nuisance activities related to noise, glare, and vibration associated with occupancy of proposed housing units and associated with congregate gathering on the library's rooftop. Therefore, the project will not render the environment less desirable, nor will it affect privacy of adjacent residents.

20. Building and structures shall be designed and oriented to make use of natural elements such as solar radiation, wind, and landscaping for heating, cooling, ventilation, and lighting.

The proposed project has been designed to maximize space efficiency while providing ample access to light and air. Integration of generous glazing on all levels and facades of the building, including operable windows, introduces opportunities for passive heating and cooling, while providing views to the surroundings. The project design accommodates future installation of rooftop photovoltaic arrays, furthering sustainability goals for reductions in greenhouse gas emissions, reducing the project's carbon footprint while offsetting costs associated with provision of electricity while maximizing efficiency of energy use.

The project scope of work includes new landscaping maximizing use of native vegetation and low water-use, drought-tolerant plant varieties. The project will further be required to comply with all applicable provisions of Municipal Code Chapter 16.16, Water-Efficient Landscaping related to regulation of landscape design, construction, and maintenance, thereby promoting efficient water use, facilitating management of peak season water demand, and assisting with the preservation of water storage in order to ensure a reliable and adequate public water supply. The application has been conditioned to provide a final landscape plan for review and approval with the building permit plans. Additionally, all new building and plumbing fixtures will be required to comply with Title 24 Energy-Efficiency requirements, including maximum efficiency of resource utilization.

Density Bonus, Section 24.16.270

21. The housing development is eligible for a density bonus and any concessions, incentives, waivers, modifications, or modified parking standards requested; conforms to all standards for affordability included in this section; and includes a financing mechanism for all implementation and monitoring costs.

The General Plan establishes a maximum Floor Area Ratio of 5.0 for property with a land use designation of Regional Visitor Commercial (RVC). As Floor Area Ratio constitutes a general measure of mass and bulk, it intrinsically relates to residential density in that the number of residential units which may be accommodated within a project relies on the intensity of development (i.e., the three-dimensional space occupied by the building, or its massing).

Although the General Plan establishes a maximum Floor Area Ratio of 5.0 in the City's Downtown, notably, State Density Bonus Law allows for an increase in the number of residential units which may be accommodated within a project through provision of affordable housing units of particular percentages of the number of residential units included in the project's base density, or the density of residential units which may be included in a project fully-conforming to all applicable regulations, including legislation, Code, policy and such as height, setbacks, and the like.

As shown in the base density plans, 72 residential can be accommodated within the three-dimensional space provided per all applicable standard regulations. Such base density incorporates a library facility, commercial tenant space, and childcare component as specified by City Council directives and results in an FAR of 3.86.

Through AB1763, any project located within a half-mile of a major transit stop remains exempt from maximum density controls and is provided a height increase of up to three (3) stories or thirty-three (33) feet above the standard maximum threshold allowable by the Municipal Code. Via this legislation, a qualifying project may receive four (4) incentives or concessions pursuant to State Density Bonus Law (Government Code Section 65915 et. seq.), as affirmed through the provisions of Senate Bill (SB) 330 (Housing Crisis Act of 2019). Further, Assembly Bill 2345 exempts the housing component of the project from provision of vehicular parking due to the site's proximity to a major public transit location.

The City's Municipal Code, Section 24.16.020, requires that residential developments that would create five or more new residential dwelling units provide twenty percent (20%) of the dwelling units as inclusionary units, which shall be made available for lease to low-income households at an affordable rent. Inclusionary units are restricted in perpetuity to households earning eighty percent (80%) or less of the Area Median Income (AMI). The proposed project provides one hundred percent of the residential units as affordable units. A condition of approval has been added, requiring designation of unit(s) as manager's residences as deemed necessary or appropriate.

With 124 units proposed and a residential base density of 72 units, the project as presented exhibits an FAR of 4.60, a number below the maximum threshold allowable by the General Plan for sites located on land within the City's Downtown Plan area; the design additionally has a residential density of approximately eighty (80) dwelling units per acre and would result in a density bonus of 72%. The housing component of the project therefore demonstrates eligibility for a density bonus and waivers and modified parking standards requested; the project additionally conforms to all standards for affordability; and, as conditioned, will include a financing mechanism for all implementation and monitoring costs. The project applicant has

secured various sources of financing for construction, implementation, and monitoring costs and has expressed the intent to pursue a range of future financing opportunities.

- 22. Any requested incentive or concession will result in identifiable and actual cost reductions to provide for affordable rents or affordable ownership costs based upon appropriate financial analysis and documentation if required by Section.**

The project plans present a design which places the bottom level of the parking garage at surface level, with the residential component positioned atop the structured parking facility. An incentive/concession is requested for increase in height related to placement of structured parking at surface level, as included in the project plans. Reasonable financial documentation has been submitted in support of the requested incentive/concession in which the applicant has demonstrated the elevated expenditures associated with the proposal for subterranean parking compared with placement of structured parking at surface level, including costs incurred related to design, structural reinforcement, ventilation, waterproofing, and construction.

- 23. If the density bonus is based all or in part on dedication of land, the approval body has made the findings included in Section 24.16.230.**

The above finding remains inapplicable, as the project does not include any requests for dedication of land.

- 24. If the density bonus, incentive, or concession is based all or in part on the inclusion of a child care center, the development conforms to the standards included in Section 24.16.235.**

Although the proposed development includes a childcare facility, no waiver or incentive/concession has been requested related to the childcare facility, and, thus, the above finding remains inapplicable pursuant to SCMC 24.16.235.

- 25. If the density bonus incentive or concession is approved for a condominium conversion, the development conforms to the standards included in Section 24.16.240.**

The above finding remains inapplicable, as the project does not include a proposal for a condominium conversion.

- 26. If the incentive or concession includes mixed-use buildings or developments, the nonresidential land uses will reduce the cost of the housing development and the proposed nonresidential uses are compatible with the housing development and with existing or planned development in the area where the proposed housing development will be located.**

An incentive/concession has been proposed for placement of the structure parking facility at surface level in order to offset costs associated with subterranean construction as illustrated in the base density plans, which present a theoretical, fully-conforming, baseline project. To support the proposed incentive/concession, financial documentation has been provided to

demonstrate the actual cost reductions associated with avoidance of underground construction. The financial gains accrued from averting subterranean construction translate into increased availability of funds for building affordable housing.

The proposed project displays consistency with all relevant requirements, including provisions of the City's Downtown Plan, and completeness the existing site, project features, and surrounding development as proposed, thereby establishing compatibility between the project and existing and planned development in the area.

- 27. If a waiver or modification is requested, the applicant has shown that the development standards for which the waiver or modification is requested will have the effect of physically precluding the construction of the housing development at the densities or with the incentives or concessions permitted by this Part 3.**

The Downtown Plan includes areas in which height may be increased beyond the standard maximum threshold, named "Additional Height Zone A" and "Additional Height Zone B." Portions of the project site, composed of two lots, fall within "Additional Height Zone A," which accommodates building heights of up to 75' if located within 200' of Pacific Avenue. That is, the easterly, approximately one quarter of the combined project site (including most of 113 Lincoln Street) fall within Additional Height Zone A, and the height of the building may be proposed as up to 75' within that portion of the project area.

Portions of the proposed affordable housing component of the Library Affordable Housing Project fall outside "Additional Height Zone A" delineated in the Downtown Plan, in which the Downtown Plan allows a height of up to 75' if approved by the City Council. As a 100% affordable housing project located within a half-mile of a major transit stop, the proposed height of 84' has been requested as a waiver; as specified in the associated staff report, recent court rulings indicate that all waivers must be granted unless resulting in a violation of law, involving a "specific adverse impact," or impacting an historic resource. Thus, it is recommended that the Planning Commission recommend to the City Council granting of a waiver to the proposed project for the residential component of the project to attain the height of the residential component as proposed.

The project proposes a maximum height of approximately 84' (determined in the manner specified by Section 24.12.262 of the Municipal Code), including a height of 91'-0" to the top of parapet and 95'-0" to the top of the rooftop access stair. The proposed design complies with the increased height thresholds as allowable through State legislation. Without approval of the incentive/concession for placement of the parking facility at surface level, and, absent authorization of the requested waiver for exceedance of the project's residential component beyond the standard maximum height of 50' as specified in the Downtown Plan, the project would incur significant financial burdens potentially resulting in project infeasibility due to cost, and prompting severe reduction in the number of affordable housing units, respectively, precluding development of the project at a scale and density allowable per the General Plan and pursuant to applicable State legislation.

Justification for the waiver is further articulated in the staff report, project plans, and associated materials submitted by the applicant.

- 28. If a commercial development bonus is requested, the project complies with the requirements of Section 24.16.258, the city has approved the partnered housing agreement, and the bonus has been mutually agreed upon by the city and the commercial developer.**

The above finding remains inapplicable, as the project does not include a proposal for a commercial development bonus.

- 29. If the housing development or the commercial development is in the coastal zone, any requested density bonus, incentive, concession, waiver, modification, modified parking standard, or commercial development bonus is consistent with all applicable requirements of the certified Santa Cruz local coastal program, with the exception of density.**

The project site is not located within the Coastal Zone, and, therefore, the above finding does not apply.

Heritage Tree Removal Permit, Chapter 9.56, City Council Resolution No. NS-23, 710

One or more of the following findings must be made:

- 30. The heritage tree or heritage tree shrub has, or is likely to have, an adverse effect upon the structural integrity of a building, utility, or public or private right of way;**
- 31. The physical condition or health of the tree or shrub, such as disease or infestation, warrants alteration or removal;**

The arborist report prepared by Registered Consulting Arborist Torrey Young of Dryad, LLC dated January 18, 2022, supported by its two addenda dated September 9, 2022 and December 18, 2022, respectively, confirm that all subject trees exhibit various states of decline, with only a handful serving as potential candidates for retention or relocation, and, even then, only through extensive intervention. Per the submitted arborist report, two of the existing nine heritage trees on-site display severe decline to the extent that removal is warranted. The first addendum to the arborist report, dated September 9, 2022 states that each of the two sweetgum (*Liquidambar spp.*) trees presents weak structure, poor architecture, severe pruning, and a severely restricted and damaged root system. In addition to the two trees described above, the report further characterizes Tree No. 4, the existing southern magnolia, as exhibiting conditions associated with declining health, with “canopy thin, stunted and chlorotic with tip dieback ... raised and lion-tailed; many large pruning cuts with decay...root pruning apparent.” In reference to the twelve existing trees on site, the arborist report indicates, “These trees will continue to increase in size, exacerbating current conditions [insufficient growing space and inadequate capacity for water and nutrient absorption] ... Many of the conditions observed can be expected to worsen over time.” The report states that, in general, “It is ill

advised to retain these trees on site unless extensive design accommodation can be undertaken to both enhance their growing conditions and reduce risk.”

32. A construction project design cannot be altered to accommodate existing heritage trees or heritage shrubs.

Of the twelve total trees, nine constitute Heritage Trees as defined in the Municipal Code. Maintaining the trees in their current form would severely restrict the area of the library, and possibly preclude construction of both the library and residential building entirely, and would prevent fulfillment of the project objectives previously recommended by the City’s Downtown Commission and Planning Commission and as confirmed by the City Council, including creation of a mixed-use project featuring a flagship downtown central branch library, additional affordable housing stock, integrated commercial tenant space, community-serving commercial childcare use, and public parking capacity to serve the proposed use and to address loss or parking capacity prompted by downtown development. The City Council resolution, adopted December 14, 2021, was borne of an extensive public outreach process including a series of community meetings as described in Attachment 7 of the staff report dated December 12, 2022 presented to the Parks and Recreation Commission regarding the appeal of Tree Removal Permit TR22-0201. Years-long community engagement and public outreach activities collectively contributed to the evolution of, and currently proposed design of, the Downtown Library Affordable Housing Project. The memorandum by For the Future Housing dated November 17, 2022 attached to the staff report dated December 12, 2022 presented to the Parks and Recreation Commission states that, “An estimated area of 7,774 SF is needed to preserve the 9 existing heritage trees ... this loss of area would result in a loss of available building program area of 30,974 SF. The three major program elements for Library, Housing and Parking that were set by City Council cannot be met if 30,974 SF is removed from the available building area.” Additionally, the memorandum by Jayson Architecture dated December 1, 2022 attached to the staff report dated December 12, 2022 presented to the Parks and Recreation Commission, relays, “The library as currently designed, which is in the Construction

Documents stage of the documentation process, would no longer be feasible, even with significant modifications ... is our determination that the construction project design cannot be altered to accommodate existing heritage trees and still meet the requirements established for the project by the City Council.” Given the limited size of the lot, dispersal of the trees throughout the parcel, and constraints inherent to its dimensions, as supported by the narratives included in the aforementioned memoranda, no reasonable alteration of the proposed site plan would allow retention of the trees while simultaneously achieving the project’s objectives of creating a mixed-use development inclusive of a library with features as directed by the City Council and 124-units of affordable housing, thus necessitating the removal of such trees.

The project site is located outside land within the City’s Wildland-Urban Interface.

Consistent with the tree removal mitigation requirements of City Resolution No. NS-28,707, the applicant has deposited a bond in the amount of \$2,250.00 into the City’s Tree Trust Fund

to ensure that a minimum of nine, 24-inch box-sized replacement trees will be planted on-site near the perimeter of the proposed building.

Nonresidential Demolition Authorization Permit, Section 24.08.1230

- 33. The cultural resources evaluation is accepted as accurate and complete; and the cultural resources evaluation concludes that the building or structure is not eligible for listing on the city historic building survey.**

Pursuant to the Nonresidential Demolition Authorization Permit ordinance, the permit serves to evaluate requests for demolition of nonresidential structures fifty years of age or older, and of undetermined age, to ensure that those which may have historic value are not demolished.

An historic evaluation (DPR 523) dated March 14, 2022, has been prepared by City-approved historian Seth Bergstein of PAST Consultants, LLC, concluding that the property located at 113 Lincoln Street remains unlisted on the California Register of Historic Resources, the National Register of Historic Places, or the City of Santa Cruz Historic Building Survey, and appears ineligible for listing on any of the registers. As described in the historic evaluation, The commercial building at 113 Lincoln Street has been altered considerably since the time of its construction, with remodel of the storefront and removal of the building's original entrance undertaken in 1980, and a rear addition constructed in 1986. As substantiated by the report, the subject building no longer exhibits sufficient integrity of setting, design, materials, workmanship feeling, or association for it to qualify for inclusion in the National Register of Historic Places or the California Register of Historical Resources. The subject property containing the commercial building at 113 Lincoln Street is further determined ineligible for the Santa Cruz Historic Resources Inventory, as the building fails to satisfy City preservation criteria and experienced substantial alterations since the time of its original construction. The proposed redevelopment project requires no mitigation for impact to historic resources pursuant to the provisions of the California Environmental Quality Act (CEQA - Section 15064.5), as the subject property addressed 113 Lincoln Street, including its existing structure, has been demonstrated to lack historic significance. As the property at 119 Lincoln Street contains no structure, the above finding remains inapplicable to that parcel.

- 34. The project which will replace the demolished building or structure has been, or is concurrently being, approved by the city, and an appropriate building permit has been, or is concurrently being, issued; unless some other practical hardship can be documented rendering this requirement inappropriate.**

The proposed project has been proposed for approval concurrently with the approval to demolish the existing commercial structure.

- 35. The property owner has been advised of the benefits of listing the property on the city historic building survey and incorporating the preservation of the historic resource into the proposed project.**

The above finding remains inapplicable, as the subject property has been determined to not be eligible for listing.

- 36. The cultural resources evaluation determines that the resource is eligible for listing on the city historic building survey, appropriate environmental review has been completed in accordance with the California Environmental Quality Act, and the zoning administrator can make a finding of overriding consideration that the replacement project will have public benefits which will outweigh the impact of loss of the historic resource.**

It has been determined that the property does not qualify as a historic resource. Therefore, the above finding does not apply.

Lot Line Adjustment, Section 23.12.030.1

- 37. The parcels resulting from the lot line adjustment will conform to the general plan, any applicable specific plan, any applicable coastal plan, zoning and building ordinances; and**

The lot line adjustment will combine two (2) existing parcels, bearing Assessor's Parcel Numbers 005-141-11 and 005-141-21, into a single lot. The parcel resulting from the lot line adjustment will enclose approximately 66,921 square feet, exceeding the minimum lot size of 5,000 square feet as established in Section 24.10.2305 of Title 24, Zoning, Part 24, Central Business District zone district, of the City of Santa Cruz Municipal Code. By combining the two parcels, the lot-line adjustment will form one lot of adequate size to facilitate development of a public facilities/commercial/ high-density residential mixed-use complex and encourage "appropriate transition in scale and use between the downtown and the adjacent residential neighborhoods and the civic center", conform to the Local Coastal Program to support greater intensity of residential development in the City's Downtown per Policies and Programs 2.7.7; and advance a project on a "local-serving street with a mixture of professional offices [and] support and convenience retail", which reinforces the overall pedestrian character of these areas "to preserve and enhance the informal 'village' qualities of the Cedar Street Corridor", while affording a strong pedestrian ambiance creating a more welcoming environment along the corridor and ensuring high quality of new buildings as advanced by the Downtown Plan.

- 38. A greater number of parcels than originally existed are not created by the lot line adjustment.**

The lot line adjustment will combine two (2) contiguous parcels, as tabulated below, to result in one (1) merged parcel; therefore, no new parcels will be created as a result of the lot line adjustment.

Parcel No.	Address	Recorded Designation	Map	Existing Size	Proposed Size
005-141-11	113 Lincoln Street	966-M-302 (lot no. unspecified)		6,882 square feet	66,921 square feet
005-141-21	119 Lincoln Street	56-PM-05 (Parcel B)		60,039 square feet	

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Santa Cruz hereby acknowledges the CEQA determinations and approves the Nonresidential Demolition Authorization Permit, Special Use Permit, Design Permit, Lot-Line Adjustment, and Density Bonus Request, and upholds the approval of a Heritage Tree Removal permit, to allow demolition of the existing surface parking lot and structures and construction of the Downtown Library Affordable Housing Project, encompassing development of a new, approximately 273,194 square-foot, eight (8)-story building including a three (3)-story, approximately 38,069 square-foot City library featuring two floors; a three (3)-story parking garage with 243 parking spaces; a five (5)-story, 100% affordable housing component comprising 124 residential units; a three (3)-story, approximately 9,598 square-foot commercial tenant space; a one (1)-story, approximately 1,231 square-foot childcare facility with adjoining 674 square-foot outdoor play area; and new landscaping and associated site improvements, including the removal of 12 trees, on parcels located at 113 Lincoln Street and 119 Lincoln Street, subject to the analysis included in the associated staff report and the Conditions of Approval listed in Exhibit "A," attached hereto and made a part hereof.

PASSED AND ADOPTED this 14th day of March, 2023, by the following vote:

AYES: Councilmembers Newsome, Watkins, Kalantari-Johnson; Vice Mayor Golder; Mayor Keeley.

NOES: Councilmember Brown.

ABSENT: None.

DISQUALIFIED: Councilmember Brunner.

APPROVED:

Fred Keeley, Mayor

ATTEST:


Bonnie Bush, City Clerk Administrator

RESOLUTION NO. NS-30,120
EXHIBIT "A"

CONDITIONS OF APPROVAL FOR THE PROJECT ON PROPERTY AT

113, 119 Lincoln St. – CP22-0128

Nonresidential Demolition Authorization Permit, Special Use Permit, Design Permit, Lot-Line Adjustment, Density Bonus request, and upholding approval of a Heritage Tree Removal Permit to allow demolition of the existing surface parking lot and structures and construction of the Library Mixed-Use/Affordable Housing Project, encompassing development of a new, approximately 273,194 square-foot, eight-story building integrating a three-story, approximately 38,069 square-foot City library featuring two floors double-heighted with elevated ceilings; a three-story parking garage with 243 parking spaces; a five-story, 100% affordable housing component comprising 124 residential units; a three-story, approximately 9,598 square-foot commercial tenant space; a one-story, approximately 1,231 square-foot childcare facility with adjoining 674 square-foot outdoor play area; and new landscaping and associated site improvements, including the removal of 12 trees, on land located in the CBD/FP-O (Central Business District/Floodplain Overlay) zone districts

1. If one or more of the following conditions is not met with respect to all its terms, then this approval may be revoked.
2. All plans for future construction which are not covered by this review shall be submitted to the City Planning and Community Development Department for review and approval.
3. This permit shall be exercised within three (3) years of the date of final approval or it shall become null and void. When a building permit is required, a zoning permit shall be considered exercised following the issuance of a valid building permit. When only an occupancy permit is required, a zoning permit shall be considered exercised when the occupancy permit is issued.
4. If, upon exercise of this permit, this use is at any time determined by the Planning Commission to be incompatible with the surrounding neighborhood, revocation of, or amendment to, this permit by the City Council could occur.
5. The use shall meet the standards and shall be developed within limits established by Chapter 24.14 of the Santa Cruz Municipal Code as to the emission of noise, odor, smoke, dust, vibration, wastes, fumes or any public nuisance arising or occurring incidental to its establishment or operation.
6. The applicant shall be responsible for the completeness and accuracy of all forms and supporting material submitted in connection with any application. Any errors or discrepancies found therein may result in the revocation of any approval or permits issued in connection therewith.
7. All final working drawings shall be submitted to the Zoning Administrator for review and approval in conjunction with building permit application. The plans submitted for building

permits shall have the same level of articulation, detailing, and dimensionality as shown in the approved plans. All approved exterior finishes and materials shall be clearly notated on the building permit plans.

8. The applicant and contractor who obtains a building permit for the project shall be required to sign the following statement at the bottom of these conditions, which will become conditions of the building permit:

“I understand that the subject permit involves construction of a building (project) with an approved Design Permit. I intend to perform or supervise the performance of the work allowed by this permit in a manner which results in a finished building with the same level of detail, articulation, and dimensionality shown in the plans submitted for building permits. I hereby acknowledge that failure to construct the building as represented in the building permit plans, may result in delay of the inspections process and/or the mandatory reconstruction or alteration of any portion of the building that is not in substantial conformance with the approved plans, prior to continuation of inspections or the building final.”

Signature of Building Contractor

Date

9. The development of the site shall be in substantial accordance with the approved plans submitted and on file in the Department of Planning and Community Development of the City of Santa Cruz. All aspects of construction must be completed prior to occupancy. Major modifications to plans or exceptions to completion may be granted only by the City authority which approved the project. All revisions to proposed exterior colors and/or materials must be submitted for review and approval by the Director of Planning and Community Development prior to submittal of application for Building Permit.
10. All refuse and recycling activities during construction shall be done in accordance with Chapter 6.12 of the Santa Cruz Municipal Code. Be aware that private companies offering refuse or debris box services are not allowed to operate within the City limits, except under certain limited circumstances detailed in Chapter 6.12.160.
11. All requirements of the Building, Fire, Public Works and Water Departments shall be completed prior to occupancy and continuously maintained thereafter.
12. Adequate provisions shall be made to supply water to each of the premises covered by this application. The design of water facilities shall be to standards of the Water Department, and plans therefore must be submitted to the Water Department Director for review and approval prior to the issuance of a building permit.
13. Future uses shall submit a disclosure statement for Zoning Administrator review prior to issuance of any occupancy permit regarding materials and chemicals to be used and disposed of from the site.

14. Plans submitted for building permit issuance shall include electric vehicle charging stations as required per Section 24.12.241 of the Zoning Ordinance.
15. Plans submitted for building permit issuance shall show all exterior site lighting locations and fixture details. All exterior building lighting shall be shielded and contained in a downward direction. No exterior lighting shall produce off-site glare.
16. Exterior site lighting shall be provided along pedestrian pathways and in the vehicle parking area. Security lighting shall be motion sensor only.
17. Landscape and irrigation plans shall be submitted at the time of the building permit application and will be reviewed by both the Planning Department and Water Department. The landscape and irrigation plans shall demonstrate compliance with all requirements of the City's Water-Efficient Landscaping Ordinance in Chapter 16.16 of the Santa Cruz Municipal Code prior to issuance of the building permit.
18. Turf is not permitted in new non-residential landscape projects.
19. All landscaping shall be installed prior to final utility release or issuance of occupancy permits.
20. Where feasible, all trees shall be a minimum 24-inch box size.
21. Bike parking shall be provided in accordance with Section 24.12.250-252 of the City's Zoning Ordinance.
22. All utilities and transformer boxes shall be placed underground in accordance with the provisions of Section 24.12.700 through 24.12.740 of the Zoning Ordinance.
23. A drainage plan shall be submitted in conjunction with application for building permits.
24. During all grading and subsurface excavations (including but not limited to grubbing, demolition, excavation, and utility-line trenching) an archaeologist and a Native American observer, authorized by the Planning Department, shall be present to collect and catalog any material uncovered. The cost for this service shall be paid by the applicant.
25. Prior to building or grading permit issuance or in any case any ground disturbance, including but not limited to grubbing, demolition, excavation, and utility-line trenching, the applicant shall submit a copy of a signed contract with a qualified archaeologist (based on the city's list of approved consultants or as previously authorized by the Planning Department) indicating that the archaeologist will be present on the site to observe and monitor all grading and subsurface excavations and that they will provide a follow-up letter to the Planning Department with the results of the monitoring.
26. Any person exercising a development permit or building permit who, at any time in the preparation for or process of excavating or otherwise disturbing earth, discovers any human

- remains of any age or any artifact or any other object which reasonably appears to be evidence of an archaeological/cultural resource or paleontological resource, shall:
- a. Immediately cease all further excavation, disturbance, and work on the project site;
 - b. Cause staking to be placed completely around the area of discovery by visible stakes not more than ten feet apart forming a circle having a radius of not less than one hundred feet from the point of discovery; provided, that such staking need not take place on adjoining property unless the owner of the adjoining property authorizes such staking;
 - c. Notify the Santa Cruz County sheriff-coroner and the city of Santa Cruz planning director of the discovery unless no human remains have been discovered, in which case the property owner shall notify only the planning director;
 - d. Grant permission to all duly authorized representatives of the sheriff-coroner and the planning director to enter onto the property and to take all actions consistent with this section.
27. An archaeologist, approved by the City, shall submit a reconnaissance report for the subject parcel prior to any grade-disturbing activity on the site.
28. Prior to building permit final, the approved project archaeologist shall provide a follow-up letter to the Planning Department confirming that they were present on the site to monitor all grading and subsurface excavations and the results of the monitoring. If the property owner fails to comply with the full extent of on-site monitoring requirements, the property owner shall be subject to the Archaeological Monitoring Non-compliance Guidelines which includes supplemental archaeological investigation and monetary administrative civil penalties which could delay final inspections and occupancy.
29. The plan for erosion control approved as part of this application shall be submitted and all work installed by November 1.
30. Plans submitted for building permits shall demonstrate compliance with Stormwater Best Management Practice (BMP) and Low Impact Development (LID) requirements for single family residential dwelling projects contained in "Chapter 6 of the Best Management Practices Manual for the City's Storm Water Management Program" dated October 2011. At a minimum, downspouts shall be disconnected from underground pipes or prohibited from directly flowing onto impervious surfaces and instead be redirected to landscaping or bioswales. Pervious walkway surfaces and driveways shall be installed where possible. Show all implemented LID measures on the plans.
31. Grading shall be done during periods of dry weather and protective measures shall be incorporated during grading to prevent siltation from any grading project halted due to rain.
32. Prior to site grading or any disturbance all trees and/or tree stands indicated for preservation or approved plans shall be protected through fencing or other approved barricade. Such fencing shall protect vegetation during construction and shall be installed to the satisfaction of the Director of Planning and Community Development.
33. Handicap access shall be provided in accordance with California Building Code.

34. All new mechanical equipment and appurtenances, including gas and water meters, electrical boxes, roof vents, air conditioners, antennas, etc. visible from the public way and from adjacent properties, shall be screened with material compatible with the materials of the building and shall be subject to the approval of the Zoning Administrator. Bifacial solar panels are specifically exempted from the requirement for screening.
35. Final colors shall be approved by the Zoning Administrator prior to application for building permits.
36. The applicant shall prepare a signage plan for the project and submit it for Sign Permit review and approval before occupancy of structure.
37. Construction activity resulting in a land disturbance of one acre or more, or less than one acre but part of a larger common plan of development or sale must obtain the Construction Activities Storm Water General Permit (2009-0009-DWQ Permit). Construction activity includes clearing, grading, excavation, stockpiling, and reconstruction of existing facilities involving removal and replacement. Construction activity does not include routine maintenance such as, maintenance of original line and grade, hydraulic capacity, or original purpose of the facility.
38. The applicant shall be responsible for filing a Notice of Intent (NOI) with the State Regional Water Quality Control Board (RWQCB) and for developing a Storm Water Pollution Prevention Plan (SWPPP) prior to commencement of any soil disturbing activities at the site. Prior to issuance of a building permit, the applicant shall provide the City with proof of coverage under the state's Construction Activities Storm Water General Permit, including a copy of the letter of receipt and Waste Discharger Identification (WDID) number issued by the State Regional Water Quality Control Board (SWQCB) that acknowledges the property owner's submittal of a complete Notice of Intent (NOI) package.
39. The property owner and/or project applicant agree(s) as a condition and in consideration of the approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government code Section 66474.9, defend, indemnify and hold harmless the City of Santa Cruz or its agents, officials, officers and employees from any claim, action or proceeding against the City or its agents, officials, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner and/or project applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve the property owner and/or project applicant of these obligations under this condition. An agreement to this effect shall be recorded upon demand of the City Attorney or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable. The City shall promptly notify the property owner and/or project applicant of any such claim, action or proceeding and the City shall cooperate fully in the

defense thereof. If the City fails to promptly notify the property owner and/or project applicant of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner and/or project applicant shall not thereafter be responsible to defend, indemnify or hold the City harmless.

40. Prior to the issuance of a building permit, the applicant shall pay the Park and Recreation Facility Tax pursuant to Chapter 5.72 of the City of Santa Cruz Municipal Code based on the final building permit plans.
41. Prior to commercial/business use of a building or site, owners or tenants shall obtain a Zoning Clearance/Occupancy Permit from the City Planning Department and a Business License from the City Finance Department.
42. A new property description shall be recorded with the County Recorder's office and a copy of the recorded description provided to the City Planning Department. The deed(s) of conveyance must contain the following statement after the description of the property(ies) or portion(s) of property to be transferred:

"The purpose of the deed is to adjust the boundary between Assessor's Parcel Number 005-141-11 and Assessor's Parcel Number 005-141-21 as approved by the City of Santa Cruz under Application CP22-0118. This conveyance may not create a separate parcel, and is null and void unless the boundary is adjusted as stated."
44. Asbestos/Lead-Based Paint: Prior to demolition, testing shall be performed for presence of asbestos and lead based paint by EPA or CA state certified health inspectors. An application shall be submitted, and approval shall then be obtained from Monterey Bay Air Resources District (MBARD) for the hazardous or other regulated material removal. An ASB application number through MBARD or release in the form of an email from MBARD shall be provided to the City of Santa Cruz Building and Safety Division prior to plan approval and permit issuance.
45. Building Division Compliance: Prior to issuance of any Building Permit, all necessary documents and plans shall be submitted demonstrating compliance with all requirements of the Building Division.
46. Fire Department Compliance: Prior to issuance of any Building Permit, all necessary documents and plans shall be submitted demonstrating compliance with all requirements of the Fire Department.
47. Water Engineering Compliance: Prior to issuance of any Building Permit, all necessary documents and plans shall be submitted demonstrating compliance with all requirements of the Water Engineering Division.
48. Green Building Compliance: At the time of building permit submittal, plan sets must provide for compliance with all regulations related to Green Building, including details demonstrating conformance with both 2019 CALGreen Mandatory Measures and City Green Building

requirements. The Green Building Checklist must be allocated to its own plan sheet employing an adequately legible font size. Applicable measures listed in the checklists must be shown (material, method, or application) on the plan page where they are to be installed or implemented and indicated in the column provided in the checklist.

49. Construction Waste Management Plan: Prior to demolition permit issuance, a fully completed Construction Waste Management Plan for 65% minimum diversion rate must be submitted and shall include diversion rates and methods for individual waste streams. The document is available at <http://www.cityofsantacruz.com/home/showdocument?id=58142>
50. Stormwater Management: Prior to issuance of Building Permit, a Storm Water Pollution Prevention Plan (SWPPP) must be submitted.
51. Green Building: Each residential unit will require compliance with Santa Cruz Green Building Program for Residential New Construction and Residential Mandatory Measures Chapter 4 of 2019 CALGreen using a Residential Green Building Checklist. Note: The city green building program points required scale with unit floor area.
52. Electric Vehicles: For the purposes of determining EV Charging Space compliance, the plans must clearly allocate parking spaces between residential and commercial use.
53. Outdoor Lighting: Outdoor lighting must demonstrate compliance with BUG rating limits in 2019 CALGreen 5.106.8 for Lighting Zone 3 for this development in the Outdoor Lighting Schedule in the building permit submission.
54. Bicycle Parking: Prior to issuance of Building Permit, details of proposed bicycle parking facilities, including identification of vendor and specification of dimensions and arrangement of interior layout with spacing for all bike parking proposed, must be submitted for review and approval by the Director of Public Works or authorized designee. Bicycles of different sizes, and charging of e-bikes, shall be considered in the design.
55. Manager's Unit(s): Plans submitted for Building Permit shall require designation of unit(s) as manager's residence(s).
56. Public Right-of-Way Improvements: Prior to Building Permit issuance, all required improvements to the public right-of-way, as determined by Public Works staff, must be included in the plans, including, but not limited to, the following:
 - a. Sanitary Sewer Lateral: Plans submitted for Building Permit shall indicate the location of the sanitary sewer lateral. Lateral shall be SDR 26 from property line to the main per City standard lateral and trench details. Provide sewer cleanout capped with a popper in the sidewalk for sanitary sewer lateral per City standard detail. Include notes and City Standard Details 1 and 2 of 20 on the plans.
 - b. Accessible Ramp. Plans submitted for Building Permit shall indicate the installation of ADA access ramps at the corners of Lincoln/Cedar and Cathcart/Cedar per City standard detail. Include notes and Caltrans Case C ramp on the plans.

- c. Sidewalk – Sidewalks will need to be consistent with the Downtown Plan for design and widths.
 - d. Street Light (Standard) - Installation of 2 new LED street light on the property frontage of Cedar Street. per City standard detail. Indicate location on the plans and include notes and City Standard Detail 16 of 20.
 - e. Street Lights (Decorative) – Installation of a new decorative LED street lights per the Downtown Plan on the property frontage of Lincoln Street per City standard detail. Include notes and City Standard Detail 17 of 20 on the plans.
 - f. Street Lights (Decorative) – Installation of a new decorative LED street lights per the Downtown Plan on the property frontage of Cathcart Street per City standard detail. Include notes and City Standard Detail 17 of 20 on the plans.
 - g. Catch Basins (Type A) – Upgrade of the 3 Type A catch basins surrounding the project to Type B catch basins per City standard detail. Include notes and City Standard Detail 6 of 20 on the plans.
 - h. Traffic Calming Device – Installation of a traffic calming island on Lincoln St. at the southeast corner. Should match existing island on the northeast corner of Lincoln St.
 - i. Street Tree (Tree Grate) – Trees in the Public right-of-way need to be placed in tree wells with tree grates and not in landscape strips. Provide a detail of the street tree installation, including a four-foot by four-foot tree well located at the back of curb, per City standard detail. A flood bubbler shall be installed from the existing irrigation system to irrigate the tree until established. Provide notes and City Standard Detail 19 of 20 in the plans.
 - j. Trash Enclosure (New) – Construction of a new trash enclosure that complies with all of the requirements of the "City of Santa Cruz Department of Public Works Refuse Container Storage Facility Standard Design Policy." The trash enclosure design shall include a roof to keep stormwater from leeching pollutants from the area where the containers are stored and to secure the area from unauthorized entry; a floor drain installed in the slab and connected to the sanitary sewer system; and a hose bib for the purpose of cleaning the interior of the structure. The final trash enclosure design shall be subject to review and approval by the Public Works Department.
 - k. Utility Locations – Illustration of locations of all existing and proposed underground utilities and points of connection for sewer lateral, gas, and water lines on the plans.
 - l. Utility Undergrounding - When providing new electrical service to a parcel, it shall be undergrounded. Indicate the location and the point of connection to the nearest Pacific Gas & Electric (PG&E) facility for the underground power to the property.
57. Payment of required fees: Prior to issuance of any building permit, payment of all necessary fees shall be made as applicable, including, but not limited to, the following:
- a. Traffic Impact Fee - A Traffic Impact Fee will be assessed by the Public Works Department and shall be paid prior to issuance of the building permit. Traffic Impact fee shall be based on approved Traffic Impact Analysis (TIA).
 - b. Inspection Fee - An inspection fee of the estimated cost to construct the off-site improvements to be inspected shall be paid to the Public Works Department prior to the issuance of a building permit.
 - c. Fair share of transportation improvements shall be paid as required in the Downtown Plan Amendment and evaluated in the approved TIA.

- d. **Parking Fees – Parking In-Lieu Fees** will be assessed at the design review application stage.
58. **Lot-Line Adjustment**: Prior to issuance of any Building permit, lot merger/lot-line adjustment must be recorded.
59. **Operations and Maintenance Plan (O&M Plan)**: A final O&M Plan shall be submitted as part of the Building Permit application. The O&M Plan shall include at a minimum: 1) site plan showing the location of drainage structures and structural control measures; 2) O&M procedures, timing, and maintenance frequency for the LID features and drainage systems, and include applicable BMPs from Chapter 6B of the City's Storm Water BMPs for Development Projects; 3) cost estimates for maintenance; and 4) BMPs for any Special Site Conditions (see pages 30-31), e.g. trash enclosure, parking, etc. The O&M plan as required by CalGreen shall also be included.

The O&M Plan shall be submitted in an 8 ½ x 11 inch report format, and can be included as a SWCP appendix. The signed Maintenance Agreement shall be included in the O&M Plan as an attachment.

60. **Maintenance Agreement**: Prior to issuance of the Building Permit, the property owner shall sign and submit a BMP maintenance agreement ensuring that they will provide long-term operation and maintenance of structural storm water control measures (see template in Appendix C of Chapter 6B Storm Water BMPs for Private and Public Development Projects). The signed maintenance agreement should be attached to the O&M Plan. Please email a pdf of the signed Maintenance Agreement to Suzanne Healy, Associate Planner, at: shealy@cityofsantacruz.com. The signed Maintenance Agreement with original ink signature may be submitted via the Building Counter.

If applicable, the Maintenance Agreement shall be included in the HOA agreement and/or recorded in the CCRs with proof of CCR recordation submitted to the City. The O&M Plan shall be included or referenced in the CCRs as well.

61. **Construction Dewatering Operations**: Plans submitted must indicate whether dewatering or groundwater discharges are expected either during construction or post-construction/long-term for any of the below ground project components. If so, please inform the project planner and submit plans indicating whether there are any current or past site contamination issues.
62. **State Construction General Permit**: A Notice of Intent (NOI) must be filed with the State Water Resource Control Board (SWRCB) to obtain coverage under the NPDES General Permit for Storm Water Discharges Associated with Construction and Land Disturbance Activities (Construction General Permit) prior to commencing work. The applicant is responsible for filing a Notice of Intent and for developing a Storm Water Pollution Prevention Plan (SWPPP). Prior to issuance of a demolition, grading, or building permit, the applicant shall provide the City with proof of coverage under the State Construction General Permit, including a copy of the letter of receipt and Waste Discharger Identification (WDID) number issued by the SWRCB that acknowledges the property owner's submittal of a

complete Notice of Intent (NOI) package. Please submit an electronic copy of the site's Storm Water Pollution Prevention Plan (SWPPP) submitted to the State. For information on the Construction General Permit, please see the State Water Board website: http://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.shtml

63. Compliance with Recommendations of Project Reports/Technical Studies. At all times, the project applicant/property owner shall ensure compliance with all recommendations included in reports/technical studies related to natural resources, including, but not limited to, Phase I Cultural Resources Inventory prepared *Albion Environmental* dated March 2022 as may be amended by the Extended Phase I Archaeological Testing Report by *Dudek* dated November 22, 2022; Noise Impact Analysis prepared by *Salter* dated January 23, 2023; Transportation Impact Study prepared by *Kimley Horn* dated December 23, 2022; Historic Evaluation prepared by *PAST Consultants, LLC* dated March 14, 2022; Geotechnical Investigation prepared by *Rock Solid Engineers, Inc.* dated September 22, 2022; Arborist Report by *Dryad, LLC* dated January 18, 2022; Arborist Report Addendum by *Dryad, LLC* dated September 29, 2022; Arborist Report Addendum by *Dryad, LLC* dated December 19, 2022; Phase I/II Environmental Site Assessment by *Weber, Hayes, and Associates* dated September 22, 2022; Geotechnical evaluation prepared by *Cornerstone Earth Group* dated June 2, 2022 ; Trip Generation Analysis prepared by *Hexagon Transportation Consultants* dated September 7, 2022; and Stormwater Control Plan prepared by *BKF Engineers* dated September 8, 2022.
64. Acoustic Evaluation. Prior to issuance of Building Permit, an acoustic analysis (noise report) must be prepared, demonstrating consistency of the proposed project design with General Plan Policy HZ3.2.3, and compliance with recommendations of the acoustic evaluation to ensure ongoing conformance with that General Plan Policy must be maintained at all times.
65. Affordable Housing: As applicable, the applicant shall comply with the inclusionary housing requirements set forth at SCMC Chapter 24.16 Part 1 and shall enter into and record an affordable housing development agreement prior to or concurrently with the final parcel map or final subdivision map approval, or prior to issuance of a building permit for any structure in the residential development, whichever occurs first. The affordable housing development agreement shall run with the land and bind all future owners and successors in interest. The agreement shall include a financing mechanism for all implementation and monitoring costs.
66. New Sanitary Sewer Connection: Plans submitted for building permit shall show a new sanitary sewer connection, which will be required to connect to the existing City Sanitary Sewer Manhole. A City Standard clean-out will be required.
67. Existing Sanitary Sewer Lateral(s): Plans submitted for building permit shall show the existing sanitary sewer lateral(s) abandoned at the City sewer main by method of mechanical plug or factory cap.
68. Compliance with Recommendations of Project Reports/Technical Studies: At all times, the project applicant/property owner shall ensure compliance with all recommendations included in reports/technical studies related to natural resources, including, but not limited to, the arborist report prepared by Kurt Fouts, Consulting Arborist, dated September 14, 2022;

Preliminary Archaeological Reconnaissance Report prepared by Patricia Paramoure Archaeological Consulting dated August 25, 2022; Geotechnical Investigation prepared by Rock Solid Engineers, Inc. dated September 22, 2022; Historic Evaluation prepared by PAST Consultants dated October 7, 2022; Trip Generation Analysis prepared by Hexagon Transportation Consultants dated September 7, 2022; and Preliminary Stormwater Treatment Facilities Operation and Maintenance Plan prepared by Ifland Engineers, Inc. dated October 2022.

69. County Health Services Agency – Environmental Health: Prior to issuance of Building Permit, compliance with all requirements of the County of Santa Cruz Health Services Agency, Department of Environmental Health, shall be fulfilled.
70. Santa Cruz Metropolitan Transit District: Prior to issuance of Building Permit, compliance with all requirements of the Santa Cruz Metropolitan Transit District, shall be fulfilled, including coordination regarding retention or relocation of existing infrastructure, including, but not limited to, existing bus stop(s).
71. WELO: Plans submitted for Building Permit must demonstrate compliance with the City's Water Efficient Landscape Ordinance (WELO) (Chapter 16.16 of the Santa Cruz Municipal Code).
72. Tree Removal: No Heritage Tree at the project site may be removed prior to issuance of a demolition permit, building permit, or grading permit.
73. Tree Replacement: A total of fourteen 24-inch box size replacement street trees shall be installed around the proposed library building to replace the nine Heritage Trees to be removed to accommodate the proposed project. Additionally, City staff will plant twelve street trees, of 24-inch box size, at off-site locations within the City's greater downtown area. Locations and species shall be identified by the Parks & Recreation Department, consistent with the Downtown Plan and Approved Street Tree List. Additionally, another ten trees shall also be planted in the greater downtown area. In total, thirty-six replacement street trees will be installed in the greater downtown area to offset the nine heritage trees currently proposed for removal at the library site. All such trees shall be planted prior to issuance of certificate of occupancy for any affordable housing unit.
74. Electric Vehicle Parking: 25 parking spaces shall be provided with Level 2 Electric Vehicle Charging Stations (EVCS) before occupancy; electrical infrastructure for future expansion shall also be incorporated in the design, including conduit.
75. Accommodation of Future Food Service Use: The ground floor commercial space shall be constructed to accommodate a future food service use. Plans shall also show the locations of grease traps, grease lines, and grease storage facilities.
76. Magnolia Tree Reuse: When removal of the magnolia trees occurs, staff shall evaluate whether wood from the magnolias can be salvaged for use on-site as benches, tables, artwork, play equipment, or other amenities in coordination with the project architects.

CP22-0018 Downtown Library & Affordable Housing Project

Narrative Response to Pre-app Questions

The development team has been working closely with the City of Santa Cruz to find a suitable replacement property for the existing farmer's market. An MOU has been circulated and is expected to be executed in the near future. Updates will be provided as available.

As noted in the development application and associated plan set, the project contemplates assemblage of two parcels with different ownership entities: The City of Santa Cruz and Christophe J. Bellito. The anticipated property control to the development team would occur through a long-term ground lease with the City of Santa Cruz, who would remain the fee simple owner of the property. Such ground lease structure is common in affordable housing development. The privately owned parcel owner: Christophe J. Bellito (APN: 005-141-11) has been in ongoing discussions with the City of Santa Cruz and the development team to sell their property to the City of Santa Cruz. As such, that owner has agreed to allow the project application to proceed as those negotiations continue to occur in good faith.

The development team is currently in discussions with an interested party to lease the commercial space. As these negotiations are still pending, we will be providing an update at a later date. We are confident that the development team and City of Santa Cruz will be able to attract a tenant for the entire space and are currently working through design considerations to allow flexibility for a wide range of potential users of space.

This property and proposed project have featured a robust public engagement process as the City has been evaluating the redevelopment of this project for several years. Since the development team was formed there have been several community meetings in the fall of 2021 and conversations with adjacent owners and tenants and the current project includes adjustments based on some of the feedback received from a wide range of stakeholders. The development team is committed to future outreach and best further efforts to create the best project for Downtown and the City.

The development team is finalizing the exact development Density Bonus concessions required and will provide a future detailed submittal accordingly that will reference any legislative provisions and outlining what if any code requirement exceptions are requested.